



PLANNING AND ZONING COMMISSION

December 10, 2019
6:00 P.M.
City Council Chambers

AGENDA

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes
 - A. November 12, 2019
5. Public Comments
6. Old Business
7. New Business
 - A. Consider Kading Property Management requests for Cavitt Creek Condominiums
 - i. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums I, a residential development on a lot exceeding one (1) acre, between 1404 and 1500 North 9th Street.
 - ii. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums II, a residential development on a lot exceeding one (1) acre, west of 1500 North 9th Street.
 - B. Discuss options regarding final review of Elevate Indianola, a Comprehensive Plan Update Prepared with the Citizens of Indianola. (Items Available at www.elevateindianola.com)
 - C. Review 2020 Calendar.
8. Comments
 - A. Commission Members
 - B. Staff
9. Adjournment

Distribution:

Planning and Zoning Commission
Mayor/ City Council
City Manager
City Clerk
City Attorney
IMU General Manager

Bulletin Board
Business Leader
Independent Advocate
KNIA/KRLS
Record Herald
Warren County Zoning



— PLANNING AND ZONING COMMISSION —

MINUTES OF REGULAR MEETING

November 12th, 2019

6:00 P.M.

The meeting was called to order by Chairperson Josh Rabe and on roll call the following members were present:

Josh Rabe

Al Farris

Misty Soldwisch

Erin Freeberg

Jeromy Pribil

Becky Needles

Joe Butler

Commission Members Absent: Ron Fridley, Sarah Ritchie, Bob Ormsby

Staff Present: Charlie Dissell, Cortney McAlexander

Public Present: Jon Hanson – Snyders – 2727 SW Snyder Blvd Ankeny, IA, Trevor Vaughn 1501 W Salem, Ryan Crow 9305 Westpire Rd Unit 2 West Des Moines, IA

Commissioner Farris moved to approve the agenda of the November 12th 2019 meeting and Commissioner Butler seconded the motion. On roll call the vote was AYES: Rabe, Farris, Soldwisch, Freeberg, Pribil, Needles, Butler NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Commissioner Needles moved to approve the minutes of the October 8th, 2019 meeting and Commissioner Pribil seconded the motion. On roll call the vote was AYES: Rabe, Farris, Soldwisch, Freeberg, Pribil, Needles, Butler: None. Whereupon the Chairperson declared the motion carried unanimously.

(Old Business) Consider zoning regulation amendment to Chapter 165, regarding Bed and Breakfast, Boardinghouse and Short-term Rental regulations

Mr Dissell explained the request and provided an overview

Commissioner Pribil asked for clarification on R2 needing to go to Board of Adjustment for approval

Charlie advised Board of Adjustment would need to review for R2

Commissioner Soldwisch moved to approve the request to consider zoning regulation amendment to Chapter 165, regarding Bed and Breakfast, Boardinghouse and Short-term Rental regulations. Commissioner Farris seconded the motion. On roll call the vote was AYES: Rabe, Farris, Soldwisch, Freeberg, Pribil, Needles, Butler NAYS: None. Whereupon the Chairperson declared the motion carried unanimously

(New Business) Consider request from Jon L Hanson of Snyder and Associates, Inc. for approval of a Preliminary Plat for Quail Meadows Subdivision

Mr. Dissell explained request and provided an overview.

Commissioner Farris asked about 170.11 section C and wondered if the Fire Chief had any concerns

Mr Dissell stated there were no concerns

Commissioner Pribil asked about the purpose of 750 ft dimension

Mr Dissell stated it was for fire protection

Commissioner Farris asked about the gully

Jon Snyder of Snyder and associates spoke on project and minimizing grading to keep trees

Commissioner Soldwisch recused herself from voting on this item

Commissioner Farris moved to approve the request from Jon L Hanson of Snyder and Associates Inc for approval of a

Preliminary Plat for Quail Meadows Subdivision with stipulations set per Mr Dissell On roll call the vote was AYES: :

Rabe, Farris, Freeberg, Pribil, Needles, Butler NAYS: None. Whereupon the Chairperson declared the motion approved.

Consider zoning regulation amendment to Chapter 165, regarding breweries

Mr. Dissell explained the request and provided an overview.

Trevor Vaughn 1501 W Salem wanted to say thank you to Mr Dissell

Commissioner Butler moved to approve the request to consider zoning regulation amendment to Chapter 165,

regarding breweries Commissioner Soldwisch seconded the motion. On roll call the vote was AYES: Rabe, Farris,

Soldwisch, Freeberg, Pribil, Needles, Butler NAYS: None. Whereupon the Chairperson declared the motion carried

unanimously

Consider request from Stacy Crow on behalf of Lyelca of Warren Co Et Al to rezone property located in the North Half of the Southeast Quarter and the South Half of the Northeast Quarter of Section 36, Township 76 North, Range 24 West from A-1, Agricultural Zoning District to A-2 Mixed Agricultural Zoning District

Mr. Dissell explained the request and provided an overview.

Commissioner Farris asked if it was rezoned prior

Mr Dissell stated it was not

Ryan Crow 9305 Westpire Rd Unit 2 West Des Moines, IA spoke in favor of rezoning

Commissioner Farris asked if there was a downside to rezoning

Mr Dissell stated only issue could be road traffic

Commissioner Farris asked about road being paved and who would pay

Commissioner Pribil moved to request from Stacy Crow on behalf of Lyelca of Warren Co Et Al to rezone property

located in the North Half of the Southeast Quarter and the South Half of the Northeast Quarter of Section 36, Township

76 North, Range 24 West from A-1, Agricultural Zoning District to A-2 Mixed Agricultural Zoning District, Commissioner

Needles seconded the motion. On roll call the vote was AYES: Rabe, Farris, Soldwisch, Freeberg, Pribil, Needles, Butler

NAYS: None. Whereupon the Chairperson declared the motion carried unanimously

Consider request from Thomas Land surveying, LLC on behalf of Marywood Farms, Inc for approval of a Plat of Survey for property at the northwest corner of Kennedy Street and County Highway S23

Mr. Dissell explained the request and provided an overview.

Commissioner Farris moved to request from Thomas Land surveying, LLC on behalf of Marywood Farms, Inc for approval of a Plat of Survey for property at the northwest corner of Kennedy Street and County Highway S23, Commissioner Soldwisch seconded the motion. On roll call the vote was AYES: Rabe, Farris, Soldwisch, Freeberg, Pribil, Needles, Butler
NAYS: None. Whereupon the Chairperson declared the motion carried unanimously

Comments:

A. Commission Members

Commissioner Farris discussed getting larger copies of comprehensive plans from Fox Engineering

Commissioner Butler gave kudos to staff for packets

Commissioner Needles asked about figures for building permits

B. Mr Dissell discussed having a joint work session with commission and council

Commissioner Needles moved to adjourn the meeting and Commissioner Pribil seconded. Meeting was adjourned at 6:40 pm.

Josh Rabe, Chairperson

Charlie Dissell, Director of Community Development



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

Staff Report

Planning and Zoning Commission

Date of Meeting: December 10, 2019

Agenda Items:

7. A. i. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums I, a residential development on a lot exceeding one (1) acre, between 1404 and 1500 North 9th Street.

7. A. ii. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums II, a residential development on a lot exceeding one (1) acre, west of 1500 North 9th Street.

Application Type: Residential Development on a Lot Exceeding One (1) Acre

Applicant: Kading Properties LLC

Zoning: R-3, Mixed Residential

Comprehensive Plan Designation: Mixed Residential

Application Summary: Request for site plan approval of a residential development on a lot exceeding one (1) acre. Cavitt Creek Condominiums I proposes one (1) single-family unit and eight (8) two-family units, and Cavitt Creek Condominiums II proposes one (1) single-family unit, 20 two-family units and 13 multi-family units (six-plexes). These add up to a total of 136 units.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

SPECIAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENT ON LOT EXCEEDING ONE (1) ACRE

1. All proposals for residential development shall be submitted to the Planning and Zoning Commission for review.
2. Notice of the proposed site plan for residential development shall be mailed to all property owners of record located within 200 feet of the proposed site for development 10 days prior to the next Planning and Zoning Commission meeting.
3. Planning and Zoning shall make a recommendation to Council for action.
4. The following applicants shall be excluded from the forgoing special requirements: single-family dwellings; mobile homes converted to real estate; parks, playgrounds, or play fields; and public library.

In accordance with Section 166.07.3 of the Code of Ordinances of Indianola, Iowa, the Planning and Zoning Commission and the Council, in approving or disapproving any site plan and in making recommendations for alterations or amendments to the site plan as presented, shall be governed by the general policies as set out by this chapter in Section 166.05 and the purpose of this chapter as set out in Section 166.01.

166.01 PURPOSE. It is the intent and purpose of this chapter to establish a procedure which will enable the City of Indianola to plan for and review certain proposed improvements of property within specified zoning districts of the City in order to accomplish the following:

1. Promote and permit flexibility that will encourage a more creative and imaginative approach in development and result in a more efficient, aesthetic, desirable and economic use of land;
2. Provide minimal effect upon adjacent properties and existing development. To this end, the Planning and Zoning Commission may make appropriate requirements;

3. Promote development that can be conveniently, efficiently and economically served by existing municipal utilities and services or by their logical extension;
4. Provide for the enhancement of the natural setting through careful and sensitive placement of manmade facilities and plant materials;
5. Encourage adequate provision for surface and subsurface drainage in order to assure that future development of other areas of the City will be available;
6. Provide suitable screening of parking, truck loading, refuse disposal, outdoor storage areas and noise from adjacent and nearby property.

166.05 GENERAL DESIGN POLICIES. In addition to the specific design standards as stated above, each site plan presented shall comply with the following general design policies, and the Director of Community Development may refuse to grant approval to a site plan even though it complies with the specific design standards if, in the opinion of the Director of Community Development, it does not comply with the general design policies as hereinafter enumerated. Any site plan presented shall be designed in such a way as to insure the orderly and harmonious development of property in such a manner as will safeguard the public's health, safety and general welfare, as hereinafter set out.

1. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines for what they were designed nor increase the danger of erosion, flooding, landslide or other endangerment of adjoining or surrounding property.
2. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property, and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illuminations of required perimeter yards, refuse containers and impairment of natural light and impairment or pollution of air. For the purpose of this section, the term "use and enjoyment of adjoining property" means the use and enjoyment presently being made of such adjoining property, unless such property is vacant. If vacant, the term "use and enjoyment of adjoining property" means those uses permitted under the zoning districts in which such adjoining property is located.
3. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets.
4. To such end as may be necessary and proper to accomplish the standards in subsections 1, 2 and 3 of this section, the proposed development shall provide fences, walls, screening, landscaping, erosion control or other improvements.
5. The proposed development shall conform to all applicable provisions of the laws of the State of Iowa, and all applicable provisions of this Code of Ordinances.

ANALYSIS

As noted above, when the Commission and Council are reviewing a site plan, it shall be governed by the general policies as set out in Section 166.05 and the purpose of the site planning chapter as set out in Section 166.01. It shall be noted that a full review of these site plans has been completed by the City's development review team as to conformance with Chapter 166. A review of the stormwater management plan was also done through professional assistance from Snyder and Associates, who is the City's Engineer. A total of three (3) submittals/resubmittals were completed on these site plans which were first submitted to staff in October. As of the last submission of site plans on November 21, the site plan conformed to all comments from the development review team. As such, the site plan is being forwarded to the Planning Commission for a recommendation to the City Council.

Within forty-five (45) days after receiving the completed application for site plan review as required by Section 166.02 of this chapter, plus the supplement thereto as required by Section 166.03, the Planning and Zoning Commission shall recommend to the Council to either approve, approve subject to conditions, or disapprove the site plan. Failure by the Commission to act within the time specified herein shall be deemed recommendation for approval of the site plan as submitted. The forty-five (45) day window for the Commission to make a recommendation to the Council expires on January 4, 2020, or 45 days after November 21.

As the Commission and Council review the site to the general policies as set out in Section 166.05 and the purpose of this chapter as set out in Section 166.01, staff provides the following information:

1. The R-3 Zoning District allows for single-family, two-family and multi-family dwellings. Cavitt Creek Condominiums I proposes one (1) single-family unit and eight (8) two-family units, and Cavitt Creek Condominiums II proposes one (1) single-family unit, 20 two-family units and 13 multi-family units (six-plexes). These add up to a total of 136 units.
2. Cavitt Creek Condominiums I includes 2.5 acres of land and proposes 17 units for a density of 6.8 units per acre.
3. Cavitt Creek Condominiums II includes 15.36 acres of land and proposes 119 units for a density of 7.7 units per acre.
4. For comparison, Lincoln Ridge I includes 7.2 acres of land and 58 units for a density of 8.1 units per acre and Lincoln Ridge II includes 7.65 acres of land and 79 units for a density of 10.3 units per acre
5. The Comprehensive Plan calls for Mixed Residential in this area. Mixed Residential intends to incorporate a mix of low, medium and high-density residential uses and encourages open spaces and trails. In the Comprehensive Plan, Mixed Residential calls for 4-16 dwelling units per acre.
6. Cavitt Creek I includes a total of 73.03% open space, 22.44% of which is usable open space (16.34% of the entire property). Cavitt Creek II includes a total of 59.01% open space, 13.44% of which is usable open space (7.93% of the entire property).
7. The two site plans include a buffer yard more than twenty (20) feet in width with five (5) overstory trees, ten (10) understory trees and ten (10) shrubs per one hundred (100) lineal feet, as required by code. This includes a buffer of 13 overstory trees, 20 understory trees, and 19 shrubs for Cavitt Creek Condominiums I, and 53 overstory trees, 106 understory trees, and 106 shrubs for Cavitt Creek Condominiums II.
8. The two site plans have been reviewed by the city's development review team, which includes all City utility Superintendents. The Superintendents have noted that the infrastructure in place is able to service both proposed developments.
9. The two site plans include enough trees and shrubs to meet the City's residential energy code of 4 trees and 6 shrubs per unit.
10. The City of Indianola 2008 Trails Master Plan calls for a trail on the north side of Cavitt Creek Condominiums II and continuing east on the north side of the existing Lincoln Ridge II development, connecting with the Summerset Trail. The site plan for Cavitt Creek Condominiums II shows a proposed 10' trail in this location, and Kading has committed to installing a 10' trail on the north side of Lincoln Ridge II, making a connection with the Summerset Trail.
11. As mentioned above, Snyder and Associates has reviewed the proposed stormwater management plan for both sites, and after revisions by the applicant, has approved the plan.
12. Letters were mailed to property owners within 200 feet of these properties on November 27, 2019.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the site plan be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the site plan be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the site plan be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the site plan back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

As noted within this report, the City's development review team and Snyder and Associates have reviewed these two site plans against applicable City Code requirements and after various revisions by the applicant, the comments made have all been addresses and satisfied by the applicant. Its is for these reasons that staff recommends alternative 1, approving the site plans as submitted.

GENERAL NOTES:

1. ALL CONTRACTORS SHALL HAVE ALL PUBLIC AND PRIVATE UTILITIES FIELD LOCATED PRIOR TO BEGINNING ANY CONSTRUCTION WORK THROUGH IOWA ONE-CALL (1-800-292-8989) 48 HOURS PRIOR TO CONSTRUCTION. CONFIRM LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. OWNER AND ENGINEER DO NOT GUARANTEE CORRECTNESS OF ALIGNMENTS SHOWN.

2. ALL ELEVATIONS ARE ON NAVD 88 DATUM.

3. ALL QUANTITIES ARE FOR CONTRACTOR CONVENIENCE. WHERE CONFLICTS OCCUR, DRAWINGS SHALL PREVAIL.

4. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO PROPERTY LINES UNLESS NOTED. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.

5. ALL SITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT SUDAS SPECIFICATIONS, INCLUDING THE MOST RECENT AMMENDMENTS.

6. P.C.C. PAVEMENT SHALL BE A 7" CLASS "C" CONCRETE MIX WITH CLASS 2 OR CLASS 3 DURABILITY COARSE AGGREGATE AS SPECIFIED IN THE MOST CURRENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION FROM THE IOWA DEPARTMENT OF TRANSPORTATION.

7. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

8. USE COMPACTED BACKFILL FOR ALL TRENCHES. USE ¾" CRUSHED LIMESTONE FOR BEDDING AND BACKFILL IN THE PAVEMENT AREAS AND FOR BEDDING AND BACKFILL TO SPRING LINE OF PIPE IN UNPAVED AREAS.

9. THE COMMUNITY DEVELOPMENT DEPARTMENT OF INDIANOLA, IOWA AND LEE CHAMBERLIN CONSULTANT ENGINEERS MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.

10. ALL SITE CONSTRUCTION WORK SHALL BE INSPECTED BY THE CITY OF INDIANOLA OR THEIR REPRESENTATIVE. THE SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY LEE CHAMBERLIN CONSULTANT ENGINEERS.

11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY WITH LEE CHAMBERLIN CONSULTANT ENGINEERS THAT THE CONSTRUCTION PLANS BEING USED ARE THE APPROVED PLANS AND REFLECT ANY AND ALL REVISIONS.

12. ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR, INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, OR FOUNDATION STUDIES, SHALL BE FILLED AS SOON AS PRACTICAL. PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.

13. ON SITE DISPOSAL OF TREES OR BRUSH SHALL NOT BE ALLOWED.

14. ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTION 2601 OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. IF CONSTRUCTION CANNOT BE COMPLETED BEFORE THE END OF THE NORMAL SEEDING PERIOD, TEMPORARY SEEDING WILL BE REQUIRED IN THE INTERIM.

15. CONTRACTOR SHALL SUPPLY ADEQUATE SIGNING ON ALL STREET CLOSURES TO PREVENT UNNECESSARY DISRUPT OF TRAFFIC. ALL TRAFFIC CONTROL SIGNING FOR STREET CLOSURES SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

16. SOIL BORINGS OBTAINED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.

17. SANITARY SEWER SERVICE LINES SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D 3034 & SDR 23.5. CLASS II BEDDING SHALL BE USED PER STANDARD SPECIFICATIONS. ALL SERVICE CONNECTIONS MUST BE MANUFACTURED, GASKETED WYES. TEES AND SOLVENT WELD WYES AND BENDS ARE NOT PERMITTED. SANITARY SEWER SHALL BE TELEVIEWED BY THE OWNER.

18. WATER SERVICES SHALL BE ¾" DIA. COPPER SCHEDULE "K" W/¾" METER, STOP BOX AND ADAPTER SHALL MEET CITY OF INDIANOLA STANDARDS. ALL FIRE HYDRANTS SHALL BE PAINTED RED.

19. ALL PROPOSED STORM SEWERS MUST BE A MINIMUM OF 2000D. THE OUTMOST FOUR SECTIONS, INCLUDING THE FLARED END SECTION OF ALL STORM SEWER MUST BE TIED AS PER IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN RF-14, TYPE 3 CONNECTIONS.

20. ALL PIPE CULVERT AND STORM SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CLASS "B" BEDDING.

21. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED AS A PART OF THIS PROJECT.

22. THE POST DEVELOPMENT RUN-OFF WILL NOT ADVERSELY AFFECT THE DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.

23. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS DO NOT INCLUDE THE FLARED END SECTION'S LENGTH. FLOWLINE ELEVATIONS ARE GIVEN FOR BOTH THE END OF PIPE AND THE FLARED END SECTION OPENING.

24. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.

25. ALL SITE LIGHTING SHALL BE HIGH PRESSURE SODIUM CUT-OFF LUMINAIRES SURFACE MOUNTED TO BUILDINGS.

26. ALL NEW WATER MAIN INSTALLED IS FOR DOMESTIC AND FIRE PROTECTION USE OF THE COMPLEX AND IS CONSIDERED PUBLIC. FUTURE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIANOLA MUNICIPAL UTILITIES. ALL NEW WATERMAIN SHALL BE C900.

27. CONTRACTOR TO SUBMIT INSURANCE CERTIFICATES TO MEET SUDAS STANDARDS

28. PRESSURE AND VACUUM TESTING OF MANHOLE TO BE MONITORED BY INDIANOLA WATER POLLUTION CONTROL DEPARTMENT.

29. PUBLIC SIDEWALKS SHALL BE 4' WIDE AND 4" THICK PER SUDAS.

30. REFUSE WILL BE COLLECTED BY INDIVIDUAL CONTAINERS STORED IN EACH UNITS GARAGE.

GRADING AND UTILITY NOTES:

1. ALL FILL AREAS SHALL BE COMPACTED TO THE FOLLOWING PROCTOR DENSITIES:

95% WITHIN STREET RIGHTS-OF-WAYS, DRIVE & PARKING AREAS

95% WITHIN BUILDING PAD AREAS

85% WITHIN LAWN AREAS AND OPEN SPACE

2. ALL LAND FORMS, SWALES, ETC. SHALL BE GRADED TO A SMOOTH GROUND SURFACE PROVIDING A MINIMUM SLOPE OF 1.0% EXCEPT AS NOTED.

3. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED UNDER STREETS.

4. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.

5. ALL OTHER SANITARY SEWER IMPROVEMENTS ARE CONSIDERED PRIVATE, THEREFORE MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.

6. ALL EXTERIOR LIGHTING OF THE DEVELOPED AREA IS THE RESPONSIBILITY OF THE OWNER.

PLANS FOR

CAVITT CREEK CONDOMINIUMS I

SITE IMPROVEMENTS

INDIANOLA, WARREN COUNTY, IOWA

PROJECT NO. 19017

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C03.

GRADING PLAN

C04.

LANDSCAPE PLAN

C05.

EROSION PLAN

C06.

DETAIL

LEGAL DESCRIPTION:

FINAL PLAT CAVITT CREEK PLAT 1 LOT 1 on Official Plat, now included in and forming a part of the City of Indianola, Warren County, Iowa.

ZONING: R-3

SETBACKS:

25' FRONT YARD SETBACK LINE

8' SIDE YARD SETBACK LINE

30' REAR YARD SETBACK LINE

BUILDING:

AREA = 2,496 S.F.

SINGLE STORY - CONDOMINIUMS

WOODFRAME CONSTRUCTION-SLAB ON GRADE

PARKING REQUIREMENTS:

2 STALLS PER UNIT = 48 STALLS

PARKING PROVIDED:

52'-9"x20' REGULAR STALLS (INCLUDED 18 GARAGE STALLS)

16'-9"x20' ADDITIONAL STALLS

68 TOTAL STALLS

TOTAL AREA =108,732 S.F. (100%)

OPEN SPACE = 79,410 S.F. (73.0%)

REQUIRED OPEN SPACE = 10%

HARD SURFACE AREA =29,322 S.F. (27.0%)

PLAY AREA= 17,725 F. (16.3%)

EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL MEASURES WILL BE REQUIRED OF THE CONTRACTOR IN ACCORDANCE WITH SECTION 2525 - TEMPORARY WATER POLLUTION CONTROL (SOIL EROSION), IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

2. THE DEVELOPER OR DEVELOPER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED ONTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.

3. GRADING CONTRACTOR SHALL PLACE AND MAINTAIN SILT FENCE AS INDICATED ON THE PLAN OR WHERE EROSION DEVELOPS AT THE DIRECTION OF THE CITY OR ENGINEER UNTIL VEGETATION IS ESTABLISHED.

4. ALL DISTURBED AREAS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER TOPSOIL HAS BEEN REDISTRIBUTED OVER ALL UNPAVED AREAS.

4. COMPLY WITH THE "STATE EROSION CONTROL LAWS."

BUILDING LAYOUT - BERKSHIRE

BUILDING LAYOUT - VILLA

BUILDING DIMENSIONS (TYPICAL)

PROPERTY DEVELOPER:

KADING PROPERTIES

CONTACT: RICK KADING

7008 MADISON AVENUE

URBANDALE, IOWA 50322

(515) 276-9384

PROPERTY OWNER:

KADING PROPERTIES

CONTACT: RICK KADING

7008 MADISON AVENUE

URBANDALE, IOWA 50322

(515) 276-9384

PROFESSIONAL ENGINEER:

LEE CHAMBERLIN CONSULTANT ENGINEERS

CONTACT: MARK LEE

3117 115TH STREET

VAN METER, IOWA 50261

(515) 669-4188

CONTRACTOR TO USE UTILITY

ONE CALL SYSTEM 48 HOURS BEFORE ANY EXCAVATION

1-800-292-8989

LEGEND

SECTION CORNER FOUND

SECTION CORNER SET

PROPERTY PIN FOUND

PROPERTY PIN SET

GPS MONUMENT

BENCHMARK

MONUMENT

SOIL BORING

TEST WELL

MONITORING WELL

SANITARY SEWER MANHOLE

SANITARY CLEANDOUT

SEPTIC TANK

CISTERN

LIFT STATION

STORM SEWER MANHOLE

CURB INTAKE

BEEHIVE INTAKE

CATCH BASIN

FLARED END SECTION

CULVERT

WATER MANHOLE

FIRE HYDRANT

YARD HYDRANT

WATER VALVE

POST INDICATOR VALVE

VALVE PIT

WATER METER

PUMP

METER STATION

PUMP STATION

WATER TANK

WELL

ELECTRIC MANHOLE

ELECTRIC BOX

TRANSFORMER PAD

GUY

FIBER OPTICS MANHOLE

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

TELEPHONE BOOTH

UNKNOWN MANHOLE

UTILITY POLE

DECIDUOUS TREE (EXISTING)

DECIDUOUS TREE (REQUIRED)

CONFERUOUS TREE (EXISTING)

CONFERUOUS TREE (REQUIRED)

SHRUB (EXISTING)

SHRUB (REQUIRED)

TREE REMOVAL REQUIRED

STUMP

PROPOSED PAVEMENT ELEVATION

GRADE FLOW ARROW

PIPE FLOW ARROW

EXISTING CONTOURS

PROPOSED CONTOURS

PROPERTY LINE

CENTERLINE OF ROADWAY

RIGHT-OF-WAY

FENCE LINE

CONSTRUCTION LIMITS

SANITARY SEWER LINE

STORM SEWER LINE

STORM CULVERT PIPE

REINFORCED CONCRETE PIPE

DUCTILE IRON PIPE

WATER LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

UNDERGROUND TELEPHONE LINE

FIBER OPTICS LINE

HIGH PRESSURE GAS LINE

LOW PRESSURE GAS LINE

STEEL LUMINAIRE

WOOD LUMINAIRE

SIGN

MAILBOX

BN

PROPANE TANK

VICINITY SKETCH

SCALE: 1"=400'

DESIGN START DATE:

01-01-18

DATE PLOTTED:

04-11-18

PRELIMINARY FIELD WORK COMPLETED:

04-09-18

FIELD BOOK NO.

1018-01

CAVITT CREEK CONDOMINIUMS I

INDIANOLA, WARREN COUNTY, IOWA

CHAMBERLIN

CONSULTANT ENGINEERS

3117 115TH STREET

VAN METER, IOWA 50261

TELE: (515) 669-4188

EMAIL ADDRESS:

mlee@lechamberlinengineers.com

DRAWING TITLE:

TITLE

DRAWN BY:

JGP

CHECKED BY:

MLL

DATE:

11-21-19

JOB NO.

19017

SHEET

C01

PROFESSIONAL ENGINEER & LAND SURVEYOR

LICENSED

MARK LINDSAY LEE

11582

IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature:

MARK L. LEE

Date:

My license renewal date is December 31, 2020.

Pages or sheets covered by this seal:

- SANITARY NOTES
- ONE WEEK PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
a. CITY OF INDIANOLA
b. ALL UTILITY COMPANIES
c. Developer
d. Engineer
 - ALL MATERIALS AND CONSTRUCTION ARE TO BE IN STRICT COMPLIANCE WITH THE INDIANOLA SPECIFICATIONS FOR SUBDIVISIONS INCLUDING THE LATEST REVISIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES AND WHETHER ADDITIONAL UTILITIES OR STRUCTURES EXIST AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL EITHER RECONNECT OR CONNECT TO STORM SEWER, ANY FIELD TILE INTERCEPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE CITY OF INDIANOLA WHEN FIELD TILE IS ENCOUNTERED.
 - THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
 - ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPLICABLE SAFETY REGULATIONS.
 - THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING "AS-BUILT" INFORMATION FOR ALL NEW CONSTRUCTION. RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT UP TO DATE AS THE WORK PROGRESSES. THE ORIGINAL RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
 - ALL FILL AREAS, TRENCH BACKFILL AND PAVING SUBGRADE ARE TO BE COMPACTED TO A MINUM OF 95% STANDARD PROCTOR WITH A MOISTURE CONTENT BETWEEN OPTIMUM AND +4%.
 - ALL DEBRIS SPILLED ON PUBLIC STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 - IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY ESTIMATE AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
 - ALL SANITARY SERVICES AND STUB OUTS FROM MANHOLES SHALL BE CAPPED
 - ALL SANITARY SEWER MANHOLES SHALL HAVE TYPE "A" CASTINGS UNLESS OTHERWISE SPECIFIED
 - PROVIDE SANITARY SEWER SERVICE RISER AS REQUIRED BY THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - THE CONTRACTOR SHALL MARK SANITARY SEWER MANHOLES AND SANITARY SEWER SERVICES WITH STEEL FENCE POSTS. TOP ONE FOOT OF POSTS MARKING SERVICES IS TO BE PAINTED GREEN. POSTS MARKING SANITARY MANHOLES ARE TO BE PAINTED GREEN FROM TOP OF POST TO GRADE.
 - SANITARY MANHOLES ARE TO BE FURNISHED WITHOUT STEPS.
 - SANITARY MANHOLE TYPE "A" CASTINGS ARE TO BE BOLTED TO THE TOP OF THE MANHOLE USING A MINIMUM OF TWO (2) 1/2" STEEL ANCHOR RODS.
 - CRETEX PRO-RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO GRADE. NO MORE THAN 12" OF RINGS TO BE USED.
 - ALL SANITARY SEWERS SHALL BE CLEANED AND TELEVIEWED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
 - ALL SANITARY SEWERS SHALL BE MANDREL TESTED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
 - A CITY REPRESENTATIVE SHALL BE ONSITE WHEN MANDREL AND AIR TESTING IS PERFORMED.
 - CONTRACTOR SHALL MAINTAIN 1% SLOPES ON ALL SANITARY SERVICES TO PROVIDE MAXIMUM DEPTH AT SERVICE END.
 - ALL MANHOLES SHALL CONTAIN A CONCRETE ADMIXTURE CON(MIC) SHIELD ANTI-BACTERIAL ADMIXTURE AS MANUFACTURED BY CONSHIELD TECHNOLOGIES, INC., OR APPROVED EQUAL.
 - TRACER WIRE SHALL BE INSTALLED FOR ALL SANITARY SEWER FORCE MAINS.

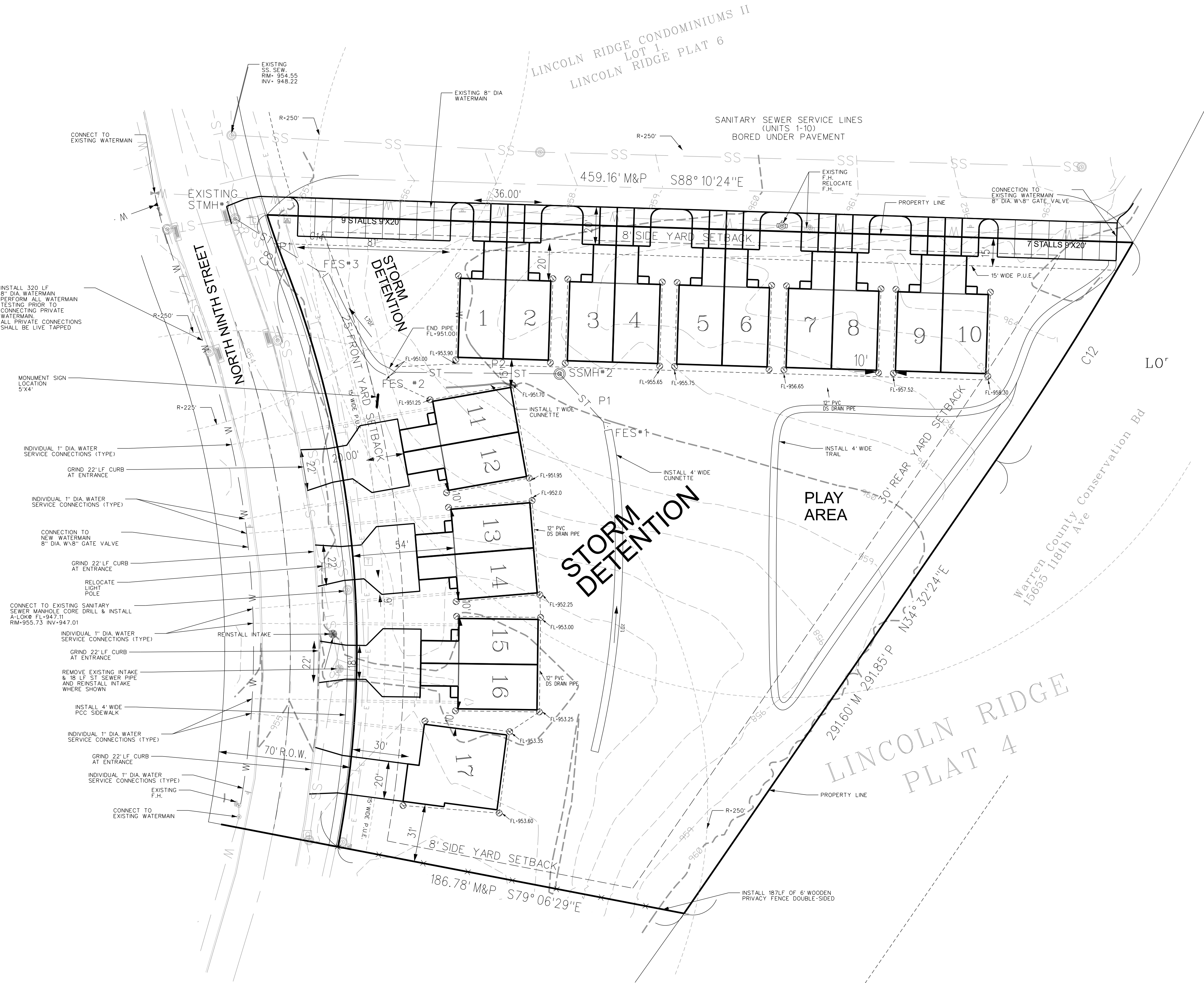
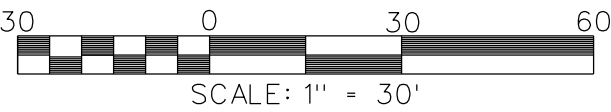
STORM SEWER TABULATIONS						
FES	FL	DIAMETER	PIPES	FROM	TO	LENGTH DIA. SLOPE
FES#1	952.30	12"	P1	FES#1	STMH#2	34.00 12 1.00
FES#2	951.00	12"	P2	STMH#2	FES#2	88.00 12 0.98
FES#3	950.00	12" W/O OFFICE	P3	FES#3	STMH#1	55.00 12 1.45

STORM MANHOLE
EXISTING STMH#1
INV+949.20

STMH #2
RIM+957.5
FLSE+951.96
FLW+951.86

NOTES:

1. ADDITIONAL PARKING SPACES ARE INSTALLED AT LINCOLN RIDGE CONDOMINIUMS II PER AMENDED SITE PLAN.

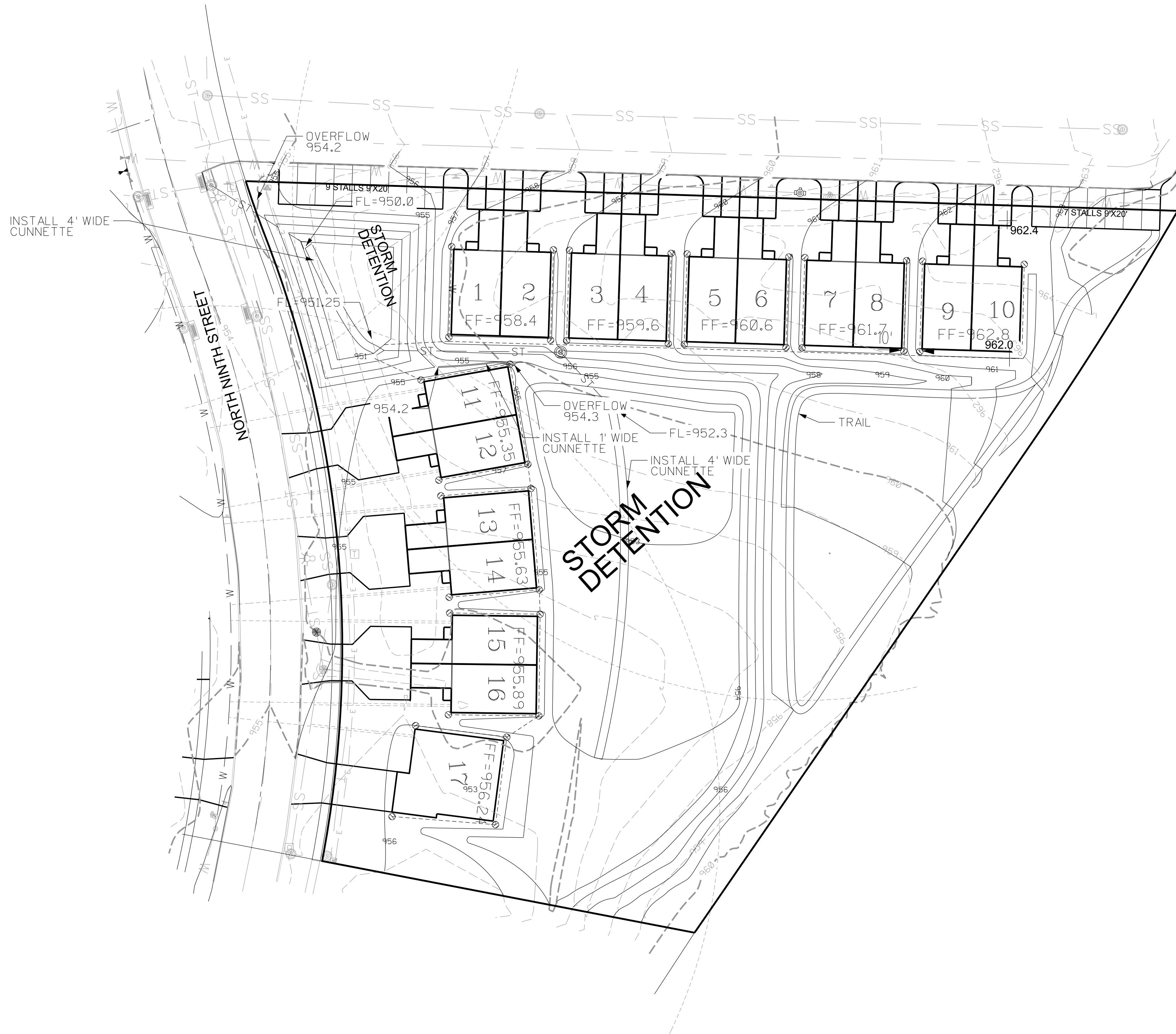
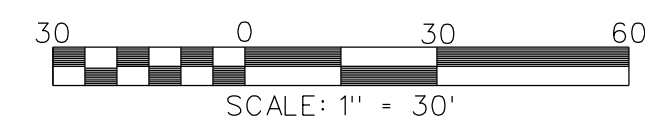


Wilhelmi, Melissa M/James
1404 N 9th St
Indianola IA 50125

C12
Δ=04° 41'25.31" M
=04° 41'25" P
R=1665.09'M&P
L=136.31' M
=136.30' P
CH=136.27' M&P
CHBRG=N32° 10'37"E M
CHBRG=N32° 04'43"E P

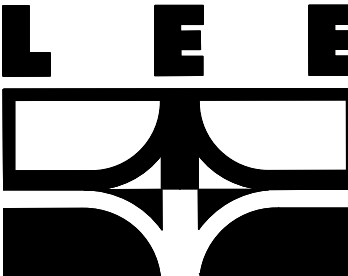
C8
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=04° 41'25" P
R=515.0'M&P
L=29.45' M
=29.46' P
CH=29.45' M&P
CHBRG=N19° 29'15"W M
CHBRG=N19° 35'43"W P

C4
Δ=31° 57'50.6" M
=32° 00'35" P
R=560'M&P
L=312.41' M
=312.86' P
CH=308.38' M
CH=308.80' P
CHBRG=N05° 10'12"W M
CHBRG=N05° 13'16"W P



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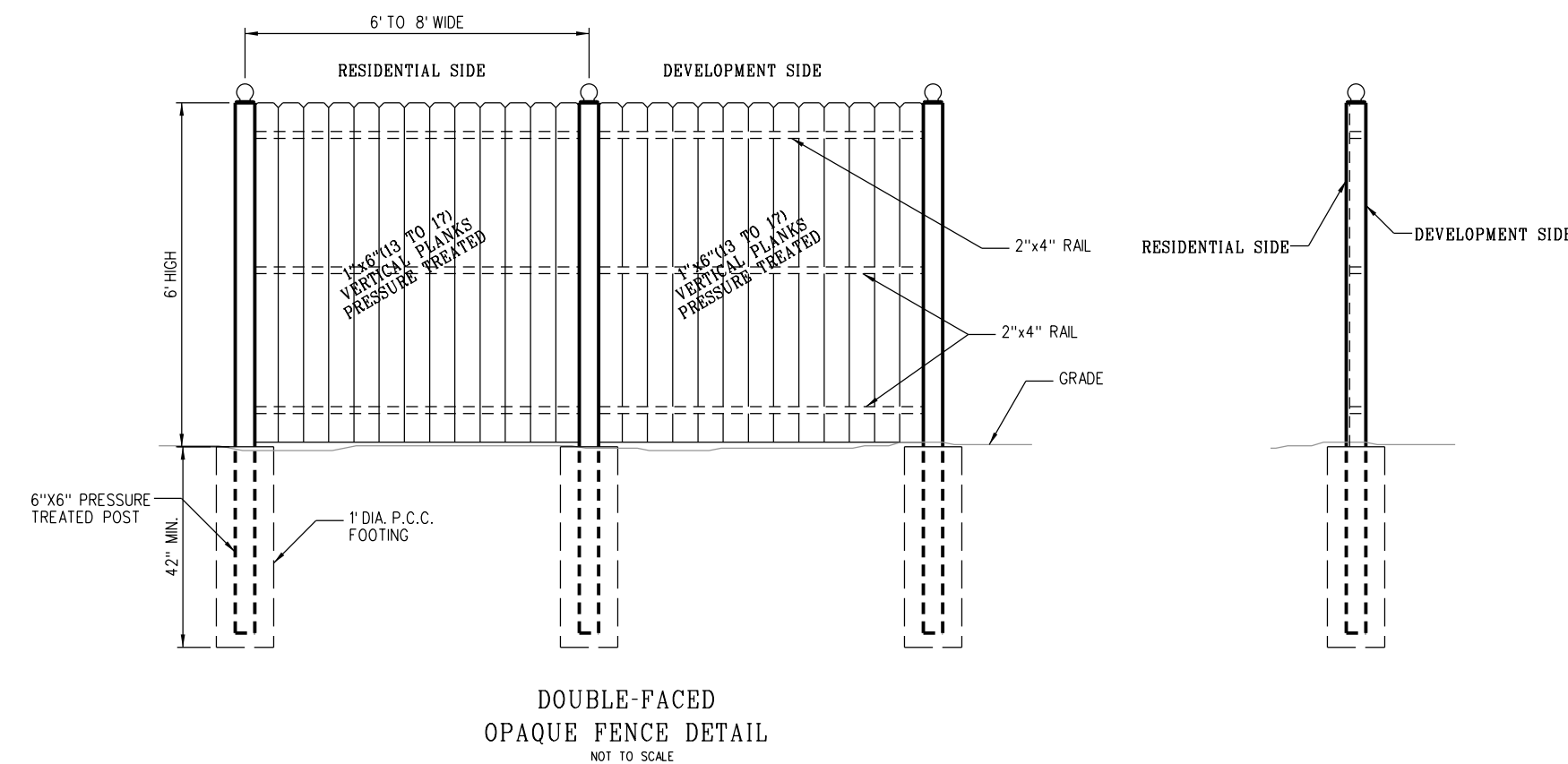
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mlce@leechamberlinengineers.com

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GRADING
PLAN

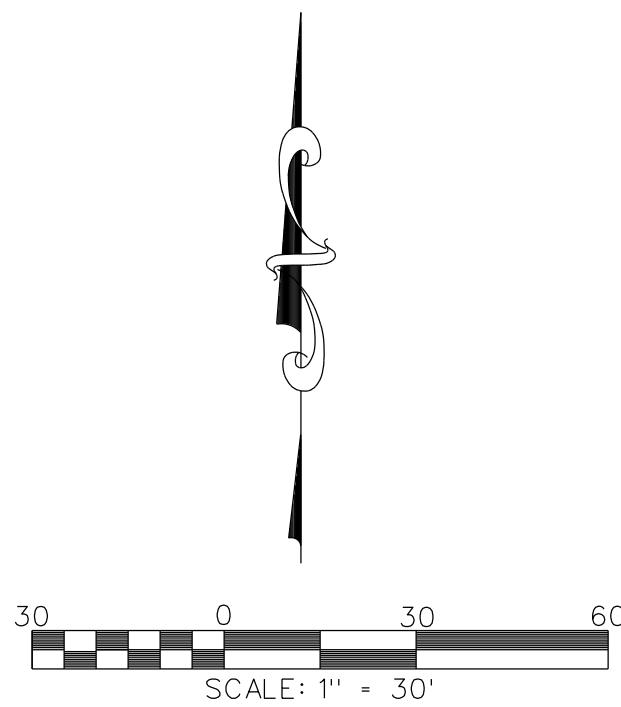
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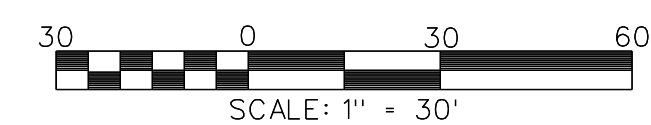
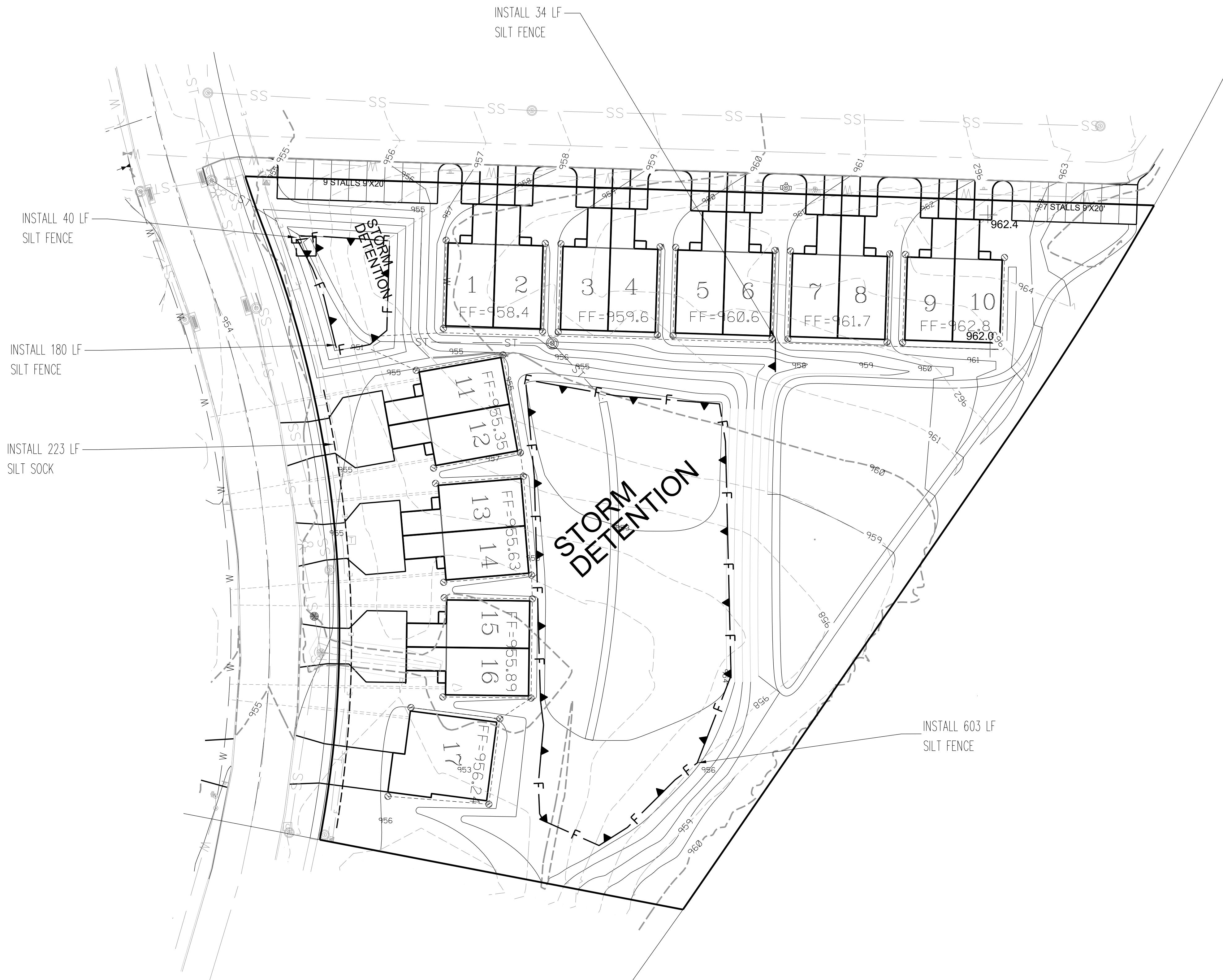


GENERAL NOTES:

- CONTRACTOR TO PROVIDE SILT FENCE AND ALL NECESSARY EROSION CONTROL MEASURES AROUND AREAS OF CONSTRUCTION.
 - PUT UP BEFORE ANY OTHER WORK IS DONE
 - INSTALL ON DOWN SLOPE SIDE(S) OF SITE WITH ENDS EXTENDED UP SIDE SLOPES A SHORT DISTANCE
 - PLACE PARALLEL TO THE CONTOUR OF THE LAND TO ALLOW WATER TO POND BEHIND FENCE
 - ENTRENCH FOUR INCHES DEEP
 - USE ONE STAKE EVERY THREE FEET
 - DON'T LEAVE GAPS BETWEEN SECTIONS OF SILT FENCE
 - INSPECT AND REPAIR WEEKLY AFTER EVERY 1/2" RAIN. REMOVE SEDIMENT IF DEPOSITS REACH HALF THE FENCE HEIGHT.
 - MAINTAIN UNTIL A LAWN IS ESTABLISHED.
- SEDIMENT CLEANUP
 - AT THE END OF EACH WORK DAY, SWEEP OR SCRAPE UP SOIL TRACKED ONTO ROADS.
 - BY THE END OF THE NEXT DAY AFTER A STORM, CLEAN UP SOIL WASHED OFF SITE, AND CHECK STRAW BALES AND SILT FENCES FOR DAMAGE OR SEDIMENT BUILDUP.
- PRESERVING EXISTING VEGETATION
 - WHEREVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION.
 - TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
 - PLACE PLASTIC MESH OR SNOW FENCE BARRIERS AROUND TREES TO PROTECT THE AREA BELOW THEIR BRANCHES.
- REVEGETATION: SEED, SOD OR MULCH BARE SOIL AS SOON AS POSSIBLE.
- DURING SITE DEVELOPMENT THE OWNER'S ARBORIST WILL TAG AND LOCATE THE EXISTING TREES TO BE SAVED, PROTECTED AND PRUNED AS STATED ABOVE.

PLANT MATERIAL SCHEDULE							
KEY	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	HGT & SPREAD	GROWTH	REMARKS
		OVERSTORY – DECIDUOUS					
D1	0	ACER NIGRUM	BLACK MAPLE	2" CAL.	75x60	MODERATE	
D2	0	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL.	75x50	MODERATE	
D3	0	BETULA NIGRA	RIVER BIRCH	2" CAL.	60x40	FAST	
D4	0	QUERCUS RUBRA	RED OAK	2" CAL.	75x60	MODERATE	
D5	3	ACER RUBRUM	RED SUNSET MAPLE	2" CAL.	70x50	FAST	
D6	10	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	45x45	FAST	
D7	3	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	60x40	MODERATE	
		OVERSTORY – EVERGREEN					
E1	0	PINUS SYLVESTRIS	SCOTS PINE	6' TALL	60x50	FAST	
E2	0	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	6' TALL	40x25	SLOW	
E3	0	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	6' TALL	20x10	SLOW	
E4	0	PICEA ABIES	NORWAY SPRUCE	6' TALL	40x25	SLOW	
		ORNAMENTAL – DECIDUOUS					
D01	0	CERCIS CANADENSIS	REDBUD	1" CAL.	30x20	MODERATE	
D02	11	MALUS SP	SPRING SNOW CRAB	1" CAL.	20x20	MODERATE	
D03	9	ACER PLATANOIDES 'COLUMNARE'	COLUMNAR NORWAY MAPLE	1" CAL.	45x15	MODERATE	
		SHRUBBERY					
S1	0	JUNIPERUS SCOPULARUM	WICHITA BLUE JUNIPER	2' TALL	10'x6'		
S2	22	BUXUS SEPERVIRENS	BOXWOOD	15" TALL	5'x3'		
S3	0	PHYSOCARPUS OPULIFOLIUS	GOLDEN NINE BARK	2' TALL	8'x6'		
S4	0	ACER GINALLA COMPACTA	DWARF AMUR MAPLE	3' TALL	8'x8'		
S5	32	PRUNUS CISTENA	FLOWERING PLUM	3' TALL	8'x6'		
		TURF					
		SOD: MIXTURE OF BLUEGRASS/RYE; 5 FOOT BORDER AROUND ALL NEW PAVED AREAS, 10' BORDER AROUND BUILDING					
		SEED: MIXTURE OF BLUEGRASS/RYE TO BE APPLIED TO ALL DISTURBED LAWN AREAS NOT RECEIVING SOD.					
		NOTE: MULCH AROUND ALL TREES AND SHRUBS AND IN PLANTING BEDS.					
		STORM WATER DETENTION AREA:					
		PLANT MATERIALS TO INCLUDE A MIX MOISTURE TOLERANT FLOWERS AND GRASSES AND TURF GRASSES.					





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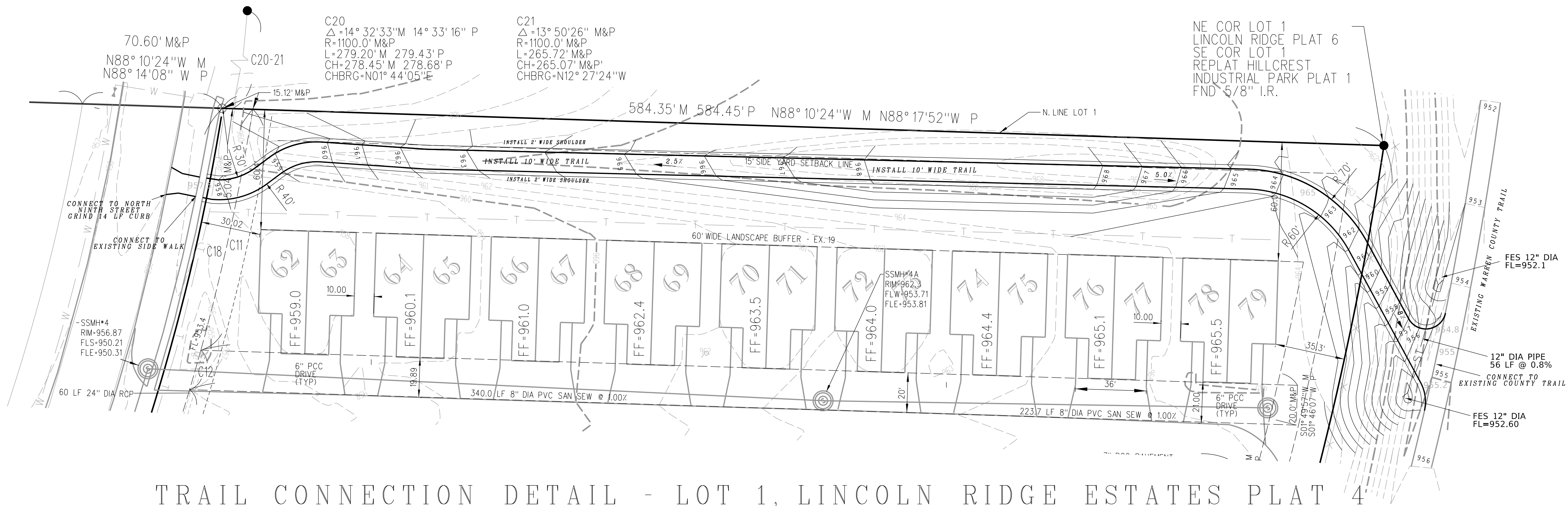
LEE
CHAMBERLIN
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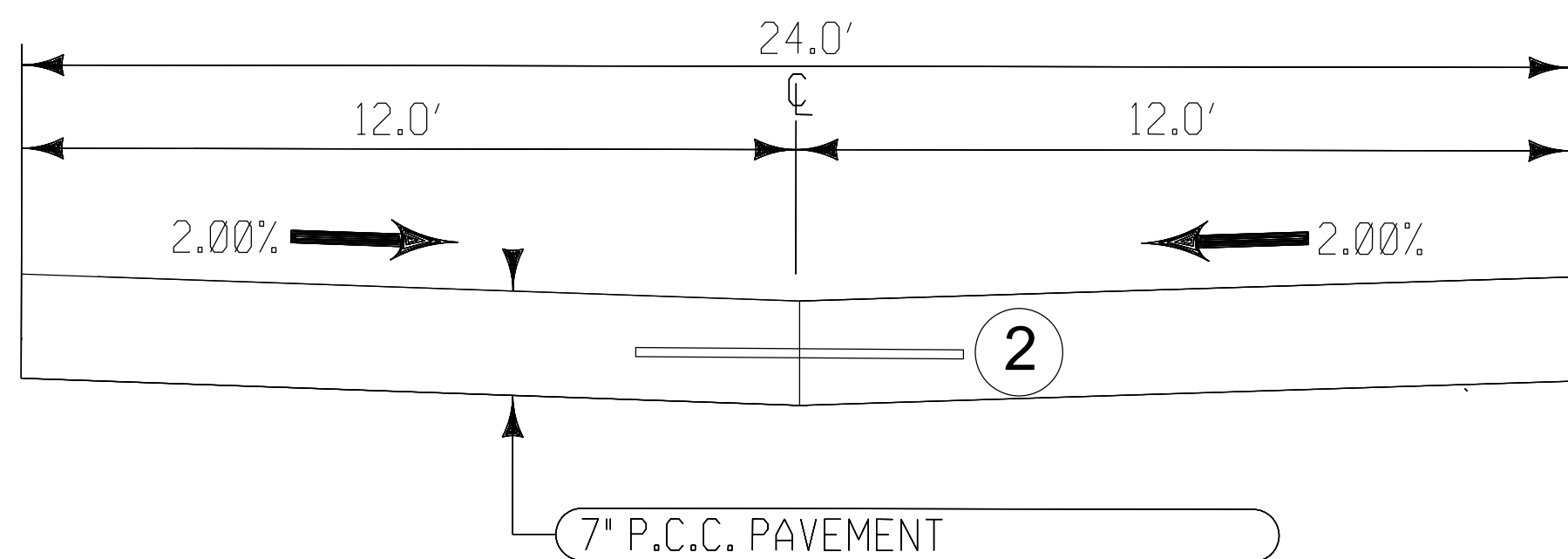
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TRAIL CONNECTION DETAIL - LOT 1, LINCOLN RIDGE ESTATES PLAT 4

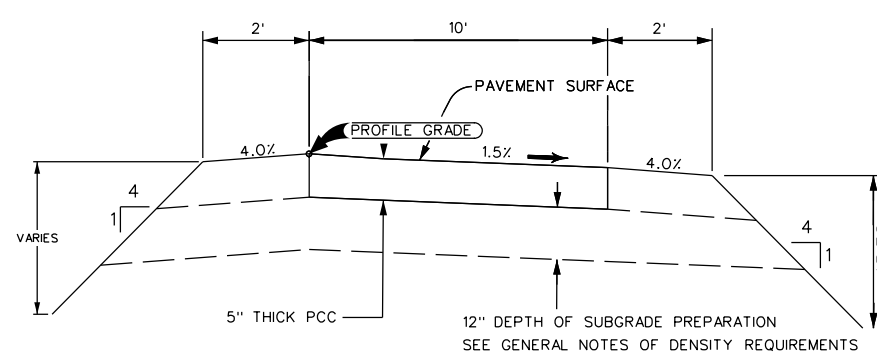
NOTE:

1. TRAIL EASEMENT TO BE CONVEYED AT THE TIME OF SITE PLAN APPROVAL BY CITY COUNCIL.



TYPICAL CROSS SECTION - PRIVATE DRIVE
7\"/>

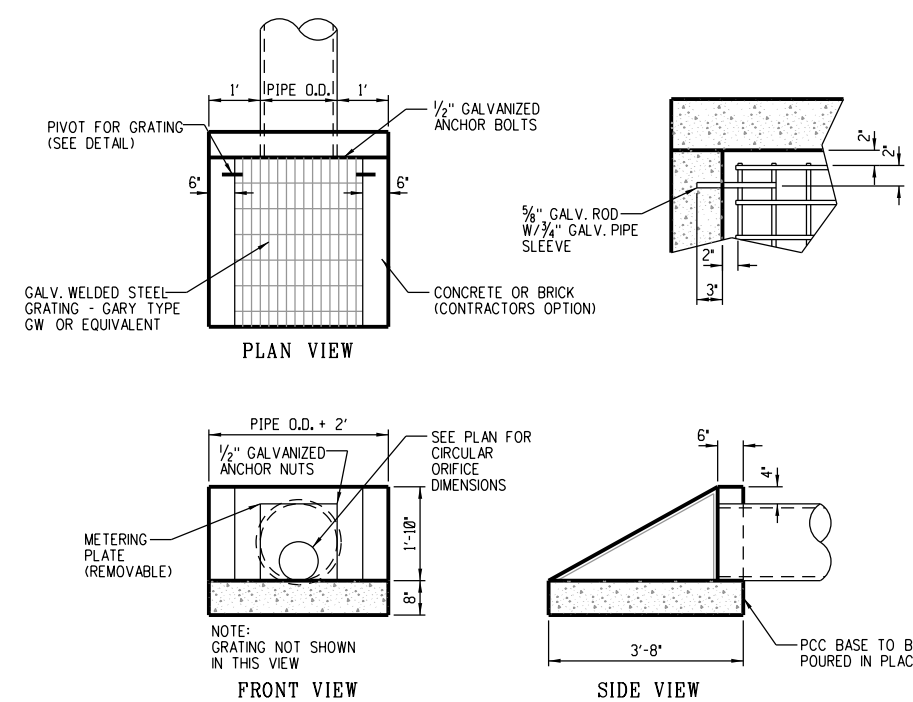
2. BT, KT, OR L JOINT DEPENDING UPON CONSTRUCTION SEQUENCE.



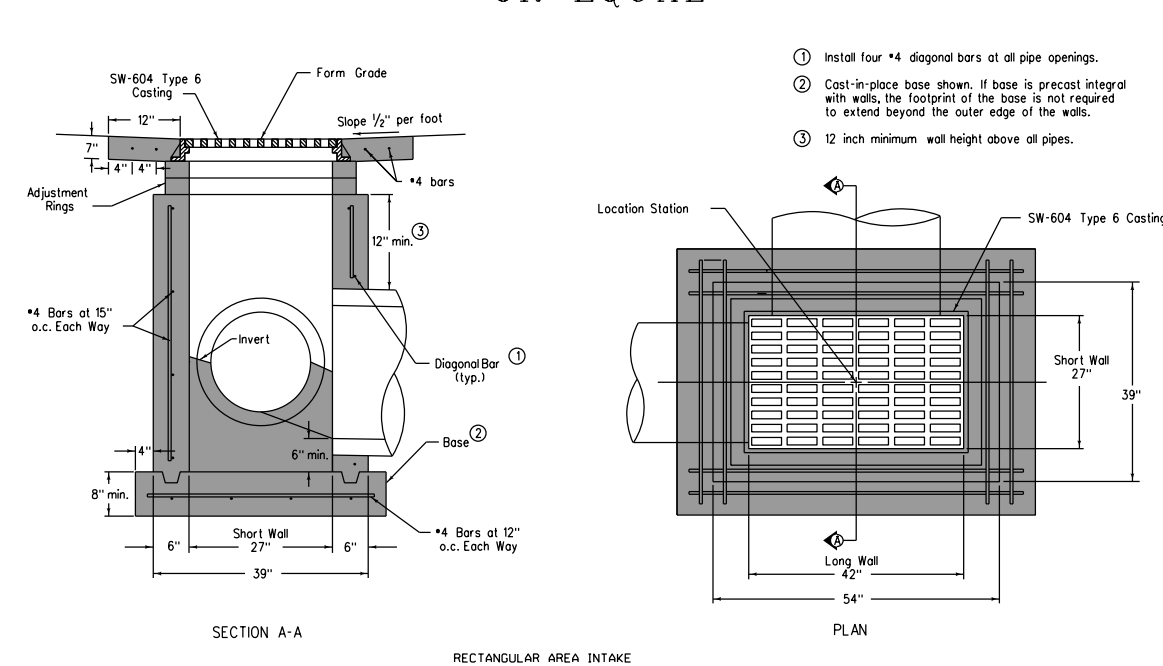
TYPICAL TRAIL CROSS SECTION

JOINTS: SHALL BE 'C' JOINTS FOR PAVEMENT THICKNESS LESS THAN 8\"/>

NEENAH R-3396
OR EQUAL

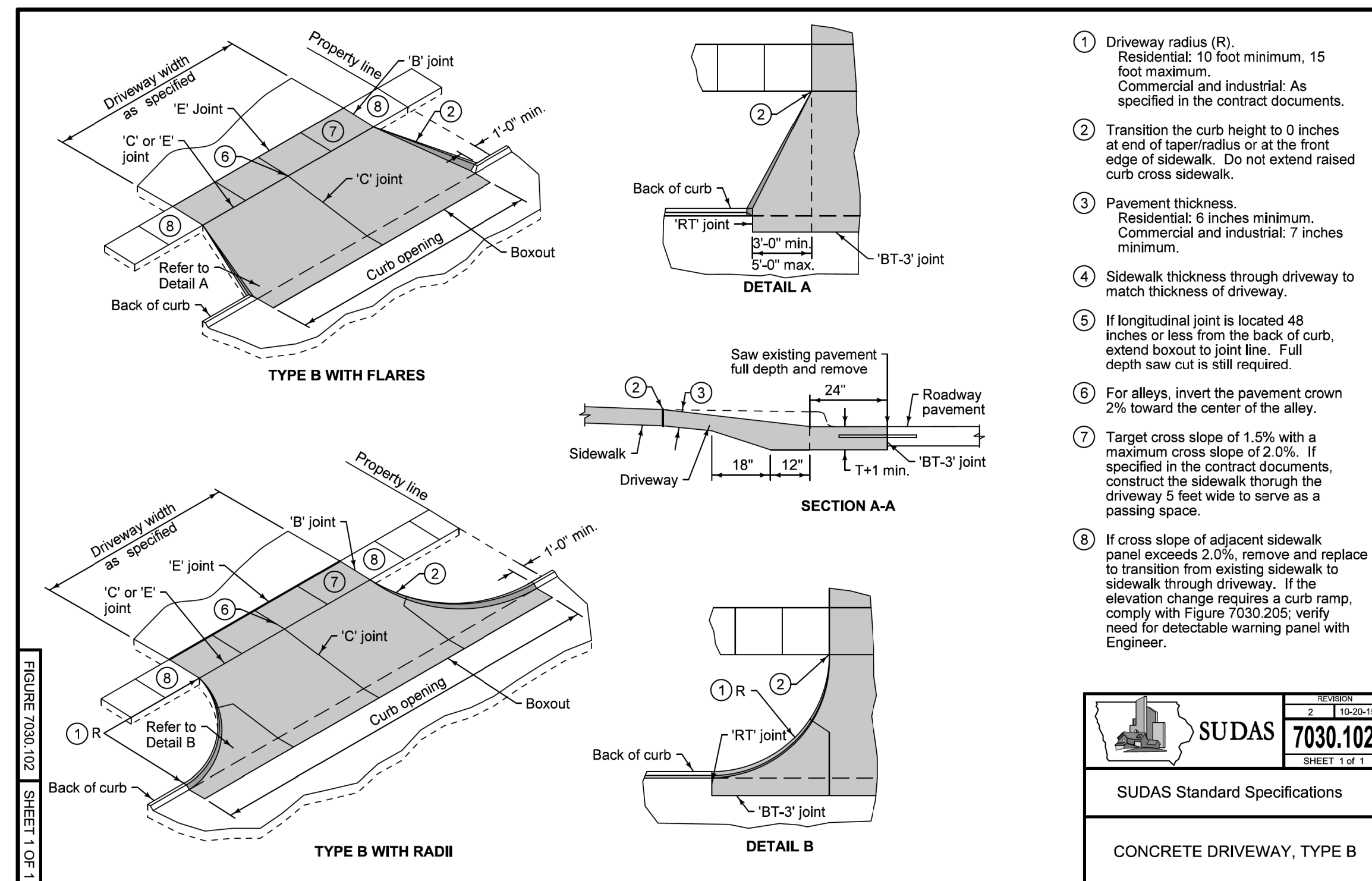


DETENTION BASIN OUTLET
PIPE ORIFICE DETAIL
NOT TO SCALE



MAXIMUM PIPE DIMENSIONS			
Pipe Location	Structure	Standard	Cast in place
Short Wall	15'	15'	15'
Long Wall	24'	24'	30'

Type "M-H" Intake, SM-511 - MOD. 02-11-17



- 1 Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
- 6 For alleys, invert the pavement crown 2% toward the center of the alley.
- 7 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 8 If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figure 7030.205; verify need for detectable warning panel with Engineer.

SUDAS Standard Specifications	
CONCRETE DRIVEWAY, TYPE B	

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- GENERAL NOTES:
1. ALL CONTRACTORS SHALL HAVE ALL PUBLIC AND PRIVATE UTILITIES FIELD LOCATED PRIOR TO BEGINNING ANY CONSTRUCTION WORK THROUGH IOWA ONE-CALL (1-800-292-8989) 48 HOURS PRIOR TO CONSTRUCTION. CONFIRM LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. OWNER AND ENGINEER DO NOT GUARANTEE CORRECTNESS OF ALIGNMENTS SHOWN.
 2. ALL ELEVATIONS ARE ON NAVD 88 DATUM.
 3. ALL QUANTITIES ARE FOR CONTRACTOR CONVENIENCE. WHERE CONFLICTS OCCUR, DRAWINGS SHALL PREVAIL.
 4. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO PROPERTY LINES UNLESS NOTED. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.
 5. ALL SITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT SUDAS SPECIFICATIONS INCLUDING THE MOST RECENT AMMENDMENTS TO THE SANITARY SEWER SPECIFICATIONS.
 6. P.C.C. PAVEMENT SHALL BE A 7" CLASS "C" CONCRETE MIX WITH CLASS 2 OR CLASS 3 DURABILITY COARSE AGGREGATE AS SPECIFIED IN THE MOST CURRENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION FROM THE IOWA DEPARTMENT OF TRANSPORTATION.
 7. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 8. USE COMPACTED BACKFILL FOR ALL TRENCHES. USE ¾" CRUSHED LIMESTONE FOR BEDDING AND BACKFILL IN THE PAVEMENT AREAS AND FOR BEDDING AND BACKFILL TO SPRING LINE OF PIPE IN UNPAVED AREAS.
 9. THE COMMUNITY DEVELOPMENT DEPARTMENT OF INDIANOLA, IOWA AND LEE CHAMBERLIN CONSULTANT ENGINEERS MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
 10. ALL SITE CONSTRUCTION WORK SHALL BE INSPECTED BY THE CITY OF INDIANOLA OR THEIR REPRESENTATIVE. THE SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY LEE ENGINEERS AND SURVEYORS.
 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY WITH LEE CHAMBERLIN CONSULTANT ENGINEERS THAT THE CONSTRUCTION PLANS BEING USED ARE THE APPROVED PLANS AND REFLECT ANY AND ALL REVISIONS.
 12. ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR, INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, OR FOUNDATION STUDIES, SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
 13. ON SITE DISPOSAL OF TREES OR BRUSH SHALL NOT BE ALLOWED.
 14. ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTION 2601 OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. IF CONSTRUCTION CANNOT BE COMPLETED BEFORE THE END OF THE NORMAL SEEDING PERIOD, TEMPORARY SEEDING WILL BE REQUIRED IN THE INTERIM.
 15. CONTRACTOR SHALL SUPPLY ADEQUATE SIGNING ON ALL STREET CLOSURES TO PREVENT UNNECESSARY DISRUPTION OF TRAFFIC. ALL TRAFFIC CONTROL SIGNING FOR STREET CLOSURES SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 16. SOIL BORINGS OBTAINED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 17. SANITARY SEWER SERVICE LINES SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D 3034 & SDR 23.5. CLASS "B" BEDDING SHALL BE USED PER STANDARD SPECIFICATIONS. ALL SERVICE CONNECTIONS MUST BE MANUFACTURED, GASKETED WYES. TEES AND SOLVENT WELD WYES AND BENDS ARE NOT PERMITTED. SANITARY SEWER SHALL BE TELEVIEWED BY THE OWNER. SANITARY SEWER SHALL BE CONSIDERED PRIVATELY OWNED AND MAINTAINED.
 18. WATER SERVICES SHALL BE ¾" DIA. COPPER SCHEDULE "K" W¾" METER. STOP BOX AND ADAPTER SHALL MEET CITY OF INDIANOLA STANDARDS. ALL FIRE HYDRANTS SHALL BE PAINTED RED. WATER MAIN SHALL BE CONSIDERED PUBLICLY OWNED AND MAINTAINED.
 19. ALL PROPOSED STORM SEWERS MUST BE A MINIMUM OF 2000D. THE OUTMOST FOUR SECTIONS, INCLUDING THE FLARED END SECTION OF ALL STORM SEWER MUST BE TIED AS PER IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN RF-14, TYPE 3 CONNECTIONS.
 20. ALL PIPE CULVERT AND STORM SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CLASS "B" BEDDING.
 21. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED AS A PART OF THIS PROJECT.
 22. THE POST DEVELOPMENT RUN-OFF WILL NOT ADVERSELY AFFECT THE DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
 23. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS DO NOT INCLUDE THE FLARED END SECTION'S LENGTH. FLOWLINE ELEVATIONS ARE GIVEN FOR BOTH THE END OF PIPE AND THE FLARED END SECTION OPENING.
 24. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
 25. ALL SITE LIGHTING SHALL BE HIGH PRESSURE SODIUM CUT-OFF LUMINAIRES SURFACE MOUNTED TO BUILDINGS.
 26. ALL NEW WATER MAIN INSTALLED IS FOR DOMESTIC AND FIRE PROTECTION USE OF THE COMPLEX AND IS CONSIDERED PUBLIC. FUTURE MAINTENANCE SHALL BE THE RESPONSIBILITY OF INDIANOLA MUNICIPAL UTILITIES. ALL NEW WATER MAIN SHALL BE C900.
 27. CONTRACTOR TO SUBMIT INSURANCE CERTIFICATES TO MEET SUDAS STANDARDS
 28. PRESSURE AND VACUUM TESTING OF SANITARY SEWERS AND MANHOLES TO BE MONITORED BY INDIANOLA WATER POLLUTION CONTROL DEPARTMENT.
 29. PUBLIC SIDEWALKS SHALL BE 4' WIDE AND 4" THICK PER SUDAS.
 30. REFUSE WILL BE COLLECTED BY INDIVIDUAL CONTAINERS STORED IN EACH UNITS GARAGE.
 31. THE STREETS WILL BE PRIVATELY OWNED AND MAINTAINED.

GRADING AND UTILITY NOTES:

1. ALL FILL AREAS SHALL BE COMPACTED TO THE FOLLOWING PROCTOR DENSITIES:
95% WITHIN STREET RIGHTS-OF-WAYS, DRIVE & PARKING AREAS
95% WITHIN BUILDING PAD AREAS
85% WITHIN LAWN AREAS AND OPEN SPACE
2. ALL LAND FORMS, SWALES, ETC. SHALL BE GRADED TO A SMOOTH GROUND SURFACE PROVIDING A MINIMUM SLOPE OF 1.0% EXCEPT AS NOTED.
3. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED UNDER STREETS.
4. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
5. ALL OTHER SANITARY SEWER IMPROVEMENTS ARE CONSIDERED PRIVATE, THEREFORE MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
6. ALL EXTERIOR LIGHTING OF THE DEVELOPED AREA IS THE RESPONSIBILITY OF THE OWNER.

EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL MEASURES WILL BE REQUIRED OF THE CONTRACTOR IN ACCORDANCE WITH SECTION 2525 - TEMPORARY WATER POLLUTION CONTROL (SOIL EROSION), IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE DEVELOPER OR DEVELOPER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED ONTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
3. GRADING CONTRACTOR SHALL PLACE AND MAINTAIN SILT FENCE AS INDICATED ON THE PLAN OR WHERE EROSION DEVELOPS AT THE DIRECTION OF THE CITY OR ENGINEER UNTIL VEGETATION IS ESTABLISHED.
4. ALL DISTURBED AREAS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER TOPSOIL HAS BEEN REDISTRIBUTED OVER ALL UNPAVED AREAS.
4. COMPLY WITH THE "STATE EROSION CONTROL LAWS."

PLANS FOR CAVITT CREEK CONDOMINIUMS II SITE IMPROVEMENTS INDIANOLA, WARREN COUNTY, IOWA PROJECT NO. 19017

INDEX OF PAGES

PAGE NO.	DESCRIPTION
C01.	TITLE PAGE, QUANTITIES, & GENERAL NOTES
C02.	SITE PLAN LAYOUT
C03.	GRADING PLAN
C04.	LANDSCAPE PLAN
C05.	EROSION PLAN
C06.	DETAIL



CONTRACTOR TO USE UTILITY
ONE CALL SYSTEM 48 HOURS BEFORE ANY EXCAVATION
1-800-292-8989

LEGAL DESCRIPTION:

FINAL PLAT CAVITT CREEK PLAT 2 LOT 1
an Official Plat, now included in and forming a part of the City of
Indianola, Warren County, Iowa.

ZONING: R-3

SETBACKS:
25' FRONT YARD SETBACK LINE
8' SIDE YARD SETBACK LINE (DOUPLEXES)
10' SIDE YARD SETBACK LINE (SIX-PLEX)
30' REAR YARD SETBACK LINE
25' SIGN SETBACK

BUILDING:
AREA - VARIES, SEE FOOTPRINT DETAILS
ONE AND TWO STORY - CONDOMINIUMS

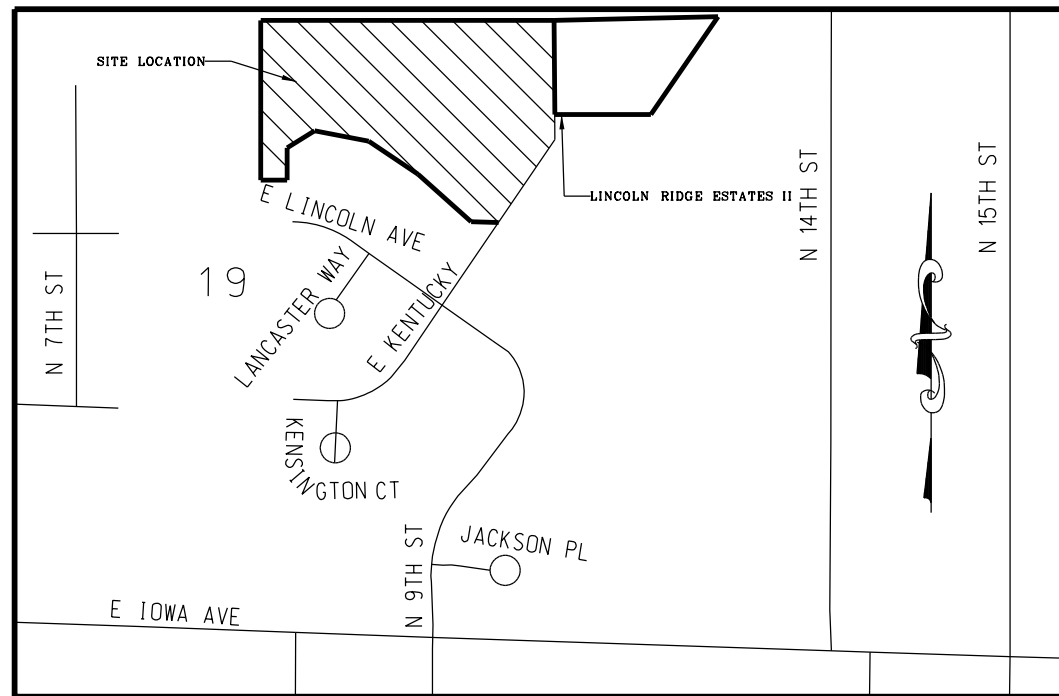
PARKING REQUIREMENTS:
2 STALLS PER UNIT - 238 STALLS

PARKING PROVIDED:
428 - 9'x20' SPACES (INCLUDING 190 GARAGE SPACES)
32 - 9'x20' ADDITIONAL STALLS

TOTAL AREA - 668,996 S.F. (100%)
OPEN SPACE - 394,784 S.F. (59.0%)
REQUIRED OPEN SPACE - 10%
HARD SURFACE AREA - 274,212 S.F. (41.0%)
PLAY AREA - 53,066 S.F. (7.9%)

LEGEND

	SECTION CORNER FOUND		DECIDUOUS TREE (EXISTING)
	SECTION CORNER SET		DECIDUOUS TREE (REQUIRED)
	PROPERTY PIN FOUND		CONIFEROUS TREE (EXISTING)
	PROPERTY PIN SET		CONIFEROUS TREE (REQUIRED)
	GPS MONUMENT		SHRUB (EXISTING)
	BENCHMARK		SHRUB (REQUIRED)
	MONUMENT		TREE REMOVAL REQUIRED
	SOIL BORING		STUMP
	TEST WELL		PROPOSED PAVEMENT ELEVATION
	MONITORING WELL		GRADE FLOW ARROW
	SANITARY SEWER MANHOLE		PIPE FLOW ARROW
	SANITARY CLEANOUT		EXISTING CONTOURS
	SEPTIC TANK		PROPOSED CONTOURS
	CISTERN		PROPERTY LINE
	LIFT STATION		CENTERLINE OF ROADWAY
	STORM SEWER MANHOLE		RIGHT-OF-WAY
	CURB INTAKE		FENCE LINE
	BEEHIVE INTAKE		CONSTRUCTION LIMITS
	CATCH BASIN		SANITARY SEWER LINE
	FLARED END SECTION		STORM SEWER LINE
	CULVERT		STORM CULVERT PIPE
	WATER MANHOLE		REINFORCED CONCRETE PIPE
	FIRE HYDRANT		DUCTILE IRON PIPE
	YARD HYDRANT		WATER LINE
	WATER VALVE		OVERHEAD ELECTRIC LINE
	POST INDICATOR VALVE		UNDERGROUND ELECTRIC LINE
	VALVE PIT		UNDERGROUND TELEPHONE LINE
	WATER METER		FIBER OPTICS LINE
	PUMP		HIGH PRESSURE GAS LINE
	METER STATION		LOW PRESSURE GAS LINE
	PUMP STATION		STEEL LUMINAIRE
	WATER TANK		WOOD LUMINAIRE
	WELL		SIGN
	ELECTRIC MANHOLE		MAILBOX
	ELECTRIC BOX		BN
	TRANSFORMER PAD		PROPANE TANK
	GUY		
	FIBER OPTICS MANHOLE		
	TELEPHONE MANHOLE		
	TELEPHONE PEDESTAL		
	TELEPHONE BOOTH		
	UNKNOWN MANHOLE		
	UTILITY POLE		

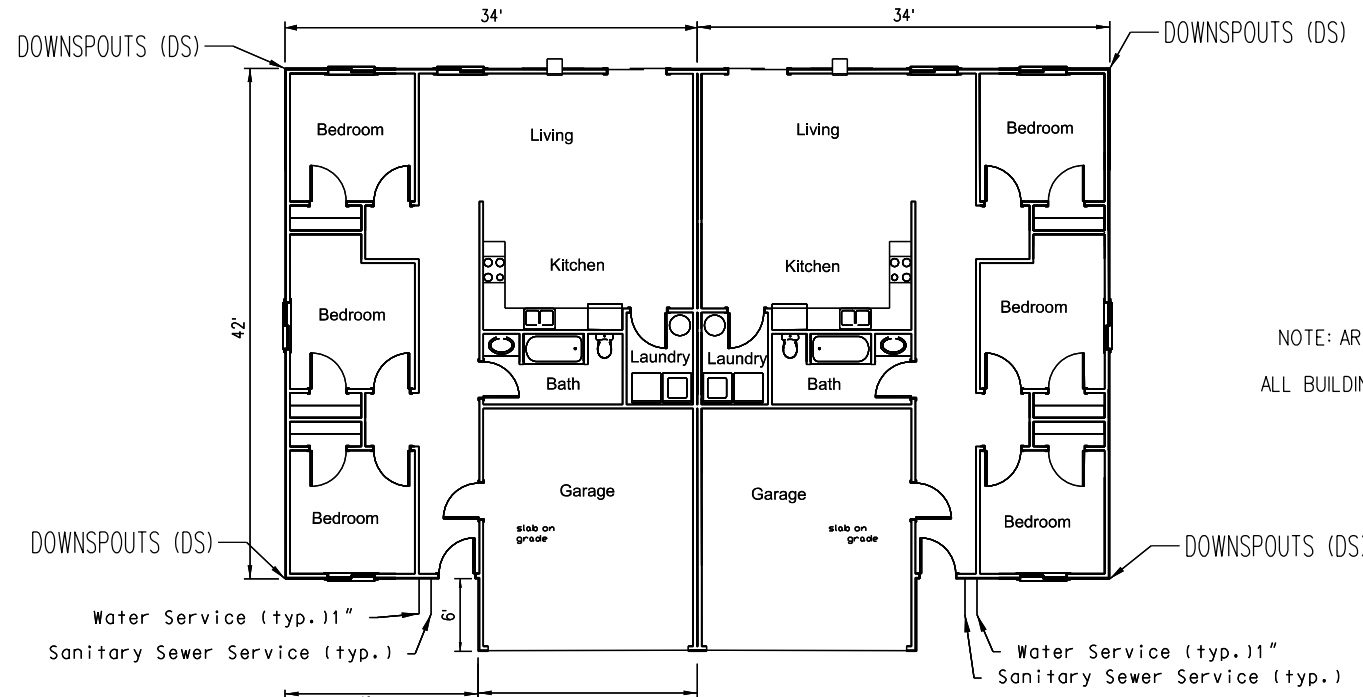


STYLE I. UNITS 1-18 & 47-88

VICINITY SKETCH



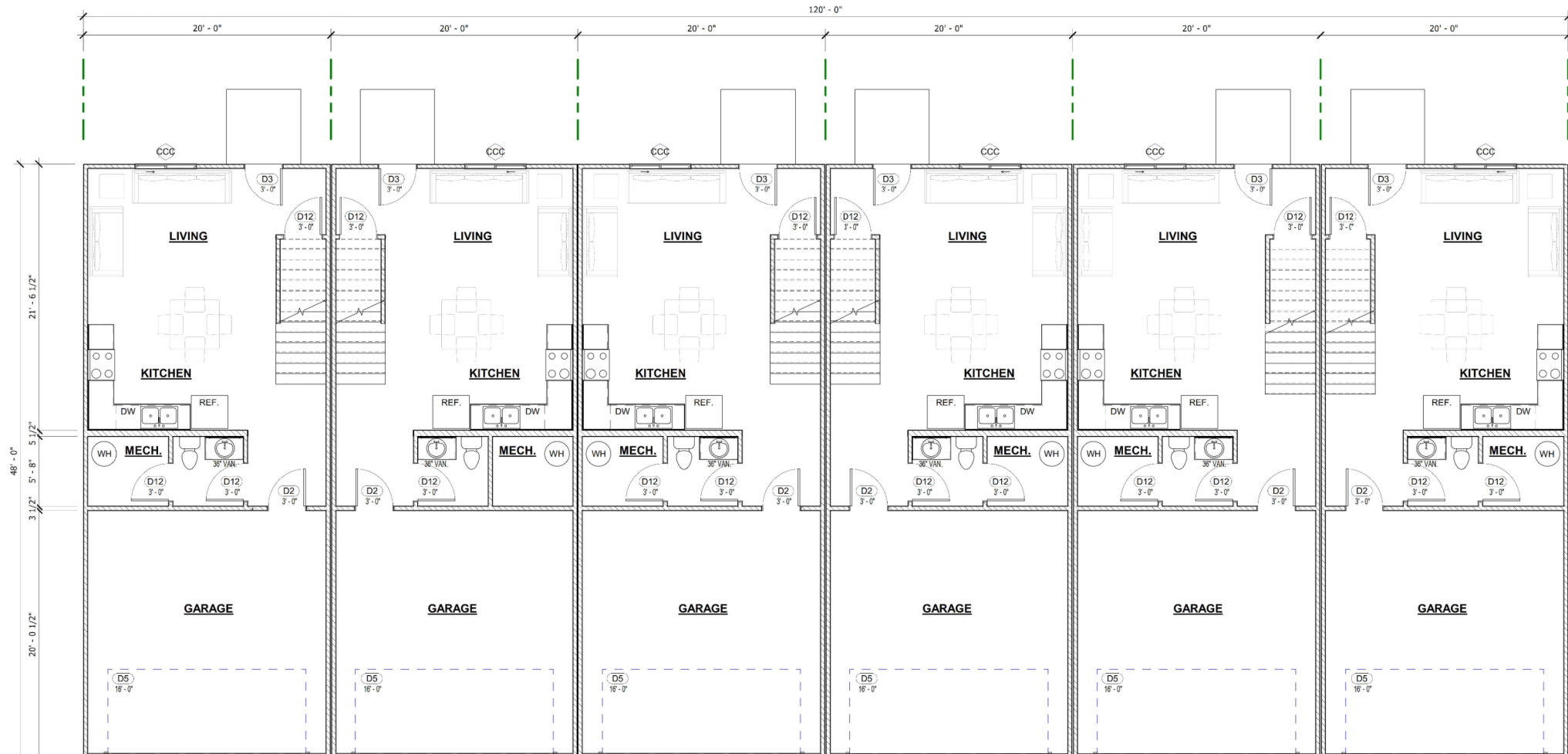
BUILDING LAYOUT - BRADFORD



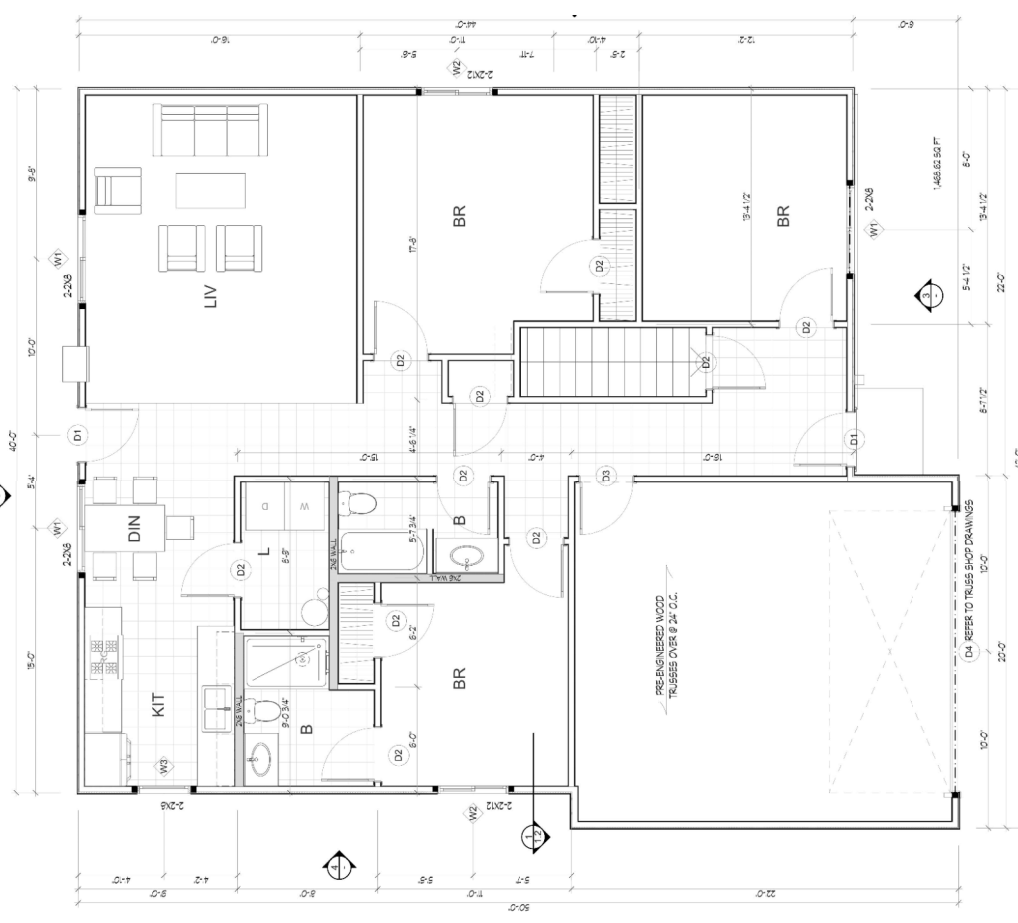
NTS

NOTE: AREA PER UNIT - 1534 SF (TOTAL SITE - 49,088 SF)
ALL BUILDINGS ARE SLAB ON GRADE WITH TRENCH FOOTINGS

STYLE II. UNITS 89-106



BUILDING LAYOUT - BERKSHIRE



PROPERTY OWNER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
URBANDALE, IOWA 50322
(515) 276-9384

PROPERTY DEVELOPER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
URBANDALE, IOWA 50322
(515) 276-9384

PROFESSIONAL ENGINEER:
LEE CHAMBERLIN CONSULTANT ENGINEERS
CONTACT: MARK LEE
3117 115TH STREET
VAN METEER, IOWA 50261
(515) 669-4188



I hereby certify that this engineering document was prepared by me or
under my direct personal supervision and that I am a duly licensed
Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date: _____
Name: (Printed or typed) MARK L. LEE
License Number: 11582
My license renewal date is December 31, 2020.
Pages or sheets covered by this seal: _____

DESIGN START DATE: 01-01-18
DATE PLOTTED: 04-11-18
PRELIMINARY FIELD WORK COMPLETED: 04-09-18
FIELD BOOK NO. 1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



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EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:

TITLE

DRAWN BY:
JGP

CHECKED BY:
MLL

DATE:
11-21-19

JOB NO.
19017

SHEET
C01

STORM SEWER TABULATIONS									
FES#	FL	DIAMETER	INTAKE	TYPE	RIM	INV			
FES#1	925.00	24"	INT#D1	SW-S11 MOD. DOUBLE	932.00	926.01			
FES#2	924.20	18"	INT#E1	SW-S11 MOD. DOUBLE	941.00	936.03			
FES#3	925.00	18"	INT#E2	SW-S12 BEEHIVE	941.50	937.22			
FES#4	925.80	30"	INT#E3	SW-S12 BEEHIVE	941.50	937.22			
FES#5	925.80	18"	INT#E4	SW-S12 BEEHIVE	945.20	939.60			
FES#6	925.80	15"	INT#E5	SW-S12 BEEHIVE	945.00	939.40			
FES#9	940.00	24"	INT#B1	SW-S11 MOD.	945.00	941.00			
FES#9	935.50	24"	INT#B2	SW-S12 BEEHIVE	944.50	941.50			
FES#10	940.50	30"	INT#C1	SW-S11 MOD.	945.00	940.00			
			INT#E3	SW-S12 BEEHIVE	944.20	940.70			
			INT#A1	DOUBLE SW-S11 MOD	949.00	FLS+944.67	FLE-944.77		
			INT#A2	SW-S11 MOD.	950.80	946.10			

PIPES	FROM	TO	LENGTH	DIA	SLOPE	STORM MANHOLES	INSTALL STMH+C1	INSTALL STMH+D
P-D1	INT#D1	FES#1	48.12	24	2.09		RIM-940.00	RIM-945.00
P1	FES#2	FES#3	88.01	18	0.91	INSTALL STMH+E1	FLE-935.00	FLE-938.00
P-E2	INT#E1	STMH+E1	104.00	30	5.70	DIAMETER 60"	FLNW-932.80	FLW-937.90
P-E1	STMH+E1	FES#4	48.18	30	4.57		RIM-936.00	
P-E3	STMH+E2	INT#E1	43.17	18	0.74		FLN-930.10	
P-E4	STMH+E3	INT#E1	37.00	24	0.86		FLS-928.00	INSTALL STMH+A1
P-E5	STMH+E2	INT#E2	84.50	18	1.03		RIM-948.15	
P-E6	STMH+E2	INT#E1	84.60	18	1.03		FLN-942.25	
P-E7	INT#E3	INT#E4	24.00	15	9.92	INSTALL STMH+E2	FLN-941.54	FLS-943.15
P-E8	INT#E2	INT#E5	48.96	12	4.45		RIM-948.15	
P-E9	INT#B1	STMH+B1	114.00	15	5.26	INSTALL STMH+A2	FLN-936.35	
P-B1	STMH+B1	FES#5	57.33	15	1.50	DIAMETER 60"		
P-C2	INT#C1	STMH+C1	115.00	15	4.35	INSTALL STMH+E3	RIM-941.33	RIM-952.15
P-C1	INT#C1	INT#C2	27.20	12	2.57		FLW-947.00	
P-C4	INT#B1	INT#B2	27.20	12	1.84	FLN-936.35	FLW-947.00	FLS-947.00
P-C1	STMH+C1	FES#6	86.89	15	8.06	FLE-936.35		
P-A	FES#5	STMH+D	97.27	24	1.37	INSTALL STMH+B1	RIM-940.00	
P-2B	STMH+D	FES#9	175.63	24	2.37	DIAMETER 60"	FLW-950.5	
P-A3	INT#A2	INT#A1	47.00	18	0.98	RIM-940.00	FLW-945.54	
P-A4	INT#A1	INT#A2	75.00	14	1.80	FLE-935.00	FLE-945.64	
P-A2	INT#A1	STMH+A1	93.00	30	2.60	FLW-930.10		
P-A1	FES#10	STMH+A1	30.00	30	5.50		FLN-945.64	
P-AZA	INT#A1	DTMG+A1A	55.00	24	1.40			

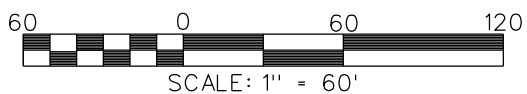
DOWNSPOUT DRAINAGE									
INTAKE	TYPE	RIM	INV	FROM	TO	DIA	LENGTH	SLOPE(%)	
INT#D1	HARCO 12" DIA	945.70	942.70	INT#D1	INT#D2	12"	40.00	0.51	
INT#D2	HARCO 12" DIA	945.70	942.49	INT#D2	INT#D3	12"	40.00	0.51	
INT#D3	HARCO 12" DIA	945.70	942.28	INT#D3	INT#D4	12"	40.00	0.51	
INT#D4	HARCO 12" DIA	945.70	942.08	INT#D4	INT#D5	12"	77.50	0.51	
INT#D5	HARCO 12" DIA	941.18	947.80	INT#D5	INT#D6	12"	107.68	3.34	
INT#D6	HARCO 12" DIA	946.60	942.20	INT#D6	INT#D7	12"	136.17	3.13	
INT#D7	HARCO 12" DIA	943.30	939.30	INT#D7	INT#D8	12"	86.47	1.73	
INT#D8	HARCO 12" DIA	941.80	937.80	INT#D8	INT#E1	12"	76.60	3.76	
INT#D9	HARCO 12" DIA	944.70	941.09	INT#D9	INT#D11	12"	40.00	0.51	
INT#D10	HARCO 12" DIA	944.70	941.30	INT#D10	INT#D11	12"	40.00	0.51	
INT#D11	HARCO 12" DIA	944.70	941.50	INT#D11	INT#D12	12"	40.00	0.51	
INT#D12	HARCO 12" DIA	944.70	941.70	INT#D12	INT#D13	12"	76.70	0.51	

SANITARY SEWER TABULATIONS									
SANITARY SEWER MANHOLES		PIPES	FROM	TO	LENGTH	DIA	SLOPE (%)		
INSTALL SSMH+6	FLW-935.08	INSTALL SSMH+10	PSS-1	SSMH+1	SSMH+2	317.22	8	2.94	
RM-955.08	FLW-938.46	RM-954.62	PSS-2	SSMH+2	SSMH+3	321.34	8	1.32	
FLW-947.08	FLW-930.46	FLN-946.52	PSS-3	SSMH+3	SSMH+4	148.78	8	3.74	
	FLN-930.36	FLN-946.62	PSS-4	SSMH+4	SSMH+5	192.58	8	3.76	
INSTALL SSMH+2	INSTALL SSMH+7	INSTALL SSMH+11	PSS-5	SSMH+1	SSMH+10	150.50	8	0.551	
RM-945.75	RM-944.47	RM-955.49	PSS-6	SSMH+10	SSMH+9	144.86	8	1.251	
FLW-937.75	FLW-936.47	FLN-947.45	PSS-7	SSMH+9	SSMH+8	120.571	8	1.937	
FLW-937.65	FLW-939.47		PSS-8	SSMH+8	SSMH+7	218.76	8	2.62	
			PSS-9	SSMH+7	SSMH+6	183.37	8	6.22	
INSTALL SSMH+3	FLW-936.37	INSTALL SSMH+12	PSS-10	SSMH+6	SSMH+5	149.55	8	6.65	
RM-941.64	INSTALL SSMH+8	RM-948.85	PSS-11	SSMH+5	SSMH+12	148.295	8	0.5	40°
FLW-933.32	RM-950.30	FLN-938.15	PSS-12	SSMH+12	SSMH+11	338.28	8	0.53	
FLS-933.32	FLW-942.30	FLS-938.15	PSS-13	SSMH+15	SSMH+14	150.91	8	0.5	
INSTALL SSMH+4	FLW-942.30	INSTALL SSMH+13	PSS-14	SSMH+14	SSMH+8	300.27	8	1.22	
RM-935.76	FLW-942.20	RM-946.85	PSS-15	SSMH+5	EXISTING	143.35	10	0.5	
FLW-935.76		FLS-939.00							
FLS-927.66	INSTALL SSMH+9	RM-952.85							
	FLS-944.71	INSTALL SSMH+14							
INSTALL SSMH+5	FLW-944.61	RM-954.13							
RM-934.60		FLN-946.07							
FLN-920.42		FLS-945.97							
FLW-920.42									
FLW-920.32		INSTALL SSMH+15							INSTALL
FLW-920.32		RM-954.83							BASEIN
		FLS-946.83							
		EXISTING SSMH							
		RM-930.54							
		INV-939.50							
		219.60							

- SANITARY NOTES
- ONE WEEK PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - a. CITY OF INDIANOLA
 - b. ALL UTILITY COMPANIES
 - c. Developer
 - d. Engineer
 - ALL MATERIALS AND CONSTRUCTION ARE TO BE IN STRICT COMPLIANCE WITH THE INDIANOLA SPECIFICATIONS FOR SUBDIVISIONS INCLUDING THE LATEST REVISIONS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES AND WHETHER ANY ADDITIONAL UTILITIES OR STRUCTURES EXIST AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL EITHER RECONNECT OR CONNECT TO STORM SEWER, ANY FIELD TILE INTERCEPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE CITY OF INDIANOLA WHEN FIELD TILE IS ENCOUNTERED.
 - THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
 - ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPLICABLE SAFETY REGULATIONS.
 - THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING "AS-BUILT" INFORMATION FOR ALL NEW CONSTRUCTION. RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT UP TO DATE AS THE WORK PROGRESSES. THE ORIGINAL RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
 - ALL FILL AREAS, TRENCH BACKFILL AND PAVING SUBGRADE ARE TO BE COMPACTED TO A MINUM OF 95% STANDARD PROCTOR WITH A MOISTURE CONTENT BETWEEN OPTIMUM AND +4%.
 - ALL DEBRIS SPILLED ON PUBLIC STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 - IF THERE IS A DISCREPENCY BETWEEN THE QUANTITY ESTIMATE AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
 - ALL SANITARY SERVICES AND STUB OUTS FROM MANHOLES SHALL BE CAPPED
 - ALL SANITARY SEWER MANHOLES SHALL HAVE TYPE "A" CASTINGS UNLESS OTHERWISE SPECIFIED
 - PROVIDE SANITARY SEWER SERVICE RISER AS REQUIRED BY THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - THE CONTRACTOR SHALL MARK SANITARY SEWER MANHOLES AND SANITARY SEWER SERVICES WITH STEEL FENCE POSTS. TOP ONE FOOT OF POSTS MARKING SERVICES IS TO BE PAINTED GREEN. POSTS MARKING SANITARY MANHOLES ARE TO BE PAINTED GREEN FROM TOP OF POST TO GRADE.
 - SANITARY MANHOLES ARE TO BE FURNISHED WITHOUT STEPS.
 - SANITARY MANHOLE TYPE "A" CASTINGS ARE TO BE BOLTED TO THE TOP OF THE MANHOLE USING A MINIMUM OF TWO (2) 1/2" STEEL ANCHOR RODS.
 - CRETEX PRO-RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO GRADE. NO MORE THAN 12" OF RINGS TO BE USED.
 - ALL SANITARY SEWERS SHALL BE CLEANED AND TELEVIEWED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
 - ALL SANITARY SEWERS SHALL BE MANDREL TESTED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
 - ALL SANITARY SEWER MANHOLES SHALL BE AIR TESTED AT CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
 - A CITY REPRESENTATIVE SHALL BE ONSITE WHEN MANDREL AND AIR TESTING IS PERFORMED.
 - CONTRACTOR SHALL MAINTAIN 1% SLOPES ON ALL SANITARY SERVICES TO PROVIDE MAXIMUM DEPTH AT SERVICE END.
 - ALL MANHOLES SHALL CONTAIN A CONCRETE ADMIXTURE CON(MC) SHIELD ANTI-BACTERIAL ADMIXTURE AS MANUFACTURED BY CONSHIELD TECHNOLOGIES, INC., OR APPROVED EQUAL.
 - TRACER WIRE SHALL BE INSTALLED FOR ALL SANITARY SEWER FORCE MAINS.

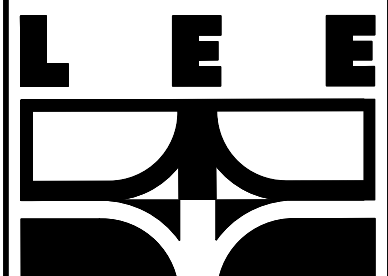


- NOTES:
- TRAIL EASEMENT TO BE CONVEYED AT THE TIME OF SITE PLAN APPROVAL BY CITY COUNCIL.
 - THE CAVITT CREEK I PROJECT HAS EXCESS DIRT MATERIAL AND WILL BE HAULED ACROSS NORTH NINTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STREET AND CLEAN UP.
 - ALL DRIVEWAYS/PARKING IN FRONT OF UNITS SHALL BE 7" THICK PCC CONSTRUCTED TO SUDAS SPECIFICATION
 - PLAN WILL BE RECORDED AT THE TIME OF SITE PLAN APPROVAL BY THE CITY COUNCIL.
 - 15' PUES WILL BE CONVEYED AT THE TIME OF SITE PLAN APPROVAL BY THE CITY COUNCIL.



DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



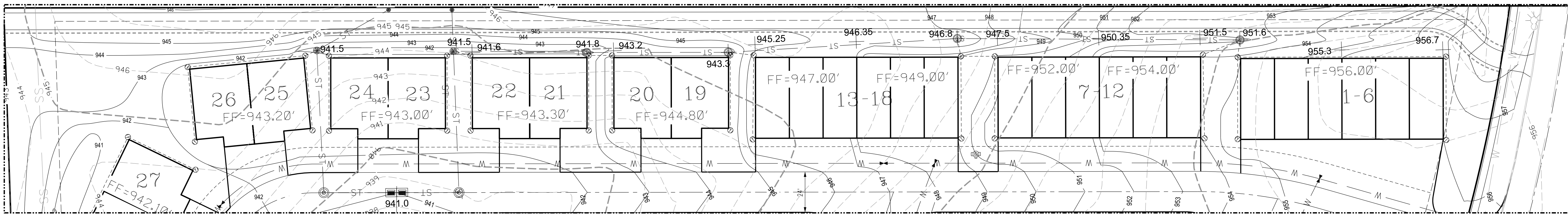
CHAMBERLIN
CONSULTANT ENGINEERS

3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlie@eechamberlinengineers.com

DRAWING TITLE:

SITE PLAN

DRAWN BY:	JGP
CHECKED BY:	MLL
DATE:	11-21-19
JOB NO.	19017
SHEET	C02



DESIGN START DATE:
01-01-18
DATE PLOTTED:
04-11-18
PRELIMINARY FIELD
WORK COMPLETED:
04-09-18
FIELD BOOK NO.
1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA

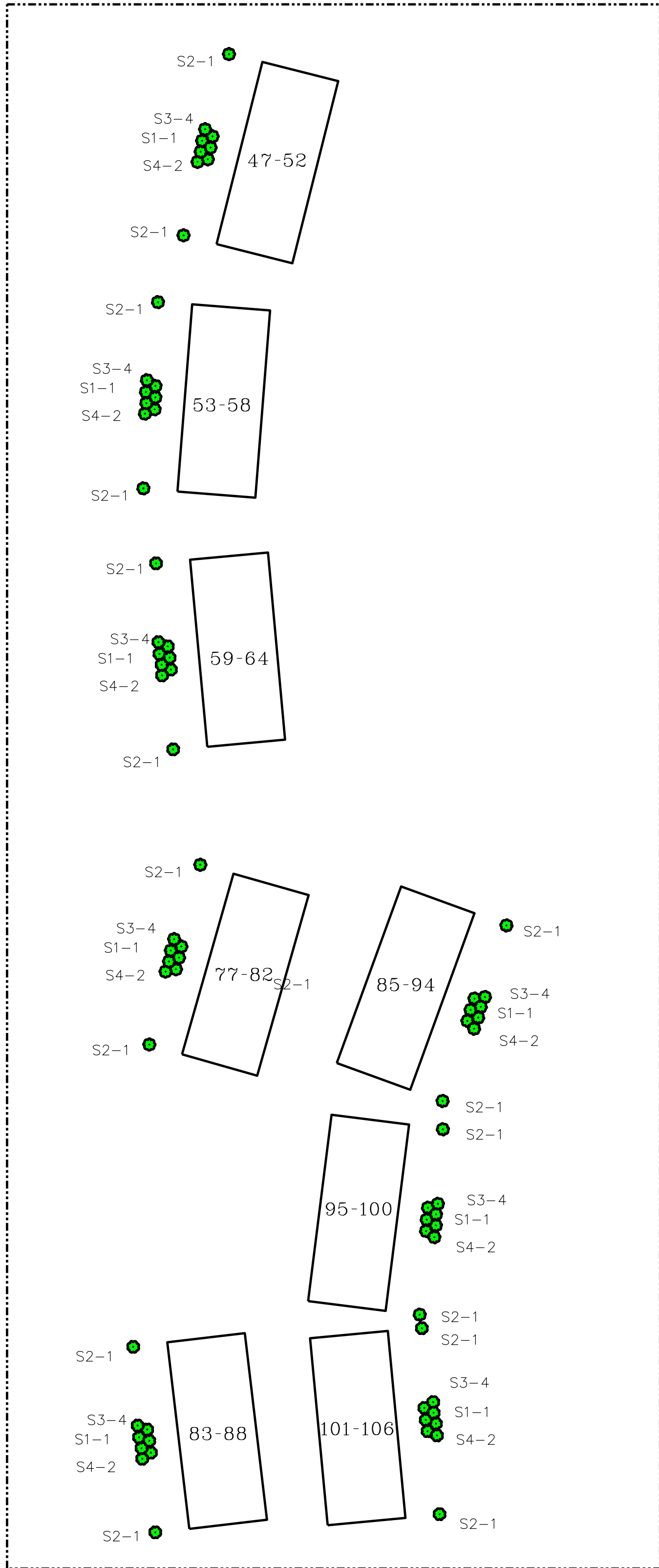


LEE
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EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:
GRADING
PLAN

DRAWN BY:
JGP
CHECKED BY:
MLL
DATE:
11-21-19
JOB NO.
19017
SHEET
C03

DETAILS



GENERAL NOTES:

- CONTRACTOR TO PROVIDE SILT FENCE AND ALL NECESSARY EROSION CONTROL MEASURES AROUND AREAS OF CONSTRUCTION.
- PUT UP BEFORE ANY OTHER WORK IS DONE.
- INSTALL ON DOWN SLOPE SIDES OF SITE WITH ENDS EXTENDED UP SIDE SLOPES A SHORT DISTANCE.
- PLACE PARALLEL TO THE CONTOUR OF THE LAND TO ALLOW WATER TO POND BEHIND FENCE.
- EXTEND FOUR INCHES DEEP.
- USE ONE STAKE EVERY THREE FEET.
- DON'T LEAVE GAPS BETWEEN SECTIONS OF SILT FENCE.
- INSPECT AND REPAIR WEEKLY AFTER EVERY 1/2" RAIN. REMOVE SEDIMENT IF DEPOSITS REACH HALF THE FENCE HEIGHT.
- MAINTAIN UNTIL A LAWN IS ESTABLISHED.
- SEDIMENT CLEANUP.
- AT THE END OF EACH WORK DAY, SWEEP OR SCRAPE UP SOIL TRACKED ONTO ROADS.
- BY THE END OF THE NEXT DAY AFTER A STORM, CLEAN UP SOIL WASHED OFF SITE, AND CHECK STRAIN BALES AND SILT FENCES FOR DAMAGE OR SEDIMENT BUILDUP.
- PRESERVING EXISTING VEGETATION.
- WHEREVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION.
- TO PREVENT ROOT DAMAGE, DO NOT GRAZE, PLACE SOIL PILES OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
- PLACE PLASTIC MESH OR SNOW FENCE BARRIERS AROUND TREES TO PROTECT THE AREA BELOW THEIR BRANCHES.
- REVEGETATION. SEED, SOD OR MULCH BARE SOIL AS SOON AS POSSIBLE. DURING SITE DEVELOPMENT THE OWNER'S ARBORIST WILL TAG AND LOCATE THE EXISTING TREES TO BE SAVED, PROTECTED AND PRUNED AS STATED ABOVE.

PLANT MATERIAL SCHEDULE							
KEY	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	HGT & SPREAD	GROWTH	REMARKS
OVERSTORY - DECAIDUOUS							
D1	0	ACER NORUM	BLACK MAPLE	2" CAL.	75x60	MODERATE	
D2	0	CELTIS OCCIDENTALIS	HICKBERRY	2" CAL.	75x50	MODERATE	
D3	0	BETULA NIGRA	RIVER BIRCH	2" CAL.	60x40	FAST	
D4	0	QUERCUS RUBRA	RED OAK	2" CAL.	75x60	MODERATE	
D5	32	ACER RUBRUM	RED SUMMIT MAPLE	2" CAL.	70x50	FAST	
D6	28	QUERCUS INOBLIS	SWAMP WHITE OAK	2" CAL.	65x45	FAST	
D7	3	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	60x40	MODERATE	
OVERSTORY - EVERGREEN							
E1	0	PRUNUS SYLVESTRIS	SCOTTS PINE	6" TALL	60x50	FAST	
E2	0	PICEA PARVENS GLAUCA	COLORADO BLUE SPRUCE	6" TALL	40x25	SLOW	
E3	0	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	6" TALL	20x10	SLOW	
E4	0	PICEA ABIES	NORWAY SPRUCE	6" TALL	40x25	SLOW	
ORNAMENTAL - DECAIDUOUS							
D01	28	CERIS CANADENSIS	REDBUD	1" CAL.	30x20	MODERATE	
D02	99	MAULUS SP.	SPRING SNOW GRAB	1" CAL.	20x20	MODERATE	
D03	39	ACER PLATANOIDES 'COLUMBIANA'	COLUMBIAN NORWAY MAPLE	1" CAL.	45x15	MODERATE	
SHRUBBERY							
S1	17	CALAMAGROSTIS ACUTIFLORA	KARL FIEDERSTERN	2 GAL.	4'x2'		
S2	50	BUXUS SEPIPERVENS	BOXWOOD	15" TALL	5'x3'		
S3	93	PRUNUS AROMATICA 'YARD-LOW'	FRAGRANT YUQUA	1 GAL.	1'x6"		
S4	25	SPINES JAPONICA	JAPANESE HEADWEED	1 GAL.	4'x6"		
S5	18	PRUNUS OSTENA	FLOWERING PLUM	3" TALL	8'x6"		
S6	6	EUONYMUS ALATUS 'COMPACTUS'	DWARF-WINGED BURNING BUSH	1 GAL.	6'x4"		
TURF							
SOD: MIXTURE OF BLUEGRASS/PINE. 5 FOOT BORDER AROUND ALL NEW PAVED AREAS, 10' BORDER AROUND BUILDING.							
SEED: MIXTURE OF BLUEGRASS/PINE TO BE APPLIED TO ALL DISTURBED LAWN AREAS NOT RECEIVING SOD.							
NOTE: MULCH AROUND ALL TREES AND SHRUBS AND IN PLANTING BEDS.							
STORM WATER DETENTION AREA.							
PLANT MATERIALS TO INCLUDE A MIX MOISTURE TOLERANT FLOWERS AND GRASSES AND TURF GRASSES.							

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA

LEE
CHAMBERLIN
CONSULTANT ENGINEERS

3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 689-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

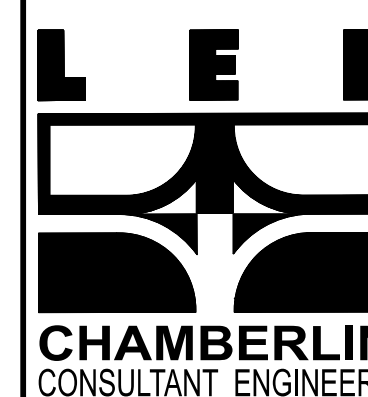
DRAWING TITLE:

LANDSCAPE

DRAWN BY:
JGP
CHECKED BY:
MLL
DATE:
11-21-19
JOB NO.
19017
SHEET
C04

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



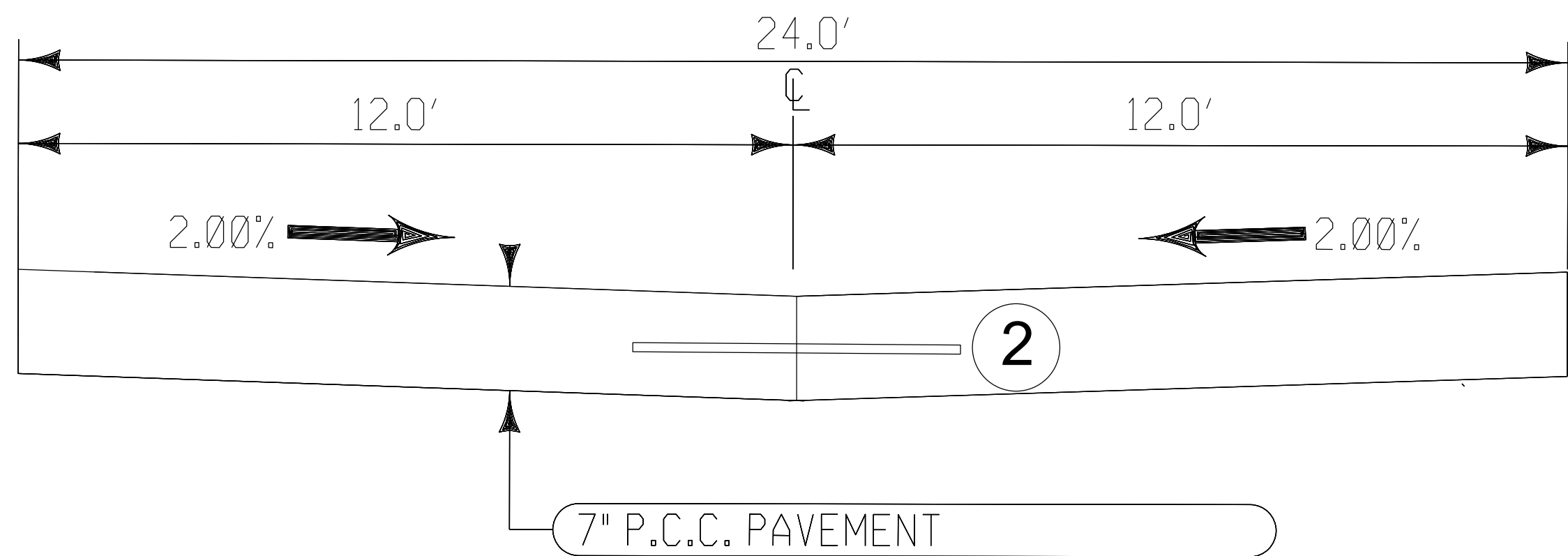
3117 115TH STREET
VAN METER, IOWA 50266
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:

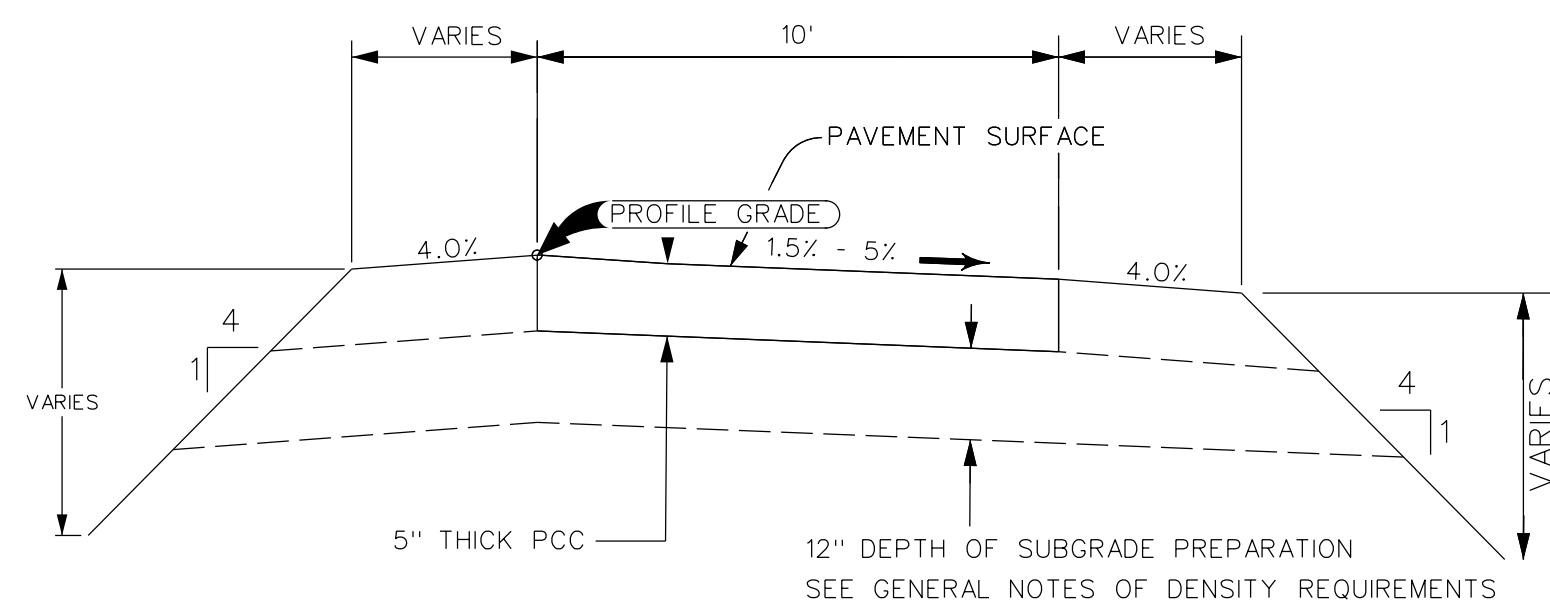
EROSION

DRAWN BY:	JCP
CHECKED BY:	MLL
DATE:	11-21-19
JOB NO.	19017
SHEET	C05





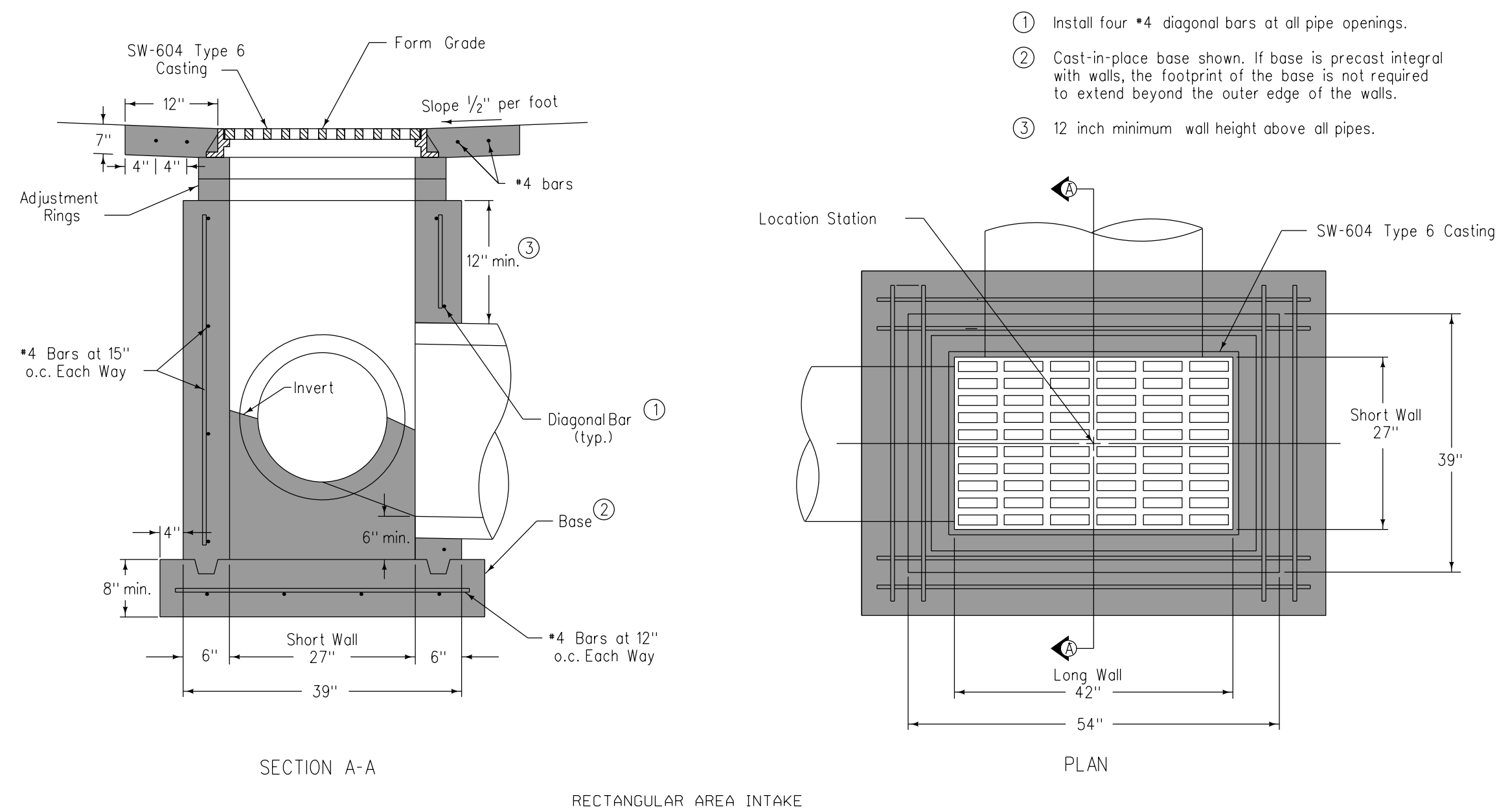
TYPICAL CROSS SECTION - PRIVATE DRIVE
7" P.C.C. INVERTED CROWN PAVEMENT DETAIL
2. BT, KT, OR L JOINT DEPENDING UPON CONSTRUCTION SEQUENCE.



TYPICAL TRAIL CROSS SECTION

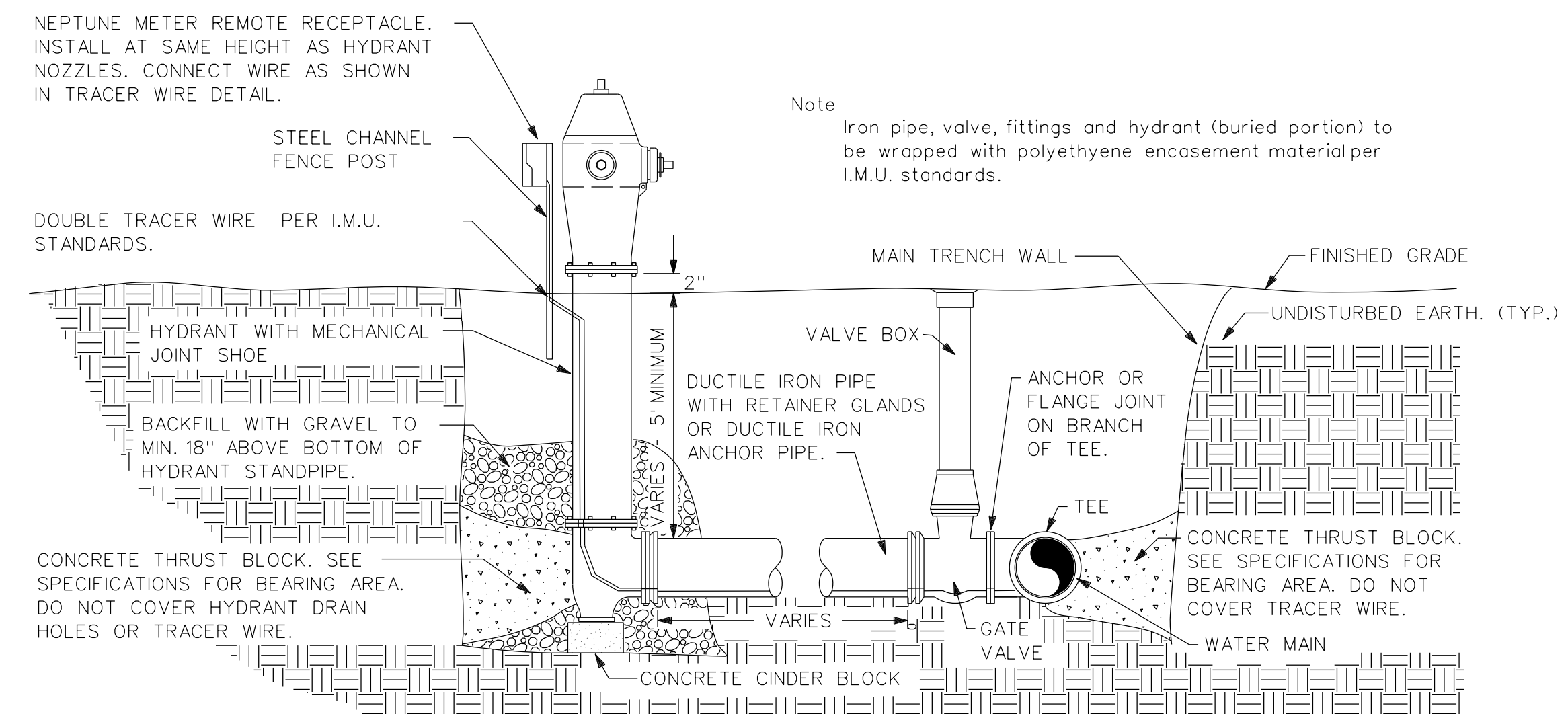
JOINTS: SHALL BE 'C' JOINTS FOR PAVEMENT THICKNESS LESS THAN 8\"/>

NEENAH R-3396 OR EQUAL



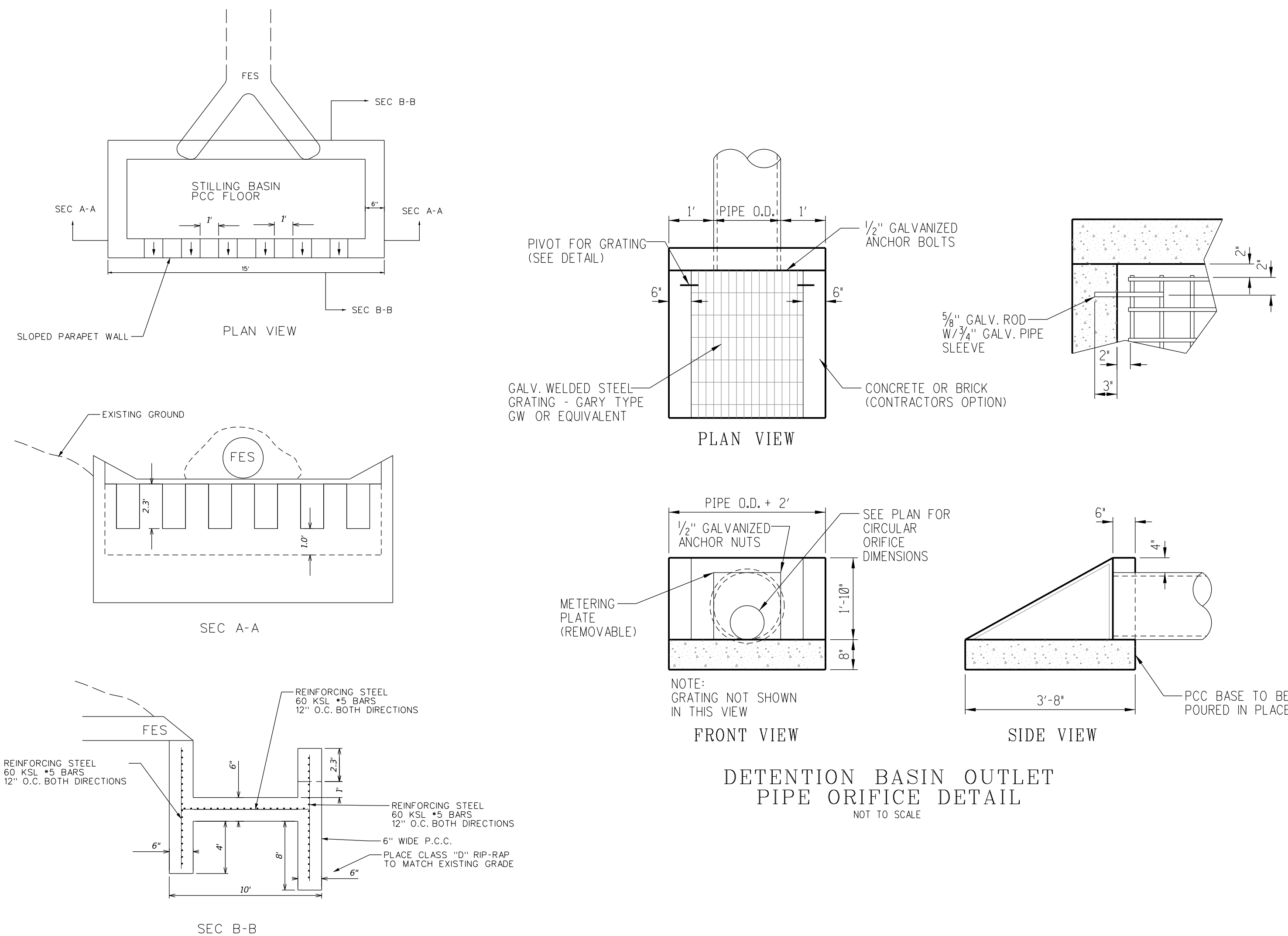
MAXIMUM PIPE DIAMETERS			
Pipe Location	Precast Structure	Cast-in-place Structure	
Short Wall	15"	18"	
Long Wall	24"	30"	

Type "M-H" Intake, SW-511 - MOD. (12-11-17)



FIRE HYDRANT STANDARD
Not to Scale

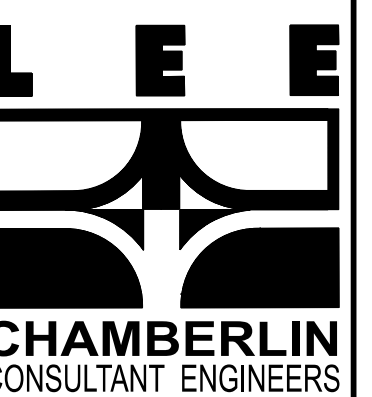
STILLING BASIN



DETENTION BASIN OUTLET
PIPE ORIFICE DETAIL
NOT TO SCALE

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



3117 115TH STREET
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mlee@leechamberlinengineers.com

DRAWING TITLE:

DETAILS

DRAWN BY:	JGP
CHECKED BY:	MLL
DATE:	11-21-19
JOB NO.	19017
SHEET	C06



COMMUNITY DEVELOPMENT

To: Planning and Zoning Commission
From: Charlie E. Dissell, Community and Economic Development Director
Date: December 3, 2019
Re: Discuss options regarding final review of Elevate Indianola, a Comprehensive Plan Update Prepared with the Citizens of Indianola.

As the Commission is aware, the City is in the process of updating our Comprehensive Plan. The Comprehensive Plan is a long-range policy guide to decisions about the development of a community. This plan will set out a broad vision and policy directions for growth, development, and character. The process to update this plan began earlier this year and had a very robust public engagement component that included focused engagement to Simpson Students and retiree aged citizens, a public survey that saw over 1,600 responses, and a public open house.

The draft plan is available for review at www.elevateindianola.com. According to Iowa Code Section 414.3.4.a, a comprehensive plan may be adopted by the Council only after a recommendation is made by the Planning and Zoning Commission. Remaining in our contract with the consultant who assisted in updating the Comprehensive Plan is one (1) joint meeting with the City Council and the Planning and Zoning Commission where the consultant will present the draft plan, answer questions and seek feedback from the Commission and Council.

Staff is seeking the Commission's input on the process for final adoption of the updated comprehensive plan. The three alternatives include:

Option 1:

- PZC/Council Review Period – December 11- January 17
- PZC/Council Joint Meeting (w/ Consultant) - Week of January 27
- PZC Recommendation Meeting: February 11
- Council Adoption Meeting: February 18

Option 1 provides the Planning and Zoning Commission and City Council five (5) weeks (with holidays) to review draft materials prior to a joint meeting where the consultant would give a final presentation, answer questions and receive feedback. After the joint meeting, revisions would be made, if necessary, and a final draft presented to the Commission at its February 11 meeting.

Option 2:

- PZC/Council Joint Meeting (w/ Consultant) - January 14
- PZC/Council Review Period – January 17 – January 31
- PZC Recommendation Meeting: February 11
- Council Adoption Meeting: February 18

Option 2 begins with a joint meeting where the consultant would give a presentation, answer questions and receive feedback. After the joint meeting, the Planning and Zoning Commission and City Council would have two (2) weeks to review draft materials prior and provide comments. After the comment period, revisions would be made, if necessary, and a final draft presented to the Commission at its February 11 meeting.

Option 3:

- PZC/Council Joint Meeting (Staff only)- January 14
- First PZC/Council Review Period – January 17 – January 31
- PZC/Council Joint Meeting (w/ Consultant) - February 11
- Second PZC/Council Review Period – February 12 – February 28
- PZC Recommendation Meeting: March 10
- Council Adoption Meeting: March 16

Option 3 provides the Planning and Zoning Commission and City Council and initial joint meeting by staff to answer questions and receive feedback. After the initial joint meeting, the Planning and Zoning Commission and City Council would have two (2) weeks to review draft materials prior and provide comments. After the comment period, revisions would be made, if necessary, and a revised draft would be presented at a second joint meeting where the consultant would give a presentation, answer questions and receive feedback. Then, a second two (2) weeks to review period would take place. After the second review period, revisions would be made, if necessary, and a final draft presented to the Commission at its March 10 meeting.

Staff is seeking direction from the Commission on the process used to do the final review/adoption on the proposed comprehensive plan update at its December 10 meeting. I will be available at your December 10 meeting if you should have any questions.

2020 Planning & Zoning Commission Calendar

Meeting DATE 6:00 PM	APPLICATION DEADLINE	NOTICES Mailed SIGN Posted	AGENDA PACKET to Commission	Draft MINUTES Complete	CITY COUNCIL 6:00 PM (Resolution)	CITY COUNCIL 6:00 PM (Public Hearing)	CITY COUNCIL 6:00 PM (Ordinance)
1/14/2020	12/27/2019	1/3/2020	1/8/2020	1/17/2020	1/20/2020	2/18/2020	3/16/2020
2/11/2020	1/24/2020	1/31/2020	2/5/2020	2/14/2020	2/18/2020	3/16/2020	4/20/2020
3/10/2020	2/21/2020	2/28/2020	3/4/2020	3/13/2020	3/16/2020	4/6/2020	5/4/2020
4/14/2020	3/27/2020	4/3/2020	4/8/2020	4/17/2020	4/20/2020	5/18/2020	6/15/2020
5/12/2020	4/24/2020	5/1/2020	5/6/2020	5/15/2020	5/18/2020	6/15/2020	7/20/2020
6/9/2020	5/22/2020	5/29/2020	6/3/2020	6/12/2020	6/15/2020	7/6/2020	8/3/2020
7/14/2020	6/26/2020	7/3/2020	7/8/2020	7/17/2020	7/20/2020	8/17/2020	9/21/2020
8/11/2020	7/24/2020	7/31/2020	8/5/2020	8/14/2020	8/17/2020	9/7/2020	10/5/2020
9/15/2020	8/28/2020	9/4/2020	9/9/2020	9/18/2020	9/21/2020	10/19/2020	11/16/2020
10/13/2020	9/25/2020	10/2/2020	10/7/2020	10/16/2020	10/19/2020	11/16/2020	12/14/2020
11/10/2020	10/23/2020	10/30/2020	11/4/2020	11/13/2020	11/16/2020	12/7/2020	1/4/2021
12/8/2020	11/20/2020	11/25/2020	12/2/2020	12/11/2020	12/21/2020	1/18/2021	2/15/2021

2020 Board of Adjustment Calendar

Meeting DATE 6:00 PM	APPLICATION DEADLINE	NOTICES Mailed	AGENDA PACKET to Board	Draft MINUTES Complete	Appeal Period Ends
1/8/2020	12/20/2019	12/27/2019	1/2/2020	1/10/2020	2/7/2020
2/5/2020	1/17/2020	1/24/2020	1/30/2020	2/7/2020	3/6/2020
3/4/2020	2/14/2020	2/21/2020	2/27/2020	3/6/2020	4/3/2020
4/1/2020	3/13/2020	3/20/2020	3/26/2020	4/3/2020	5/1/2020
5/6/2020	4/17/2020	4/24/2020	4/30/2020	5/8/2020	6/5/2020
6/3/2020	5/15/2020	5/22/2020	5/28/2020	6/5/2020	7/3/2020
7/1/2020	6/12/2020	6/19/2020	6/25/2020	7/3/2020	7/31/2020
8/5/2020	7/17/2020	7/24/2020	7/30/2020	8/7/2020	9/4/2020
9/2/2020	8/14/2020	8/21/2020	8/27/2020	9/4/2020	10/2/2020
10/7/2020	9/18/2020	9/25/2020	10/1/2020	10/9/2020	11/6/2020
11/4/2020	10/16/2020	10/23/2020	10/29/2020	11/6/2020	12/4/2020
12/2/2020	11/13/2020	11/20/2020	11/25/2020	12/4/2020	1/1/2021



COMMUNITY DEVELOPMENT

To: Ryan J. Waller, City Manager
From: Charlie E. Dissell, AICP, Community and Economic Development Director
Date: November 27, 2019
Subject: Current Projects Update

The purpose of this memorandum is to provide a brief synopsis of different projects that may be of interest to the Council.

- **Wal-Mart (1500 North Jefferson Way)**
 - Building Permit application and plans submitted on October 29 for a remodel of this building.
 - Building plans approved on November 7
 - Awaiting final valuation and contractor information before permit can be issued.
- **Proposed Campground (Northwest Corner of South Jefferson Way and East 17th Avenue)**
 - Staff held a preapplication meeting on a proposed campground on October 3
 - A rezoning petition was submitted on October 25 for a proposed campground
 - The Planning and Zoning Commission recommended the rezoning for approval at its November 12 meeting.
 - The City Council will hold a public hearing on the request at its December 16 meeting.
- **Cabin Coffee (910 East 2nd Avenue)**
 - Sale of D&D lot and development agreement was approved by Council on October 21.
 - Staff hosted a preapplication meeting with the developers on October 22.
 - Developer closed on the property on November 22.
- **Scooters Coffee (1112 North Jefferson Way)**
 - Site plan and building permit were submitted on October 9.
 - Site plan comments returned to applicant on November 4.
 - Updated site plan submitted on November 18.
- **Cavitt Creek Condominiums I & II (1400 and 1500 block of North 9th Street)**
 - Site plan and stormwater management plan were submitted on June 3.
 - Cavitt Creek I, between 1404 and 1500 North 9th Street, proposes 12 duplexes (24 units)
 - Cavitt Creek II, to the west of Cavitt Creek I and 1500 North 9th Street, proposes 21 duplexes and 14 six-plex's, for a total of 126 units.

- Site plan and stormwater management plan comments were returned to the applicant on June 20.
- Both site plans will need to be reviewed by the Planning and Zoning Commission and approved by the City Council.
- Revised site plans for Cavitt Creek Condominiums I were submitted on June 28.
- Revised site plans for Cavitt Creek Condominiums II were submitted on July 10.
- Kading Properties hosted a neighborhood meeting on July 16.
- Revised site plan comments were returned on July 26.
- Revised site plans for both sites were submitted on July 31.
- Revised site plan comments were returned on August 6.
- These items were reviewed by Planning and Zoning Commission Meeting at its September 10 meeting.
- The Planning and Zoning Commission recommended the site plans be denied at its September 10th meeting.
- The City Council denied the site plan at its September 16 meeting.
- New and Revised site plans have been submitted.
- Site plan comments returned to applicant on October 29.
- Revised site plans submitted on November 11.
- Revised site plan comments were returned on November 20.
- Revised site plan submitted on November 21.
- Revised site plan comments were returned on November 27.
- These items are scheduled to be reviewed by Planning and Zoning Commission Meeting at its December 10 meeting.
- **Indianola Pediatric Dentist (2001 North 6th Street)**
 - Site plan and stormwater management plan were submitted on May 23.
 - Comments were returned to the applicant on June 2.
 - Building permit application submitted on June 13.
 - Site plan and stormwater management plan were approved on June 18.
 - Building permit comments returned on July 3.
 - Revised building permit plans were resubmitted on July 11.
 - Building permit was issued on July 15.
- **Missouri Valley JATC Training Facility (1600 East Iowa Avenue)**
 - Site Plan for this project was submitted on April 3 to the City and comments were returned on April 22.
 - City Staff has also held internal meetings regarding new road alignment within the industrial park expansion.
 - City staff met with the Missouri Valley on May 1 to discuss access to this site and possible road upgrades/funding.

- A revised site plan was submitted on May 20.
- Revised comments were returned on June 4.
- A second revised site plan was submitted on June 11.
- Site Plan was approved on June 11.
- Building permit application was submitted on June 14.
- Building permit comments were returned on July 2.
- Staff has meet with Missouri Valley on a development agreement related to future infrastructure improvements.
- Building permit application submitted on August 2
- Staff meet with the contractor on August 23 to discuss building/inspection process.
- Fire review comments returned to applicant on September 23.
- Response to fire review comments received on October 29.
- Full building permit issued on November 13.
- **Chumbley's Auto Care (110 South Jefferson Way)**
 - Staff met with the business owner on March 15 to discuss plans for future building.
 - Staff has submitted preliminary comments on the site plan to the business owner.
 - Site plan and building permit application plan were submitted on May 10.
 - Comments were returned to the applicant on May 22.
 - Revised site plans and building permit plans were resubmitted on July 10.
 - Site plan and building permit were issued on July 17.
- **Ace Hardware (506 North Jefferson Way)**
 - City staff held a pre-development meeting on this project on February 22.
 - The old car wash was demolished the week of July 15.
 - The existing Mudslingers Coffee Shop would remain.
 - A code review was submitted to the City for review by the architect on July 29.
 - The City returned comments on that code review on July 31.
 - Engineer inquired about site plan approval process on August 23.
 - Site plan submitted on September 5.
 - Initial comments on the site plan were returned on September 19.
 - Variance application for parking submitted on September 24. Will be placed on November 6 agenda.
 - Revised site plan submitted on October 4.
 - Building Permit application and plans submitted on October 14.
 - 2nd review comments on the site plan were returned on October 17.
 - Building permit comments returned on October 18.
 - Revised building permit plans received on October 23.
 - Revised site plan submitted on October 25.
 - Variance request for parking was approved by the Board of Adjustment on November 6.

- Site plan approved and building permit issued on November 7.
- **Gritt Performance (983 East Hillcrest Avenue)**
 - Site plan for this project has been submitted to the City and is being reviewed by Staff and City Engineer.
 - Plan review comments returned to applicant on February 20.
 - Updated site plans were resubmitted on March 4.
 - Updated comments returned on March 18.
 - Updated site plans were resubmitted on March 26.
 - Site plan was approved on April 8.
 - Staff met with the property owner on April 10 to discuss preliminary building plans.
 - Staff met with property owner on May 23 to discuss financial assistance options.
 - Building permit application applied for on June 14.
 - Building permit comments were returned on June 25.
 - Groundwork on the site has begun.
 - Building Permit was issued on August 15.
- **New Heights Church (309 East Hillcrest Avenue)**
 - The project engineer contacted the City on February 7 to clarify plan review comments.
 - Updated site plan was received on March 7.
 - Updated comments returned to applicant on March 20.
 - The project engineer contacted the City on July 11 to clarify plan review comments.
 - Staff responded to those questions on July 12.
 - An updated site plan was submitted on July 29.
 - Staff responded to fire code requirements on August 21.
 - An updated site plan was submitted on August 30.
 - Site plan comments were returned on September 2.
 - Revised site plan submitted on September 20.
 - Site plan comments returned on October 18.
- **Quail Meadows 3**
 - Located north of North 8th Street and East Trail Ridge Place.
 - Staff has been notified that about 30 acres of land in the Summercrest Hills development was sold to a developer who intends to develop single family lots.
 - A rezoning application was submitted on July 1 to change a portion on this land from C-2 to R-3. The Planning and Zoning Commission recommended approval of this request at its August 13 meeting.
 - The City Council held a public hearing and first consideration at its September 16 meeting.
 - This development will require the City to relocate the current lift station north of the Quail Meadows Subdivision to the north of the Summercrest Hills development. The

tentative schedule it to have the new lift station designed by this fall, bid of by next spring, and completion by fall of 2020.

- Staff meet with HR Green and Developer engineer to discuss timing of improvements and new lift station on September 9.
- The developer submitted a preliminary plat to the City on September 24.
- Comments on preliminary plat returned on October 4.
- Preliminary plat recommended for approval by Planning and Zoning Commission on November 12.
- City Council approved the preliminary plat at its November 18th meeting.
- **Heritage Hills Plat 10**
 - Located at the west end of Trailridge Road.
 - Preliminary plat for a 10-lot residential subdivision was submitted to the City on July 12.
 - The Planning and Zoning Commission recommended approval of this plat at its August 13 meeting.
 - The City Council approved the preliminary plat at its August 19 meeting.
 - Construction Plans were submitted on August 27.
 - Comments on construction plans returned on September 11.
 - Revised construction plans were submitted on September 18
 - Construction plans were approved on October 8.
- **Prairie Glynn Plat 2**
 - Located east of East Franklin Avenue and North 15th Street.
 - Construction plans have been submitted and will be approved once changes are made.
 - A second revised preliminary and final plat were submitted on June 5. The Planning and Zoning Commission reviewed the preliminary plat at its July 9 meeting, and the Council approved the preliminary plat at its July 15 meeting.
- **Quail Meadows Townhomes Preliminary Plat**
 - Located on the north side of East Hillcrest Avenue between North 9th Street and the Summerset Trail.
 - Final Plat approved by Council on May 20.
 - Site development is taking place and work is progressing.
- **McConnell Subdivision Preliminary Plat**
 - Located west of Meadow Brooke Subdivision located at East 2nd Avenue and South 20th Street.
 - City Council approved on January 22, 2019.
- **Autumn Ridge Subdivision Plat 3**
 - Located north of North O Street and West Kentucky Avenue.
 - City Council approved a Development Agreement on June 17.
 - Staff meet with developer on November 14 to outline utility installs and final approvals.



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
 515-961-9430 • comdev@indianolaiowa.gov

Code Enforcement Tracking Report

Case Status	Complaint Date	Description of Complaint	Location/Address	Date of Initial Inspection	Date of Written Notice	Current Status	Next Follow-up Date	Final Compliance Date
Open	9/17/2019	Tall Grass/Weeds, Debris	Property E of East Scenic Valley Ave	9/17/2019		Discussed this with the representative for property owner. Tall grass and weeds will be mowed, and they will work to get remaining construction debris off the property.	12/2/2019	
Open		Unsafe Building	210 N Jefferson	7/29/2019	7/31/2019	Relative of the property owner claimed the home would be rehabbed. Notice of unsafe building issued. Work being done on building. Spoke with contractor on 10/17/19 about structural portion of front porch. Contractor will be pulling building permit sometime within the next week. Spoke with property owner on 10/30. She asked for a 30 day extension to finish the exterior. 30 day extension was granted.	12/2/2019	
Open		Junk/Junk Vehicles	1105 E Salem	4/22/2019	4/26/2019	Spoke with Kevin King. He said he will remove manhole and keep us updated.	12/2/2019	
Open		Unsafe Building	306 S F Street	4/17/2018	8/16/2019	Property owned by United States Dept Of Agriculture. Attempting to make contact with property owner. Nothing has been done to date. Posted as unsafe. Will check regularly.	12/2/2019	
Open		Abandon/Unsafe Building	506 N Kenwood Blvd	4/17/2018	5/6/2019	Municipal Infraction Issued. Service has been attempted on property owner, and has failed. Discovered that property was in foreclosure, and was sold on August 15. New owner is working on updating property.	12/2/2019	



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Code Enforcement Tracking Report

Open		Abandon/Unsafe Building	911 N C Street	3/28/2019	4/5/2019	Notice of unsafe building issued. Property owner has applied for a building permit. Property owner met with staff to discuss timeline. Now has trash all over yard. Notice served. Municipal infraction served on 10/21/2019. Will check regularly. Has started painting structure.	12/2/2019	
Open		Abandon/Unsafe Building	2103 N Jefferson	4/17/2018	5/6/2019	Municipal Infraction Issued. Property owner has discussed next steps with staff, including demolition. Will check regularly.	12/2/2019	
Open		Unsafe Building	208 N Jefferson Way	4/17/2018		D&D lot has closed. Property owner has indicated demo will take place before November. Spoke with Chad on 10/31. Said he is waiting for Mid-American to disconnect the gas service before demo. As soon as gas is disconnected, he will come in and pull demo permit. Mid-American on site today 11/14/19 disconnecting gas.	12/2/2019	
Open		Unsafe Building	206 N Jefferson	4/17/2018		D&D lot has closed. Property owner has indicated demo will take place before November. Spoke with Chad on 10/31. Said he is waiting for Mid-American to disconnect the gas service before demo. As soon as gas is disconnected, he will come in and pull demo permit. Mid-American on site today 11/14/19 disconnecting gas.	12/2/2019	



Community Development

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Code Enforcement Tracking Report

Open		Abandon/Unsafe Building	310 E Boston	3/28/2019	4/5/2019	Property posted as unsafe. Building has been ordered to be vacated and was posted to prevent further occupancy until the work is completed. Met with owner to discuss timing for making improvements. Deadline set for November 1. Work has commenced on west side of house. Will check regularly.	12/9/2019	
Open		Unsafe Building	401 W Salem	6/25/2019	6/26/2019	Notice of unsafe building issued. Property owner obtained a building permit for work. Substantial progress made. Still needs to finish roof and siding.	3/30/2020	
Closed	10/22/2019	Tall grass/Weeds	1603 West Detroit	10/23/2019	10/24/2019	Sent Letter 10/24/2019. Abated on 11/19/2019		11/19/2019
Closed	11/4/2019	Mattress on curb	806 North J	11/5/2019	11/5/2019	Owner called and said she purchased tags for it to be picked up by trash company and it will be gone by Monday 11/11/19		11/12/2019
Closed	10/21/2019	Junk vehicle parts all over yard	105 West 8th	10/23/2019	10/23/2019	Junk vehicle parts stacked up alongside garage and in front yard.		10/31/2019



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2019 Building Permit Report

<u>Permit</u>	<u>DATE Permit Issued</u>	<u>NAME</u>	<u>ADDRESS</u>	<u>CONTRACTOR</u>	<u>CONSTRUCTION</u>	<u>SQUARE FEET</u> *new residential only	<u>Finalied Date</u>	<u>VALUE</u>
1	1/3/2019	Brandon Fredricks	314 N 17th Street	n/a	Basement Finish			\$4,800
2	1/14/2019	Bellagio Construction	402 W 1st Street	Curtis White	Garage Addition		1/17/2019	\$6,000
3	1/15/2019	Zoo Bar / Jesse Forbes	102 W Ashland Ave	Vanderpool	Basement Alteration			\$2,000
4	1/16/2019	Dan Gripp	906 W Boston Ave	Gripp Masonry	Foundation Repair		1/17/2019	\$11,000
5	1/16/2019	Kenneth McCoy	410 S Jefferson Way	Simon Gingerich	Commercial Building			\$150,000
6	1/16/2019	Scott Johnston	410 W Ashland Ave		Garage			\$15,000
7	1/17/2019	Curtis White	402 W 1st Street	Curtis White - Family Plan	Demolition			\$0
8	1/21/2019	Construction by Cambron	400 S 8th Ct #14	Ryan Cambron	Basement Finish		3/29/2019	\$35,000
9	2/6/2019	Jaci Green	700 N G Street	Mike McClintock	Basement Finish		4/4/2019	\$13,250
10	2/13/2019	Steven Lee Vetter	206 N Buxton (rear of 126 W Ashland Ave)	Casner Construction	Commercial Remodel		3/29/2019	\$35,000
11	2/28/2019	Wade Journey Homes	602 N 17th Street	Wade Journey Homes	Single Family Dwelling			\$65,786
12	2/28/2019	Wade Journey Homes	1500 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$74,145
13	2/28/2019	Wade Journey Homes	1502 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$85,594
14	2/28/2019	Wade Journey Homes	1504 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$78,176
15	2/28/2019	Wade Journey Homes	1506 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$74,145
16	2/28/2019	Wade Journey Homes	1508 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$88,083
17	2/28/2019	Wade Journey Homes	1600 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$85,594
18	2/28/2019	Wade Journey Homes	1602 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$74,145



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19	2/28/2019	Wade Journey Homes	1604 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$65,786
20	2/28/2019	Wade Journey Homes	1606 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$74,145
21	2/28/2019	Wade Journey Homes	1700 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$78,176
22	2/28/2019	Wade Journey Homes	1704 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$65,786
23	2/28/2019	Wade Journey Homes	1706 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$85,594
24	2/28/2019	Wade Journey Homes	1708 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$88,083
25	2/28/2019	Wade Journey Homes	1710 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$74,145
26	2/28/2019	Wade Journey Homes	1800 E Euclid Ave	Wade Journey Homes	Single Family Dwelling			\$85,594
27	3/4/2019	Johnnie LoVan Taylor Builders	405 W Salem Ave	Taylor Builders	Residential Repair - Storm Damaged			\$78,174
28	3/8/2019	West Hills Brewing Company, LLC	219 W Salem Ave	James Nelson	Commercial Alteration			\$10,294
29	3/21/2019	Happe Homes	1303 South L Court	Happe Homes	Single Family Dwelling		11/21/2019	\$262,900
30	3/21/2019	Cheryl & Brad Ebert	1514 W Euclid Ave	Kintz Construction	Deck			\$7,000
31	3/21/2019	Lynden West Apartments Tulip Apartment Group Inc	1203 W 2nd Ave #A (NW Building)	Selby Construction	Deck Repair/Replacement			\$6,000
32	3/21/2019	Lynden West Apartments Tulip Apartment Group Inc	1205 W 2nd Ave #B (NE Building)	Selby Construction	Deck Repair/Replacement		5/29/2019	\$6,000
33	3/22/2019	Autumn Ridge Development	400 S 8th St. Unit 46	Autumn Ridge Development	Basement Finish		4/2/2019	\$20,000
34	3/26/2019	John Rennenger	1900 S E Drive		Garage		5/8/2019	\$7,700
35	3/28/2019	Cody Kauzlarich	106 N H Street		Residential Alteration			\$23,400
36	4/1/2019	Larry Champlin	209 South G Street		Demolition - Garage		7/26/2019	\$0
37	4/1/2019	Sun Dance Homes	908 & 910 South Y Street	Sundance Homes	Duplex			\$492,000
38	4/1/2019	Tom Gorgas - State of Iowa	1812 N 7th Street	Bergstrom Construction	Commercial Alteration		6/4/2019	\$38,966
39	4/2/2019	Horton Robinson Construction	1220 Wesley Lane	Horton Robinson Const.	Basement Finish		5/2/2019	\$29,700
40	4/8/2019	Sage Homes/ Eric & Diane Lane	640 North N St	Sage Homes	Single Family Dwelling		9/19/2019	\$274,000



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41	4/8/2019	Ground Breaker Homes	1308 S L Court	Ground Breaker Homes	Single Family Dwelling			\$200,000
42	4/10/2019	Rasko Construction LLC	901 E Franklin	Rasko Construction LLC	Garage Addition		5/22/2019	\$18,000
43	4/11/2019	Blackstone Exteriors, LLC	1514 W Euclid Ave	Blackstone Exteriors	Fire Repair		4/8/2019	\$120,000
44	4/12/2019	Charles Burgin	1207 South R Street		Deck Repair/Replacement			\$500
45	4/12/2019	Kenneth Doss	226 W Salem		Addition			\$76,000
46	4/18/2019	G & G Lawncare & Landscaping	506 N Jefferson Way		Demo - Commercial		7/22/2019	\$0
47	4/18/2019	G & G Lawncare & Landscaping	400 E 1st Ave		Demo - SFD		4/25/2019	\$0
48	4/19/2019	Peggy R Cutts	400 S 8th Court, Unit 9		Basement Finish			\$7,600
49	4/19/2019	Orton Homes	1310 N 9th Street	Orton Homes	Single Family Dwelling		11/11/2019	\$300,000
50	4/22/2019	Orton Homes	1009 E Madison Ave	Orton Homes	Single Family Dwelling		11/12/2019	\$300,000
51	4/21/2019	Jerry's Homes	1703 E Clinton Ave	Jerry's Homes	Basement Finish			\$15,000
52	4/23/2019	Valerie Burton	1610 W Detroit Ave		Garage			\$15,000
53	4/23/2019	Robert Cooper	406 E Ashland Ave		Carport			\$300
54	4/24/2019	Carol Hartgrave	209 S G Street		Demolition - Attached Porch		7/26/2019	\$0
55	4/24/2019	Jason Martin	104 S Kenwood Blvd	First Call Restoration/Remodeling	Home Restoration			\$65,575
56	5/1/2019	Tim Morris	1204 E 2nd Ave	Maple Creek Construction	Commercial Alteration		5/28/2019	\$31,690
57	5/1/2019	Jon Backstrom	911 N C Street		Porch Deck/ Repair			\$300
58	5/7/2019	Neil Brankis	1105 Robin Glenn Drive	Midwest Builders	Deck			\$25,000
59	5/8/2019	Bill Hellmann	1207 N Jefferson Way	Davaco, LP	Commercial Remodel			\$50,000
60	5/13/2019	Elizabeth Barrian	404 N 17th Street	Fred Elsinga	Residential Deck Addition		6/10/2019	\$4,000
61	5/15/2019	R & L Construction	705 W 4th Ave		Residential Restoration			\$6,000
62	5/20/2019	Carla Weed	402 W 2nd Ave		Demolition - Garage		7/17/2019	\$0
63	5/23/2019	Doering Properties, LLC	902 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500



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64	5/23/2019	Doering Properties, LLC	904 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
65	5/23/2019	Doering Properties, LLC	906 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
66	5/23/2019	Doering Properties, LLC	908 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
67	5/23/2019	Doering Properties, LLC	1000 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
68	5/23/2019	Doering Properties, LLC	1002 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
69	5/23/2019	Doering Properties, LLC	1004 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
70	5/23/2019	Doering Properties, LLC	1006 Summerset Place	Rodney Curtis	Single Family Dwelling			\$121,500
71	5/24/2019	Autumn Ridge Development	1508 W Iowa	Autumn Ridge Development	Single Family Dwelling		10/29/2019	\$150,000
72	5/24/2019	Overton Funeral Home	501 West Ashland Ave		Commercial Foundation Repair			\$900
73	5/28/2019	Kinze Construction	1911 W 5th Ave	Kinz Construction	Deck Addition		6/10/2019	\$3,500
74	5/28/2019	Crown Homes	209 W Salem	Rob Keller / Crown Homes	Commercial Alteration		8/7/2019	\$47,725
75	5/24/2019	Koeppen Construction Wet Paint Inc	1103 E Henderson Place	Wet Paint Co	Deck Repair			\$3,000
76	5/28/2019	KRM Development / Bussanmas	1109 South K Street	KRM Development	Single Family Dwelling			\$705,000
77	5/29/2019	John S Green	1413 E Girard Ave		Deck		6/5/2019	\$13,000
78	5/31/2019	Wesley Retirement Services	908 Angela Drive	Horton Robinson Const.	Residential Alteration / Basement Finish			\$17,500
79	6/5/2019	Lucas Reidmann	1024 Scott Felton Road		Garage with Shop			\$40,000
80	8/19/2019	Scott Seemann	605 N O Street	Spirit Building Services LLC	Single Family Dwelling	3329		\$180,000
81	6/6/2019	Horton Robinson Construction	1305 Wesley Lane	Horton Robinson Const.	Residential Remodel			\$60,000
82	6/10/2019	Jerry's Homes	308 N 18th Street	Jerry's Homes - Adam	Single Family Dwelling		10/31/2019	\$170,000
83	6/10/2019	Jerry's Homes	306 N 18th Street	Jerry's Homes - Adam	Single Family Dwelling		10/31/2019	\$170,000
84	6/10/2019	Jerry's Homes	1709 E Clinton Ave	Jerry's Homes - Adam	Single Family Dwelling		10/31/2019	\$170,000
85	6/10/2019	Jerry's Homes	1710 E Clinton Ave	Jerry's Homes - Adam	Single Family Dwelling		11/8/2019	\$170,000
86	6/14/2019	Cody Kauzlarich	105 N G Street	Wood Resuscitation	Residential Alteration			\$12,100



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87	6/17/2019	Eric Mudge	601 N 12th Street		Detached Garage			\$15,500
88	6/24/2019	Smith Home Restoration	500 North N Street	Troy Smith	Demo - Underground Pool		6/28/2019	\$0
89	6/24/2019	Kimberly Development	2207 W 10th Ave		Single Family Dwelling		TEMP CO 11/20/2019	\$459,000
90	6/24/2019	Kimberly Development	2207 W 10th Ave		Garden Shed			\$16,000
91	6/25/2019	LouAnn Corrigan	507 N 17th Street		Deck		7/26/2019	\$18,350
92	7/1/2019	Chris Deckard	811 N 8th Street		Concrete Patio Porch			\$3,300
93	7/1/2019	Allegiant Homes	1105 S O Street	Allegiant Homes	Single Family Dwelling			\$345,000
94	7/2/2019	Richard Fетters	401 W Salem Ave		Residential Alteration			\$300
95	7/8/2019	Marvin Gribbins	116 W Ashland Ave		Commercial Remodel/Alteration			\$1,000
96	7/8/2019	William Sackett	111 S J Street	OFS Enterprises	Deck			\$700
97	7/15/2019	Indianola Pediatric Clinic	2001 North 6th St	Downing Construction	Commercial Dwelling			\$1,056,440
98	7/16/2019	Warren Co Habitat for Humanity	408 W 18th Place	Warren Co Habitat	Single Family Dwelling			\$90,000
99	7/17/2019	Chumbleys Auto - Tim Davison	308 E 1st Ave	Construction by Cambron	Commercial Dwelling		Temp CO 11/26/2019	\$168,000
100	7/18/2019	Horton Robinson Const	2412 W 10th Ave	Horton Robinson Const.	Deck			\$4,500
101	7/18/2019	KC Inc Mimi Kelly	404 N Jefferson Way		Demo			\$0
102	7/19/2019	North American MHC LLC	5 John St		Single Family Dwelling Trailer		11/26/2019	\$37,809
103	7/19/2019	North American MHC LLC	4 John St		Single Family Dwelling Trailer		11/26/2019	\$37,809
104	7/19/2019	North American MHC LLC	3 John St		Single Family Dwelling Trailer		11/26/2019	\$37,809
105	8/6/2019	North American MHC LLC	6 John St		Maintenance Garage and Storage		11/26/2019	\$43,100
106	7/22/2019	Ground Breaker Homes	1106 S O St	Ground Breaker Homes	Single Family Dwelling			\$215,000



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107	7/22/2019	Smith Home Restoration	500 North N St		Demo - Garage		7/25/2019	\$0
108	7/22/2019	Knuth Construction	801 South O Street		Deck			\$2,700
109	7/22/2019	Jerry's Homes	506 N 17th St	Jerrys Homes	Single Family Dwelling		11/8/2019	\$165,000
110	7/25/2019	Midwest Builders	1010 W Euclid	Midwest Builders	Porch			\$25,000
111	7/25/2019	Midwest Builders	1201 N O St	Midwest Builders	Porch			\$25,000
112	7/29/2019	Allen and Monica Goode	201 W 7th Ave	Mike Rosewalls Remodeling	Detached Garage			\$26,000
113	7/31/2019	Parkerbilt Const.	705 N C St	Parkerbilt	Deck			\$23,000
114	8/5/2019	Casner Construction	103 North H Street	Casner Construction	Deck			\$7,000
115	11/13/2019	Neuman Brothers	1600 E Iowa Ave	Neuman Brothers	Commercial Building			\$10,270,000
116	8/16/2019	Savannah Homes, Inc	305 N 17th St	Savannah Homes, Inc	Single Family Dwelling	1292		\$226,000
117	8/6/2019	Richard and Tracy Herrick	1607 W 4th Ave	McNeeley Construction	Deck			\$1,170
118	8/12/2019	Ed Ferrier Construction	111 W Salem Ave	Ed Ferrier Construction	Commercial Alteration			\$3,500
119	8/14/2019	Capitol City Construction	210 W Salem Ave	Capitol City Construction	Commercial Alteration			\$46,500
120	8/15/2019	Gritt Performance	983 E Hilcrest Ave	Horizon Builders	Commercial Building	11,776		\$800,000
121	8/15/2019	Jerry's Homes	1703 E Euclid Ave	Jerry's Homes	Single Family Dwelling	1417		\$181,000
122	8/16/2019	Jerry's Homes	400 North 18th St	Jerry's Homes	Single Family Dwelling	1483		\$181,000
123	8/16/2019	Jerry's Homes	1710 East Detroit Place	Jerry's Homes	Single Family Dwelling	1622		\$184,000
124	8/16/2019	Brian Becker	706 East Euclid	DMS Building CO	Garage			\$42,500
125	8/22/2019	Manny's Handyman Service	208 W Ashland Ave.	Manuel Banegas	Commercial Alteration			\$33,000
126	9/3/2019	Cory Keller	903 W Boston Ave	SELF	Deck			\$1,500
127	9/3/2019	Christine Denning	205 S P St	McClintock Remodeling	Deck			\$11,418
128	9/5/2019	Kip Condon	1601 N G St	Hubbell Homes LC	Single Family Dwelling	4,780		\$340,000
129	9/9/2019	Tim Naberhaus	100 W Kentucky	Haus Roofing	Residential Alteration			\$15,000
130	9/10/2019	MRS Investments	815 West 1st	Vanderpool	Single Family Dwelling (demo)			
131	9/11/2019	Shelly(Bevard)Spooner	509 S Freeman	Shelly Spooner	Residential Garage(demo)			\$21,000



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132	9/12/2019	LouAnn Corrigan	507 N 17th	JS Solutions	Alteration(basement remodel)			\$24,800
133	9/24/2019	Dental Professionals	200 N B	Downing Construction	Alteration(remodel)			\$250,000
134	10/3/2019	Chad Amos	1204 S O	Artisian Crest Homes	Single Family Dwelling	1946		\$568,000
135	9/24/2019	Dan Carlson	807 W Orchard Ave	Carlson Homes LLC	Single Family Dwelling	2338		\$300,000
136	10/16/2019	Phil Steger	612 S Y	Steger Construction	Two Family	1,400		\$200,000
137	10/7/2019	Ryan Bosell	910 Scott Felton	Mike McClintock	Addition			\$120,000
138	9/30/2019	Johnathan Cross	2411 W 10th	Crossover Construction	Addition - deck			\$30,000
139	10/4/2019	Brent Chappell	502 N K	Brent Chappell	Addition- garage			\$12,000
140	9/27/2019	Tarleton Properties	208 W Ashland Ave.	Ed Ferrier Construction	Handicap ramp			\$3,600
141	10/22/2019	Spencer Properties	800 E Iowa Lot #8	John Millwood/Mark Trout	Mobile Home			
142	10/14/2019	Dan Grabill	308 S Freeman	LMK Construction	Addition-shed	250		\$11,500
143	11/7/2019	Ace Hardware	506 N Jefferson Way	Primus Companies INC	Commercial			\$1,012,000
144	IR	Brew Enterprises (Scooters)	1112 N Jefferson Way	TBD	Commercial			\$75,000
145	10/16/2019	Phil Steger	614 S Y	Steger Construction	Two Family	1,400		\$200,000
146	10/21/2019	Phil Delong	1110 S R	GWA Intl	Alteration - Solar Array			\$12,000
147	10/21/2019	Betty Curtis	210 N Jefferson	Rick Gwinn	Alteration - repair front porch			\$1,000
148	10/21/2019	Rick Gwinn	909 N J	Rick Gwinn	Addition - Shed			\$4,500
149	10/22/2019	Kyle Overton	1109 E Iowa	Beardmore Construction	Repair - Deck			\$2,600
150	10/22/2019	Mandy Lundberg	1407 E Clinton	John Peters	Alteration Covering stoop with wood decking			\$500
151	10/22/2019	Katherine Schrum	400 N 17th	Adam Middleswart	Alteration - Basement finish			\$6,000
152	10/28/2019	GroundBreaker Homes	1503 11th Way	Ground Breaker Homes	Single Family Dwelling	4,523		\$40,000
153	10/28/2019	Shelly(Bevard)Spooner	509 S Freeman	John Gideon	Replacement - shed			\$40,000
154	IR	Wal Mart	1500 N Jefferson Way	TBD	Remodel - commercial			TBD
155	11/5/2019	Dan Grabil	308 S Freeman	John Peters	Addition-Front porch			\$3,000



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156	11/26/2019	Erin Freeberg	103 N Buxton	Ryan Cambron	Remodel - commercial			\$105,000
157	11/11/2019	Thomas Smith	102 E Salem	Brad Butler	DEMO			
158	11/11/2019	Derek Garrett	802 E Ashland	Midwest Construction	Addition-deck			\$4,000
159	11/14/2019	Norm Crawford	505 W 1st	Gold Dome Building	Addition-garage			\$13,000
160	IR	Happe Homes	690 N N	Happe Homes	Single Family Dwelling	1492		\$242,503