



PLANNING AND ZONING COMMISSION MEETING

June 9, 2026

6:00 PM

City Council Chambers

Agenda

- 1. Call to Order**
- 2. Roll Call**
- 3. Agenda Approval**
 - A. Approval of the June 9, 2026 agenda.
- 4. Minutes Approval**
 - A. Approval of the May 12, 2026 meeting minutes.
- 5. Public Comment**
- 6. New Business**
 - A. Approval of a rezoning related to a change from PUD [Planned Unit Development District] to C-2 [Highway Commercial District] [Kentucky Ridge Commercial].
 - B. Approval of a site plan for Pickard Commerce Park Plat 1 Lot 7 [413 South 21st Street].
- 7. Comments**
 - A. Building Permit Report
 - B. Current Projects
- 8. Adjourn**



PLANNING AND ZONING COMMISSION MEETING

May 12, 2026

6:00 PM

City Council Chambers

Minutes

1. Call to Order

The meeting was called to order at 6:01 PM.

2. Roll Call

Commission members present: Sarah Ritchie, Al Farris, Carrie Woerdeman, Lin Stecker, Justin Noethe.

Commission members not present: Cortney Marmon, Misty Darling, Jake Vice, Rich Piper.

Staff members present: Bill Mettee

3. Agenda Approval

A. Approval of the May 12, 2026 agenda.

Farris made a motion to approve the agenda.

Noethe seconded the motion.

Motion was passed with a unanimous vote.

4. Minutes Approval

A. Approval of the April 14, 2026 meeting minutes.

Stecker made a motion to approve the meeting minutes.

Farris seconded the motion.

Motion was passed with a unanimous vote.

5. Public Comment

There were no public comments.

6. New Business

A. Approval of a rezoning related to a change from A-1 (Agricultural / Open Space) to R-1 (Single-Family Residential Detached) [Well Built Homes Property].

Mettee presented the proposed rezoning and related staff report.

Commissioner Noethe inquired when the 15 acres for residential development became effective. This stipulation became effective in 2020 with the zoning code update.

The Commission had no other questions or concerns.

The buyer of this property, Kellen Glover, spoke on behalf of the project citing he was the

future buyer and planned to build his future primary dwelling on this lot.

Farris made a motion to approve the rezoning.

Ritchie seconded the motion.

Motion was passed with a unanimous vote.

7. Comments

A. Building Permit Report

There were no comments.

B. Current Projects

There were no comments.

8. Adjourn

Noethe made a motion to adjourn.

Stecker seconded the motion.

The meeting was adjourned at 6:10 PM.



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Kentucky Ridge Commercial – Rezoning **PREPARED BY:** Bill Mettee – Senior Planner

REPORT DATE: June 5, 2026

MEETING DATE: June 9, 2026

GENERAL INFORMATION

Applicant / Owner: Inception Group, LLC

Owner's Representative: Jason Ledden, Snyder & Associates

Request: The applicant is requesting approval of a rezoning for a commercial development.

Location and Size: Property is located east of North Jefferson Way and south of East Kentucky Avenue, containing approximately 6.79-acres.

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant / Undeveloped	Regional Mixed Use	C-2 / PUD [Highway Commercial / Planned Unit Development]
North	Wal-Mart and Kiya Koda Animal Shelter	Regional Mixed Use	C-2 [Highway Commercial District]
South	General Commercial Businesses	Regional Mixed Use	C-2 [Highway Commercial District]
East	Townhome Residential	Community Mixed Use	PUD [Planned Unit Development]
West	General Commercial Businesses	Regional Mixed Use	C-2 [Highway Commercial District]

BACKGROUND

The subject property, formerly known as Kentucky Ridge Townhomes Plat I, was rezoned from C-2 Highway Commercial to Planned Unit Development (PUD) with a recommendation from Planning Commission at their November 14, 2023 meeting followed by formal City Council approval at their January 16, 2024 meeting.

The PUD included a master development concept plan showing three commercial pads at the west end of the site and 50 townhome units at the east end of the site. The residential component included a pickleball court and a landscape buffer between the townhomes and the commercial property to the south.

The final plat for Kentucky Ridge Townhomes Plat I was approved by Planning Commission and City Council at their October 22, 2024 and March 24, 2025 meetings respectively. At the request of the developer, the plat was never recorded.

The developer then began working with a national grocer to develop on the west half of the lot, so a final plat was submitted, reviewed and approved for Kentucky Ridge Commercial Plat I. The plat identified one buildable lot, Lot I, at the west side of the site and an outlot, Outlot X, for future commercial development at the east side of the site.

Planning Commission reviewed the final plat for Kentucky Ridge Commercial Plat I at their March 24, 2026 meeting and City Council approved the final plat at their April 6, 2026 meeting. The final plat was recorded on April 9, 2026.

PROJECT DESCRIPTION

The site was originally rezoned to a Planned Unit Development to provide flexibility from the zoning regulations for the proposed townhome development. Interest from a commercial grocer on the west portion of the site led the property owner to begin marketing the east portion for commercial development as well. However, the zoning designation for the east portion was never formally amended and has remained residential. As a result, the land owner has requested to rezone the property back to C-2 Highway Commercial to accommodate future commercial development. Approval of the rezoning request would

remove the Planned Unit Development designation entirely and revert both parcels to the C-2 Highway Commercial district.

Notification of this rezoning request was mailed to adjacent property owners on May 14, 2026. The rezoning signs were placed on the property by the deadline. Staff has not received any correspondence for or against the request.

COMPREHENSIVE PLAN

The Future Land Use Map identifies this area as Regional Mixed Use. Regional Mixed Use is defined in the Comprehensive Plan as:

Regional Mixed Use is identified as:

- Includes retail, office, restaurants, bars, personal and business services, and similar commercial uses, generally of a large scale
- May incorporate multi-family residential uses up to 25 dwelling units per gross acres, if compatibility standards are met through a special exception review
- Overnight accommodations
- Automobile-oriented uses
- Civic uses and places of worship may be allowed if compatibility standards are met through a special exception review
- Parks, open space, and trails

STAFF RECOMMENDATION

The proposed rezoning is generally consistent with the zoning ordinance and with the land uses identified in the Comprehensive Plan. Staff recommends approval of the rezoning for Kentucky Ridge Commercial.



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Pickard Commerce Park Plat 1 Lot 7 - **PREPARED BY:** Bill Mettee – Senior Planner
Site Plan

REPORT DATE: June 5, 2026

MEETING DATE: June 9, 2026

GENERAL INFORMATION

Applicant / Owner: Apex Storage Solutions, LLC

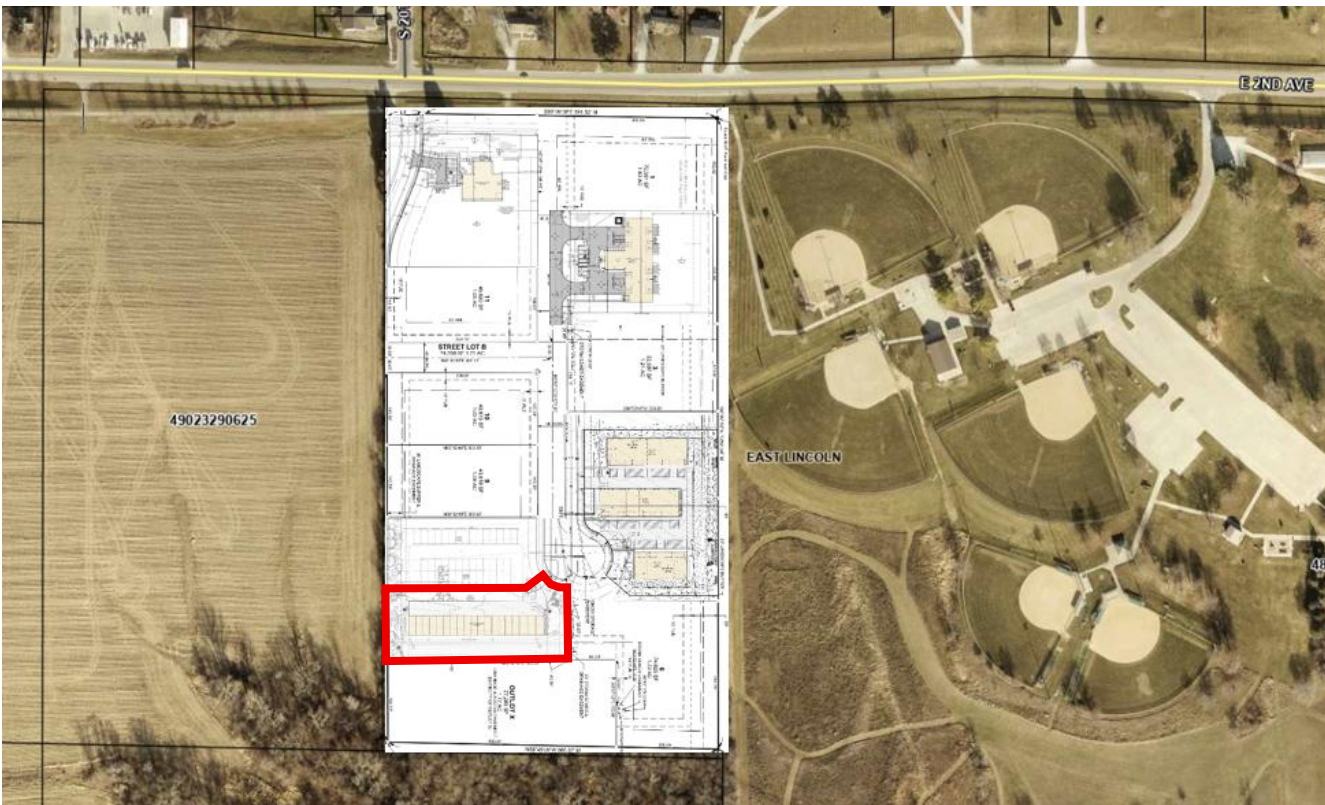
Owner’s Representative: Korey Marsh, PE, Snyder & Associates

Request: The applicant is requesting approval of a site plan for an industrial development.

Location and Size: Property is located south of Highway 92 and east of South 15th Street, containing approximately 1.20 acres.

Property Address: 413 South 21st Street

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant / Undeveloped	Industrial	M-2 (General Industrial District)
North	Vacant / Undeveloped	Industrial	M-2 (General Industrial District)
South	Storm Water Detention Basin / Pickard Commerce Park	Industrial	M-2 (General Industrial District)
East	Pickard Commerce Park	Industrial	M-2 (General Industrial District)
West	Single-Family and Two-Family Residential	Low to Medium-Density Residential	R-2 (Single-Family Residential Detached District)

PROJECT DESCRIPTION

The applicant is proposing a site plan for an industrial development. The proposed site plan for consideration is for a mini-warehouse facility comprising of one building on site. The building will be 40’ x 275’ and 11,000 square feet in area and have 19 individual units. The building will be approximately 17-feet in height at its tallest point.

Table I below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table I: Bulk Regulations for the M-2 Zoning District

Category	M-2 (minimum)
Front Yard Setback	35 feet
Rear Yard Setback	40 feet [Adjacent to Residential]
Side Yard Setback	20 feet
Maximum Height Stories	50’

ACCESS AND PARKING

Access into the site will be from a driveway on South 21st Street.

A total of one (1) parking space is required (1 space per 20 units plus 1 per employee at max shift) for the property and the applicant is providing the required space. The proposed site plan meets the parking requirements.

SIDEWALKS / TRAILS / TRAFFIC

A 5’ sidewalk will be installed along the entirety of Lot 7 and a 5’ pedestrian walkway is shown into the site from the public way. A traffic generation memo has been provided by the engineer.

UTILITIES

All utilities have been installed with the plat improvements and will be extended as needed to service the site. Stormwater detention will be provided in a basin at the south end of the plat.

LANDSCAPING & OPEN SPACE

A minimum of 15% of the project area is required to be open space. The total amount of open space proposed is 53.3%. The plantings shown on the landscape plan meet the minimum requirements of the Landscape & Open Space Ordinance.

ELEVATIONS

Colored building elevations are included for review. The building is proposed to be constructed of versetta stone panels and architectural metal panels with concealed fasteners. The elevations demonstrate compliance with the building design standards.

STAFF RECOMMENDATION

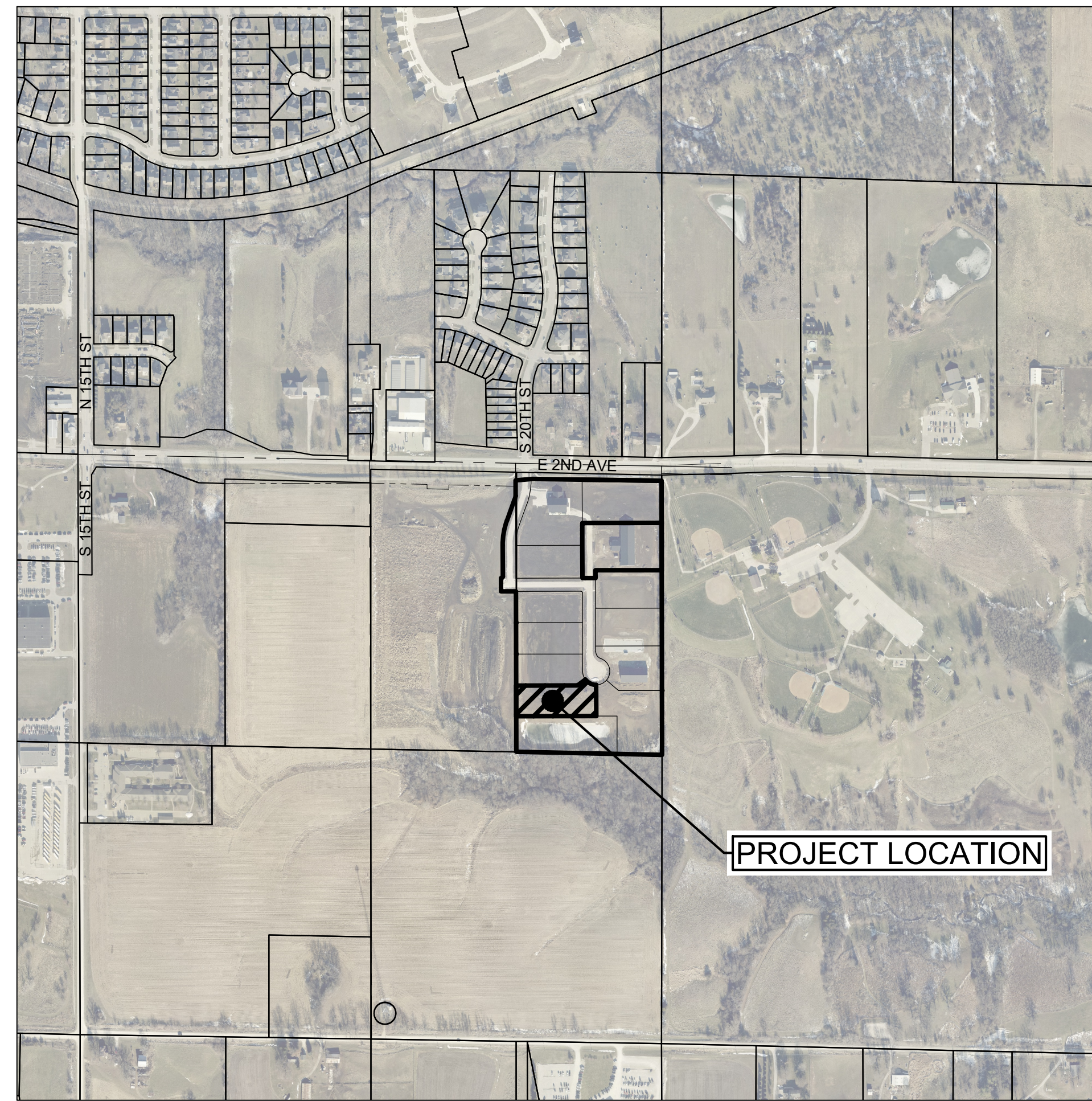
The proposed site plan is in general conformance with the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the site plan for Pickard Commerce Park Plat I Lot 7.

SITE PLAN FOR PICKARD INDUSTRIAL PARK PLAT 1, LOT 7

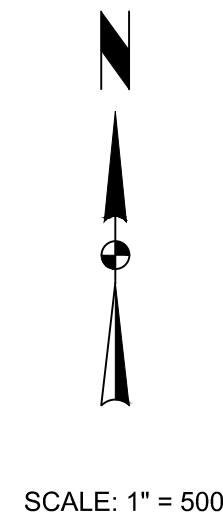
413 S 21ST STREET CITY OF INDIANOLA, WARREN COUNTY, IOWA

OWNER / DEVELOPER
APEX STORAGE SOLUTIONS LLC
802 HILLCREST AVE
INDIANOLA, IA 50125
CONTACT: ANDREW HART
PHONE: 515-577-0183
EMAIL: ANDREW@PELLABUILDINGS.COM

ENGINEER
SNYDER & ASSOCIATES, INC.
2727 SNYDER BLVD
ANKENY, IOWA 50023
CONTACT: KOREY MARSH, P.E.
PHONE: 515-964-2020
EMAIL: KMARSH@SNYDER-ASSOCIATES.COM

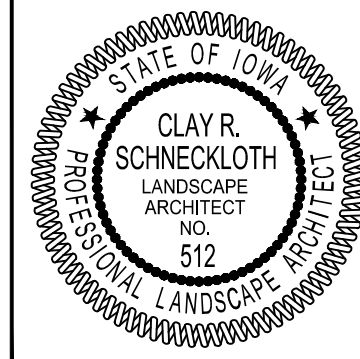


VICINITY MAP



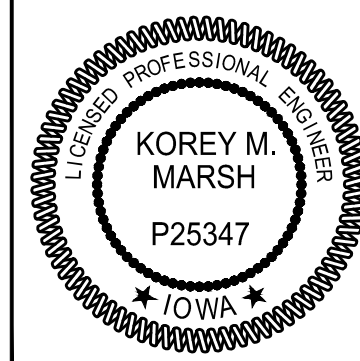
Sheet List Table

- C100 TITLE SHEET
- C200 PROJECT INFORMATION
- C300 DIMENSION AND UTILITY PLAN
- C400 GRADING AND EROSION CONTROL PLAN
- C500 PLANTING PLAN



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Clay R. Schneckloth, PLA _____ Date
License Number 512
Pages or sheets covered by this seal:
C500
License Expires: June 30, 2027



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Korey M. Marsh, P.E. _____ Date
License Number P25347
My License Renewal Date is December 31, 2026
Pages or sheets covered by this seal:
C100 - C400

MARK	REVISION	DATE	BY
3	REVISED PER CITY COMMENTS	05-18-26	KS
2	REVISED PER CITY COMMENTS	05-15-26	LJM
1	REVISED PER CITY COMMENTS	04-30-26	KS

Engineer: KS Checked By: KMM Scale: 1" = 500'
Technician: LJM Date: 03/26/2026 T-R-S: TTN-RRW-SS

Project No: 125.1027.01 Sheet C100

PICKARD INDUSTRIAL PARK PLAT 1, LOT 7

TITLE SHEET

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



SNYDER & ASSOCIATES

Project No: 125.1027.01
Sheet C100

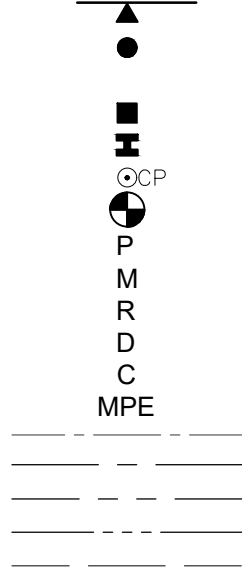
I:\Projects\2025\125.1027\1027.DWG\DWG\125.1027.TITL.DWG (PLOT) 2025/03/18 4:57 PM, ANSI FULL BLEED D (24.00 X 22.00 INCHES)

LEGEND

FEATURES

- Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

FOUND



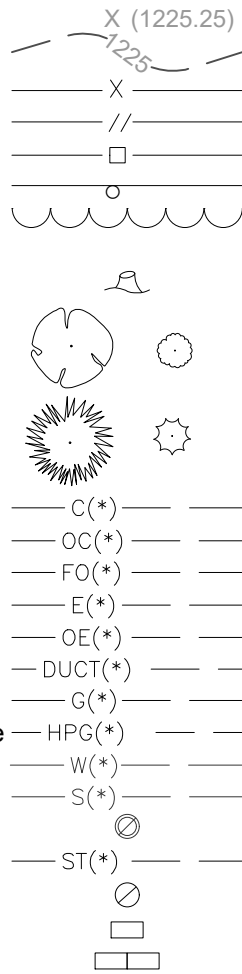
SET



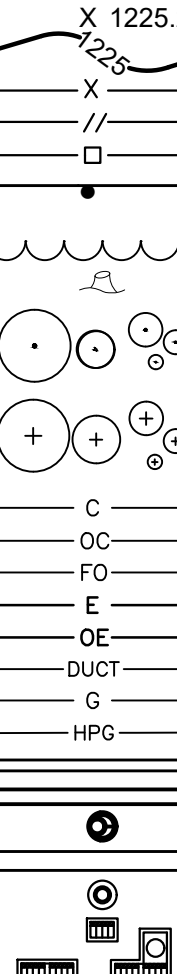
FEATURES

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Removal Limits
Tree Stump

EXISTING



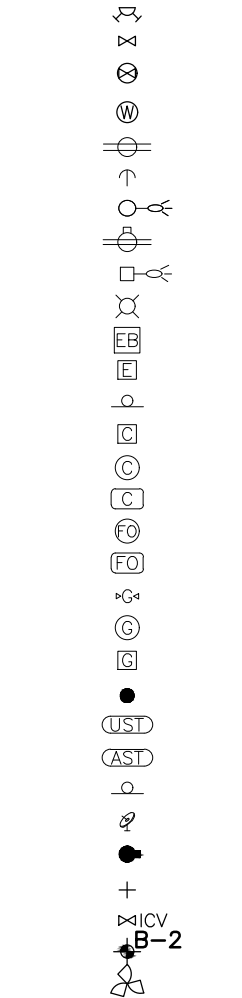
PROPOSED



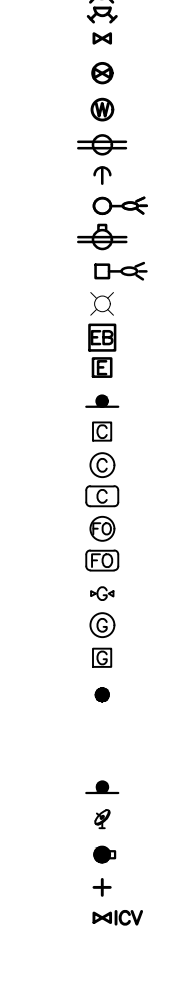
(*) Denotes the survey quality service level for utilities

- Fire Hydrant
Fire Hydrant on Building
Water Main Valve
Water Service Valve
Well
Utility Pole
Guy Anchor
Utility Pole with Light
Utility Pole with Transformer
Street Light
Yard Light
Electric Box
Electric Transformer
Traffic Sign
Communication Pedestal
Communication Manhole
Communication Handhole
Fiber Optic Manhole
Fiber Optic Handhole
Gas Valve
Gas Manhole
Gas Apparatus
Fence Post or Guard Post
Underground Storage Tank
Above Ground Storage Tank
Sign
Satellite Dish
Mailbox
Sprinkler Head
Irrigation Control Valve
Soil Boring
Test Hole Location for SUE w/D

FOUND



SET



UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESIS WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.
QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.
QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.
QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

CONTROL POINTS

- IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (IA-AMES-DSM)
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET
CP100 N=7403578.58 E=18551246.06 Z=962.52
IDOT ALUMINUM CAP LOCATED NE CORNER OF SITE, +-10' SOUTH OF SIDEWALK. (AS SHOWN ON SURVEY)
CP101 N=7402356.60 E=18551222.89 Z=924.29
FOUND 1/2" REBAR WITH RED PLASTIC CAP LOCATED SE CORNER OF SITE, +-20' SOUTH OF CULTIVATION LINE. (AS SHOWN ON SURVEY)
CP102 N=7402370.17 E=18550632.34 Z=925.60
FOUND 1/2" REBAR WITH RED PLASTIC CAP LOCATED SW CORNER OF SITE, +-10' SOUTH OF CULTIVATION LINE. (AS SHOWN ON SURVEY)
CP103 N=7403588.52 E=18550570.63 Z=953.44
FOUND 1/2" REBAR WITH RED PLASTIC CAP LOCATED NW CORNER OF SITE, WEST OF PRIVATE DRIVE. (AS SHOWN ON SURVEY)
CP104 N=7403578.13 E=18550905.41 Z=960.43
SET 1/2" REBAR WITH YELLOW PLASTIC CAP +-5' SOUTH OF HYDRANT AT NORTH CENTER OF SITE. (AS SHOWN ON SURVEY)

BENCHMARKS

- NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET
BM500 N=7403584. E=18550905. Z=962.19
ARROW ON HYDRANT LOCATED NORTH SIDE CENTER SITE, +-3' SOUTH OF SIDEWALK. (AS SHOWN ON SURVEY)

DATE OF SURVEY

OCTOBER 11, 2023

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552202879.

Table with utility contact information including G1-GAS MAIN, CLEAR PER MAP, CO1-COMMUNICATION, NO RESPONSE, FO3-FIBER OPTIC, NO RESPONSE, NO RESPONSE, FO2-FIBER OPTIC, NO RESPONSE, FO1-FIBER OPTIC, NO RESPONSE, S1-SANITARY SEWER, ST1-STREETS AND STORM SEWER, CLEAR PER MAP.

NOTES

- 1. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
2. CONSTRUCTION OF ALL WATER MAIN IMPROVEMENTS SHALL CONFORM TO IMU WATER UTILITY PROCEDURE MANUAL FOR MATERIALS AND CONSTRUCTION STANDARDS (2018). CONSTRUCTION OF ALL STREET AND ALL OTHER UTILITY IMPROVEMENTS SHALL CONFORM TO THE 2025 SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND INDIANOLA SUPPLEMENTAL SPECIFICATIONS.
3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
5. NOTIFY OWNER, ENGINEER, IMU, AND CITY OF INDIANOLA AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
6. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
7. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
8. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
9. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
11. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
12. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
14. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
16. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY OF INDIANOLA, IMU AND THE OWNER PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
18. CONTRACTOR TO PROVIDE ANY NECESSARY POTHOLING AND FIELD CONFIRMATION OF EXISTING UTILITIES TO CONFIRM CONSTRUCTABILITY OF PROPOSED SITE IMPROVEMENTS AND NOTIFY ENGINEER AND OWNER OF DISCREPANCIES PRIOR TO CONSTRUCTION.
19. CONTRACTOR TO SEED AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION UNLESS INDICATED DIFFERENTLY ON SITE PLANS.
20. ALL NEW GROUND AND BUILDING SIGNAGE ARE REVIEWED SEPARATELY. A SIGN PERMIT MUST BE ACQUIRED THROUGH THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO THE ERECTION OF NEW SIGNAGE.
21. BUILDING PERMIT(S) MUST BE OBTAINED BY THE CITY OF INDIANOLA COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO CONSTRUCTION.
22. ALL EXTERIOR-MOUNTED AND ROOF-TOP BUILDING EQUIPMENT, INCLUDING HVAC, MECHANICAL EQUIPMENT, VENTS, PIPING, ROOD ACCESS LADDER, AND UTILITY METERS SHALL BE LOCATED OUT OF VIEW AND SCREENED FROM ALL ADJACENT STREETS AND RESIDENTIALLY DEVELOPED OR ZONED PROPERTIES.
23. ROW AND ADJACENT STREETS SHALL BE CLEANED UP AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
24. ANY PROPOSED CHANGES TO THE SITE PLAN SHALL BE APPROVED IN WRITING BY THE CITY OF INDIANOLA COMMUNITY DEVELOPMENT DEPARTMENT.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF INDIANOLA COMMUNITY DEVELOPMENT DEPARTMENT.

NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
4. UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DESIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
5. UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
6. BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

PARKING REQUIREMENTS

1 STALL PER 20 UNITS
1 PER EMPLOYEE AT MAX SHIFT
19 UNITS X 1 STALL PER 20 UNITS = 1 STALL REQUIRED
0 EMPLOYEE X 1 STALL PER EMPLOYEE = 0 STALL REQUIRED
TOTAL STALLS REQUIRED = 1
TOTAL STALLS PROVIDED = 1

k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

- 1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.
B. STORM WATER DISCHARGE PERMIT
1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA), THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.
2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN

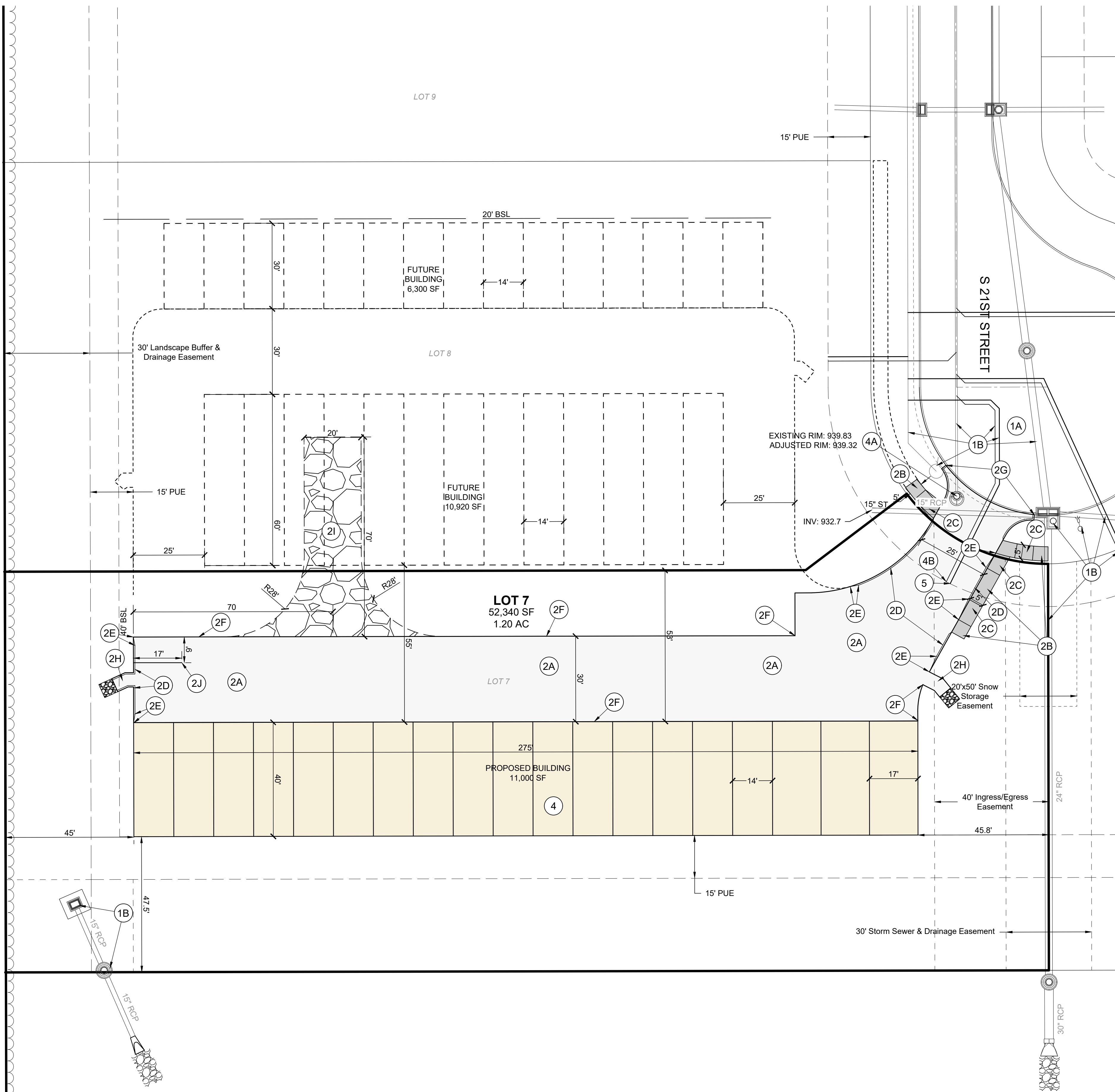
- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING INTO BASINS. PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS. THIS MUST BE DONE PRIOR TO THE BUILDING PERMIT BEING ISSUED.
c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER, COMMUNITY AND ECONOMIC DEPARTMENT OF INDIANOLA, AND ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.
f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
h. RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

Table with columns: REVISED PER CITY COMMENTS, DATE, REVISION, MARK, CHECKED BY, ENGINEER, TECHNICIAN, PROJECT NO.

INDIANOLA, IOWA
PROJECT INFORMATION
PICKARD INDUSTRIAL PARK PLAT 1, LOT 7
SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
www.snyder-associates.com
515-964-2020

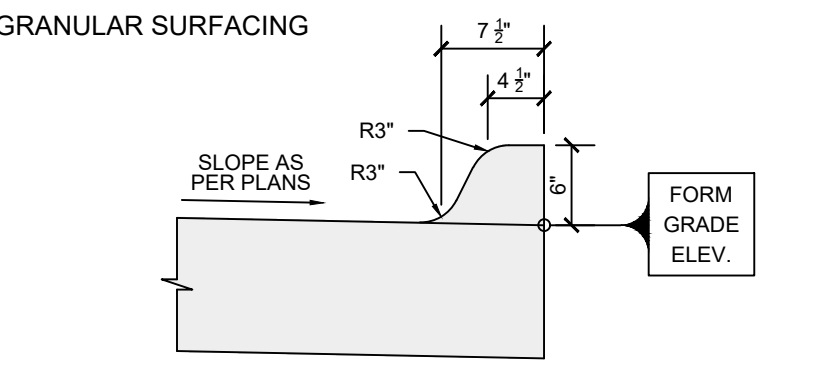
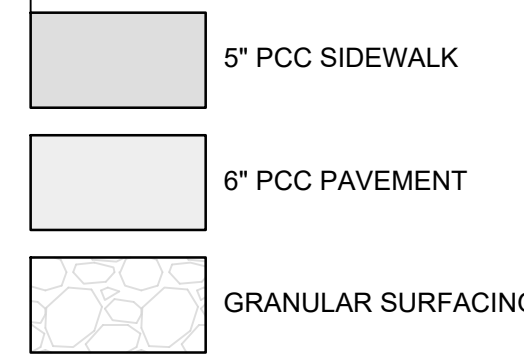


I:\Projects\2025\125.1027.DIM AND UTILITY PLAN, DIMENSION AND UTILITY PLAN, 2025.06.18, 4:55 PM, ANS FULL BLEED D (A, C, X, Z) (8 INCHES)

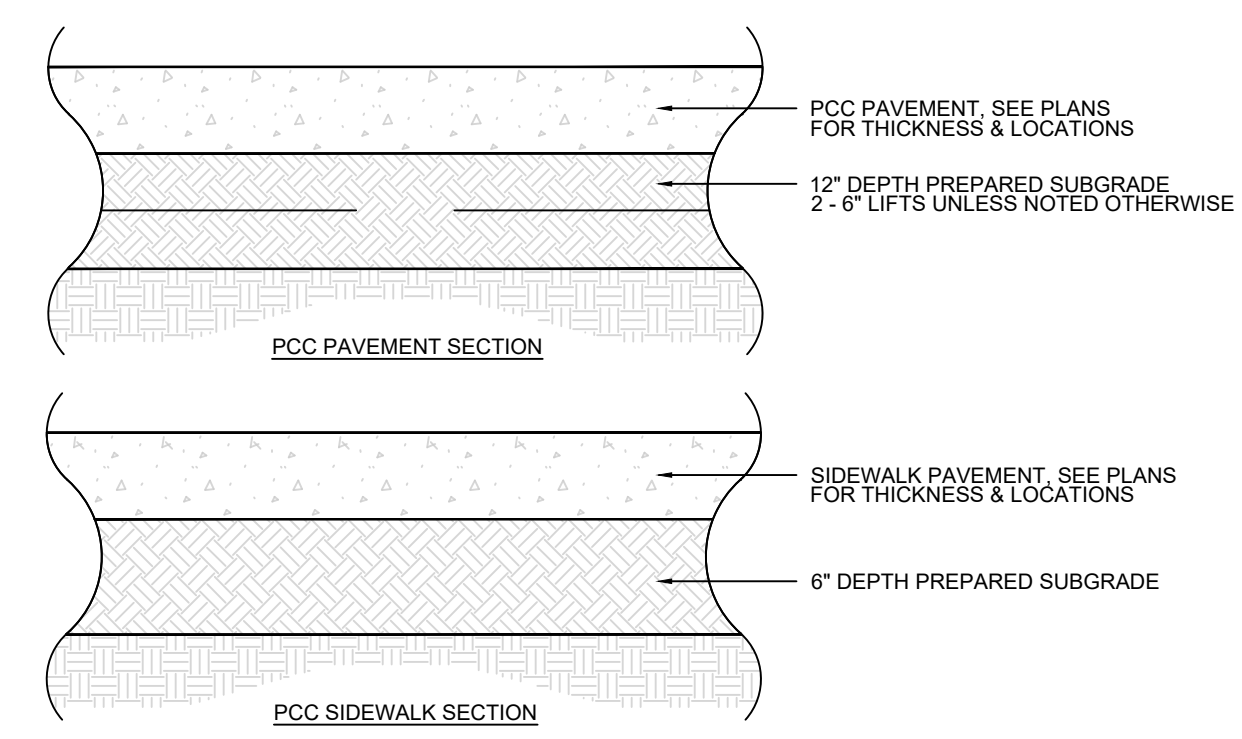


- ### DIMENSION PLAN CONSTRUCTION NOTES
- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - PAVEMENTS. PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
 - 6" DEPTH PCC PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 5" DEPTH PCC SIDEWALKS ON 6" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - 6" STANDARD CURB. SEE DETAIL ON THIS SHEET.
 - TAPER TO NO CURB.
 - NO CURB.
 - GRIND CURB. CONNECT TO EXISTING PAVEMENT WITH SUDAS TYPE B CONNECTION.
 - 5 FOOT WIDE CUNETTE.
 - GRANULAR SURFACING.
 - PAINTED PARKING STALL LINE, 4 INCHES WIDE, PAINTED YELLOW.
 - BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - SANITARY SEWER. PROVIDE THE FOLLOWING:
 - ADJUST RIM TO GRADE AS NECESSARY DURING CONSTRUCTION.
 - CLEANOUT. INSTALL CLEANOUT ON END OF EXISTING SERVICE.
 - REMOVE EXISTING WATER SERVICE STUB AND DISCONNECT FROM VALVE. INSTALL WATER PLUG.

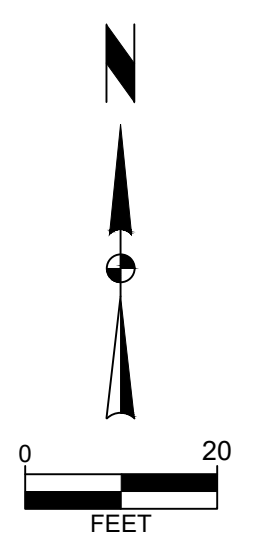
PAVEMENT LEGEND



1
C300
6-INCH STANDARD CURB
NO SCALE



2
C300
TYPICAL PAVEMENT CROSS SECTIONS
NO SCALE



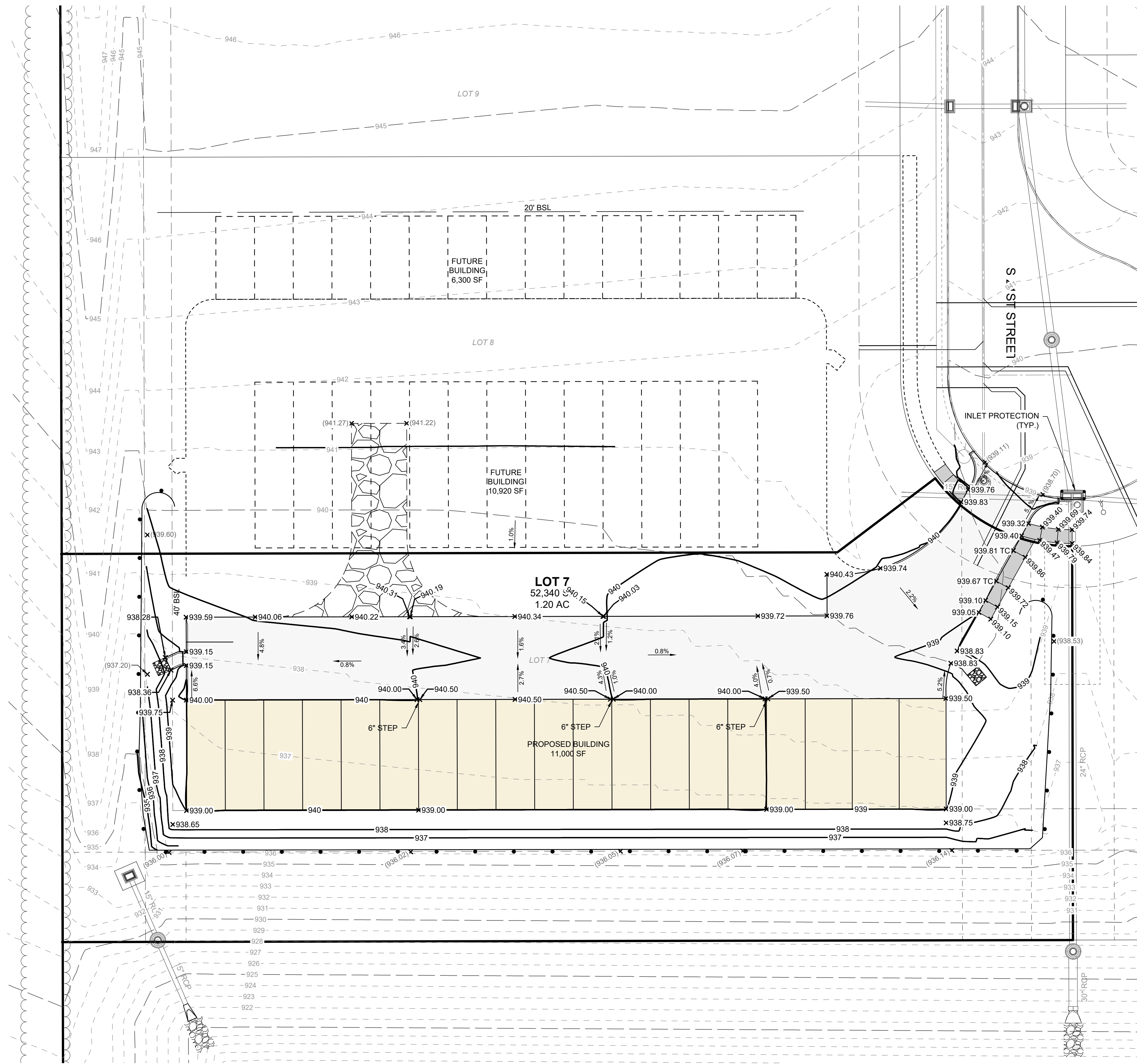
MARK	REVISION	DATE	BY
3	REVISED PER CITY COMMENTS	05-18-26	KS
2	REVISED PER CITY COMMENTS	05-15-26	LJM
1	REVISED PER CITY COMMENTS	04-30-26	KS

Engineer: KS	Checked By: KMM	Scale: 1" = 20'
Technician: LJM	Date: 03/26/2026	T-R-S: TTN-RRW-SS

PICKARD INDUSTRIAL PARK PLAT 1, LOT 7
DIMENSION AND UTILITY PLAN
INDIANOLA, IOWA
SNYDER & ASSOCIATES, INC. I



L:\Projects\125.1027 GRADING AND EROSION CONTROL PLAN 2020\05.18.4.51 PM ANSI FULL BLEED D (34.00 X 22.00 INCHES)

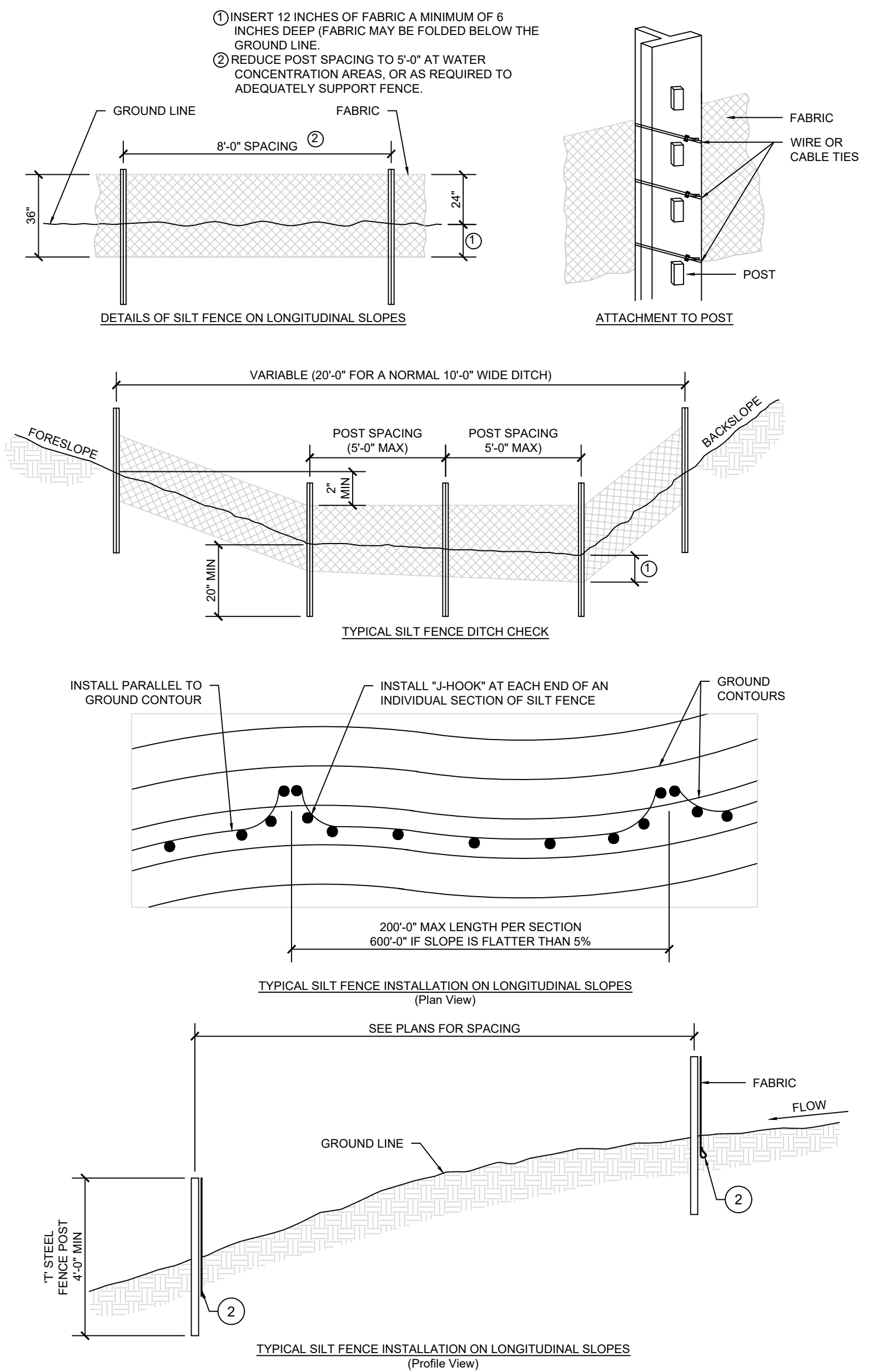


GRADING PLAN GENERAL NOTES

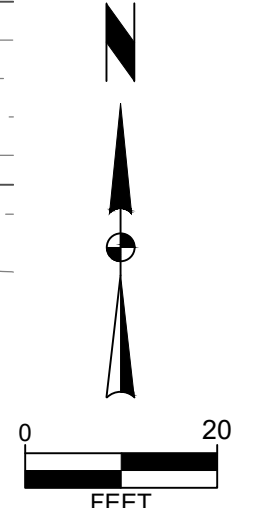
- A. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- B. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
- C. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
- D. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- E. PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.
- F. THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SPECIFIED ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL OR ALTERNATE CONTROL MEASURES MAY BE NECESSARY DUE TO CONDITIONS CREATED BY WEATHER OR LACK OF MAINTENANCE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL OR ALTERNATE CONTROL MEASURES THAT MAY BE NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY.

QUANTITIES

SEEDING AND MULCHING =1.0 AC
 SILT FENCE =600 LF
 INLET PROTECTION =1 EA



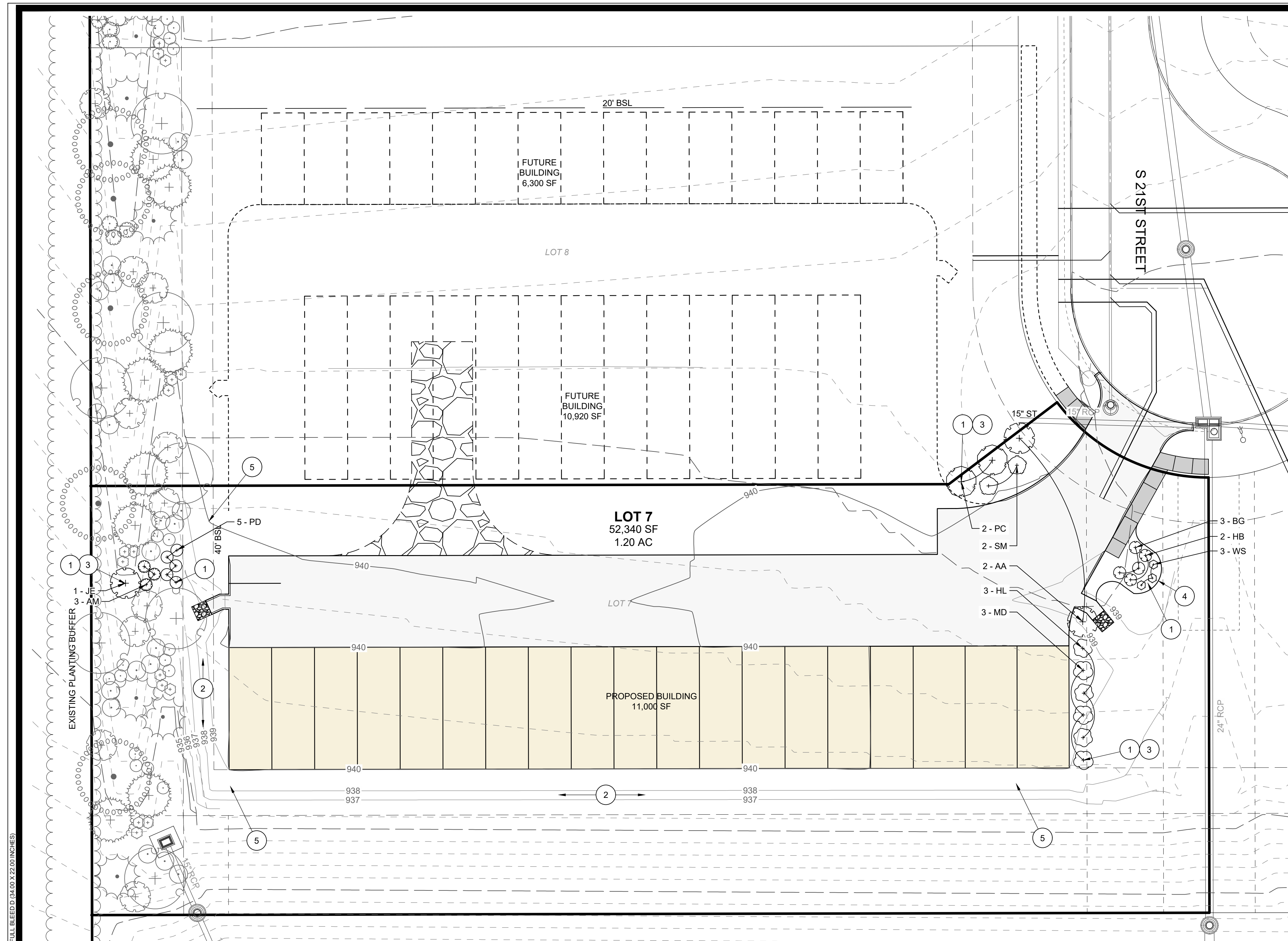
1 SILT FENCE DETAIL
NO SCALE



3	REVISED PER CITY COMMENTS	05-18-26	KS
2	REVISED PER CITY COMMENTS	05-15-26	LJM
1	REVISED PER CITY COMMENTS	04-30-26	KS
MARK	REVISION	DATE	BY
Engineer: KS	Checked By: KMM	Scale: 1" = 20'	
Technician: LJM	Date: 03/26/2026	T-R-S: TTN-RRW-SS	
Project No: 125-1027.01			Sheet C400

PICKARD INDUSTRIAL PARK PLAT 1, LOT 7
GRADING AND EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC. I
 INDIANOLA, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com





PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

PLANTING PLAN CONSTRUCTION NOTES

- 1. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MINIMUM 3-FOOT PERIMETER RING AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES. ALSO PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN PLANT BED AREAS INDICATED.
- 2. CONTRACTOR TO SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH 90/10 GREENYARD OR AN APPROVED EQUAL AT 450LBS / AC SEED RATE UNLESS NOTED OTHERWISE.

PRODUCT: GREENYARD 90 / 10 OR EQUAL.
 AGRILAND FS, INC
 INDIANOLA, IA 50125
 WWW.AGRILANDFS.COM
 CONTACT: CURT MYERS
 T: (515) 961-8408

- 3. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF TREES PRIOR TO PLANTING.
- 4. PROVIDE 3/16" BLACK STEEL EDGER WITH STAKES.
- 5. PROVIDE MECHANICALLY BONDED FIBER MATRIX(MBFM) IMMEDIATELY FOLLOWING SEED APPLICATION ON ALL AREAS SEEDED WITH A SLOPE OF 6:1 OR GREATER. ACCEPTABLE PRODUCTS AND MANUFACTURERS:

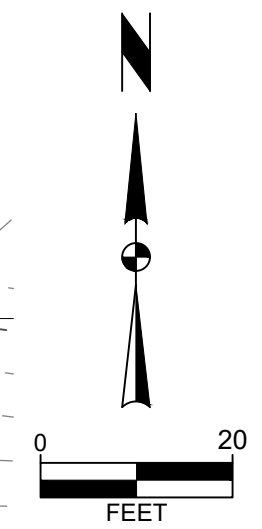
PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400
 BUFFALO GROVE, IL 60089
 T: 1-800-366-1180
 WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL.

PLANTING PLAN REQUIREMENTS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
 (AS PER CITY OF INDIANOLA SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

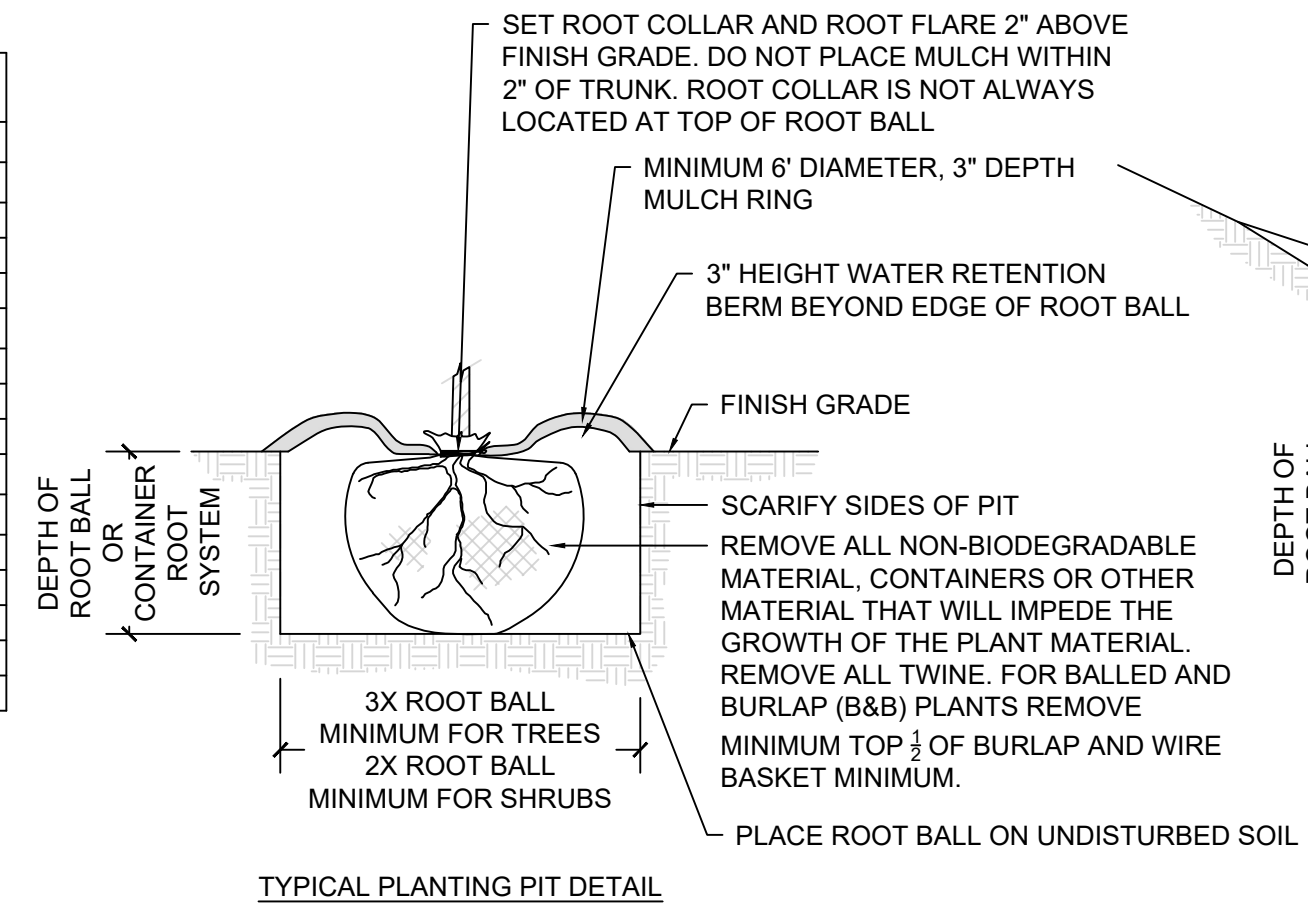
OPEN SPACE REQUIREMENTS:
 LOT 7
 52,339.87 SF (1.20 AC) OVERALL PROPERTY X 15% MINIMUM OPEN SPACE = 7,850.98 SF OPEN SPACE REQUIRED
 TOTAL HARD SURFACE (DRIVES, PARKING AND BUILDING) = 24,438.38 SF
 (27,901.49 SF) = 53.31% TOTAL OPEN SPACE PROVIDED

OPEN SPACE LANDSCAPE REQUIREMENTS:
 7,850.98 SF / 2000 SF = 3.93 PLANT UNITS REQUIRED
 3.93 PU X 1 SHADE TREE = 3.93 SHADE TREES REQUIRED (4 PROVIDED)
 3.93 PU X 2 ORNAMENTAL TREES = 7.86 ORNAMENTAL TREES REQUIRED (8 PROVIDED)
 3.93 PU X 2 SHRUBS = 7.86 SHRUBS REQUIRED (8 PROVIDED)

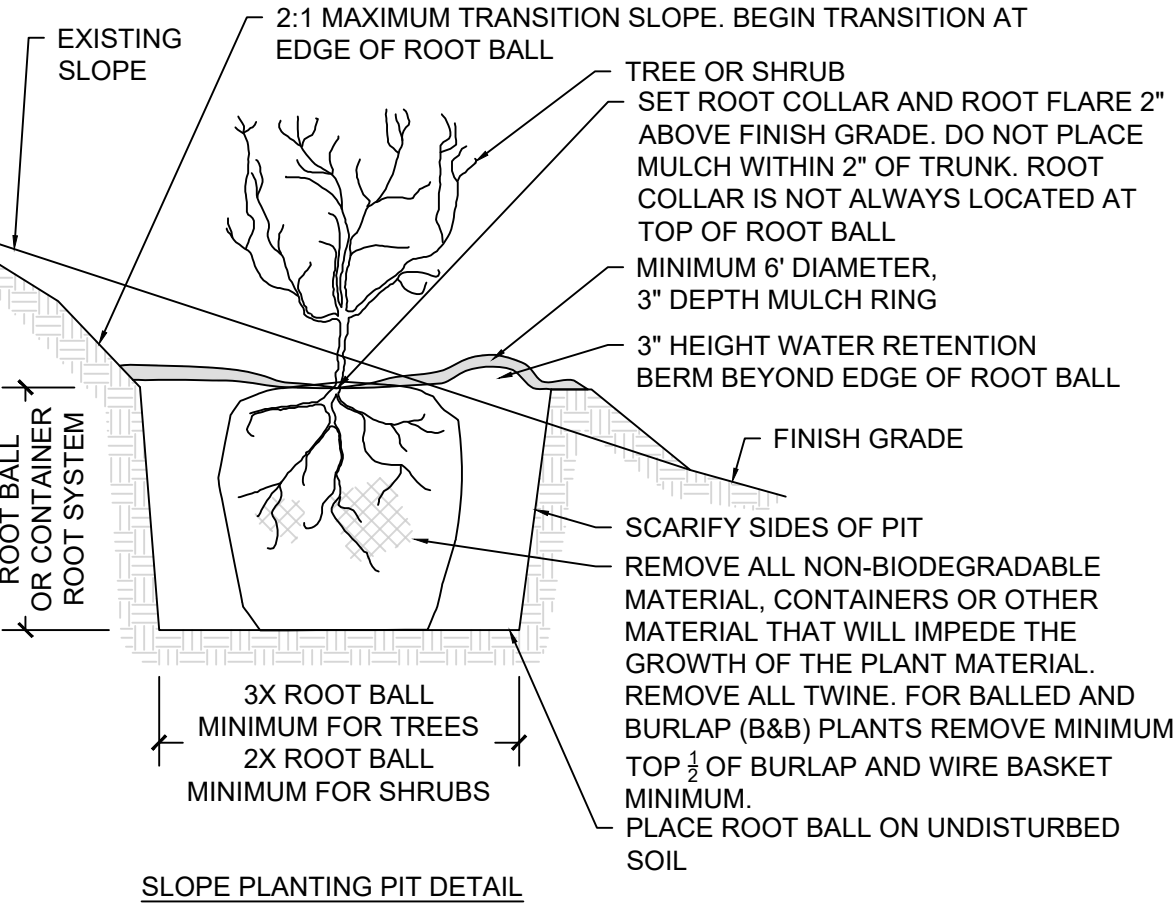


PLANT SCHEDULE

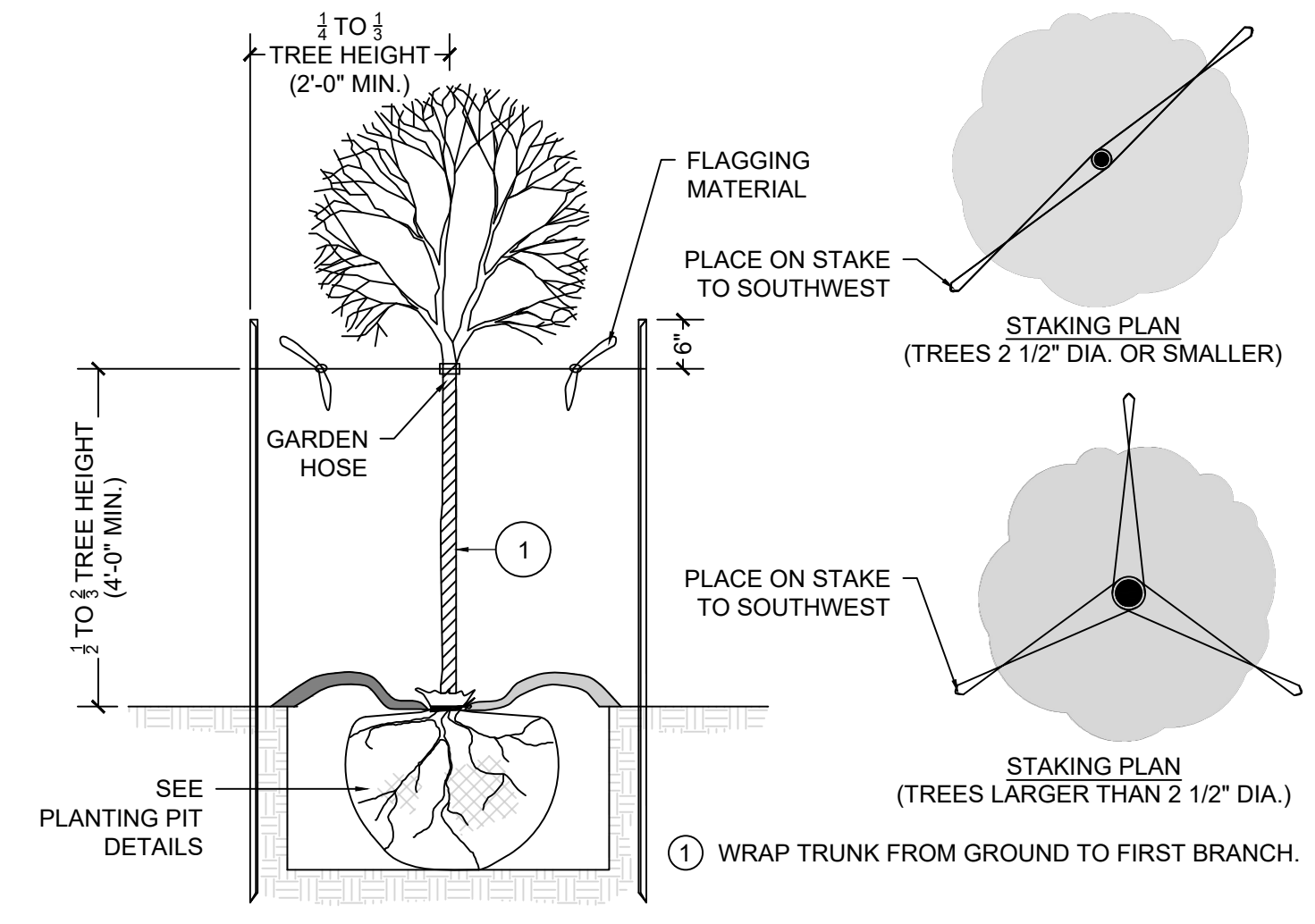
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES					
AA	2	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	1.5" Cal.	B&B
JE	1	Juniperus virginiana	Eastern Redcedar	6' Ht.	B&B
PC	2	Pyrus calleryana 'Glen's Form'	Chanticleer® Callery Pear	1.5" Cal.	B&B
ORNAMENTAL TREES					
HL	3	Hydrangea paniculata 'Limelight'	Limelight Panicle Hydrangea	1.5" Cal.	B&B
MD	3	Malus x adstringens 'Durelo'	Gladiator™ Crabapple	1.5" Cal.	B&B
SM	2	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	1.5" Cal.	B&B
SHRUBS					
AM	3	Aronia melanocarpa	Black Chokeberry	3 GAL	
BG	3	Buxus x 'Green Velvet'	Green Velvet Boxwood	3 GAL	
HB	2	Hydrangea paniculata 'ILVOBO'	Bobo® Panicle Hydrangea	3 GAL	
PD	5	Physocarpus opulifolius 'Donna May'	Little Devil™ Dwarf Ninebark	3 GAL	
WS	3	Weigela florida 'Bokraspiwi'	Spilled Wine® Weigela	3 GAL	



1 PLANTING PIT DETAILS
 C500 NO SCALE



2 SLOPE PLANTING PIT DETAIL
 C500 NO SCALE



2 DECIDUOUS TREES STAKING DETAIL
 C500 NO SCALE

3	REVISED PER CITY COMMENTS	05-18-26	KS
2	REVISED PER CITY COMMENTS	05-15-26	LJM
1	REVISED PER CITY COMMENTS	04-30-26	KS
MARK	REVISION	DATE	BY
Engineer: KS	Checked By: KMM	Scale: 1" = 20'	
Technician: LJM	Date: 03/26/2026	T-R-S: TTN-RRW-SS	
Project No.: 125-1027.01			Sheet C500

PICKARD INDUSTRIAL PARK PLAT 1, LOT 7

PLANTING PLAN

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. I

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 125.1027.01

Sheet C500

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MATERIAL BREAKDOWN

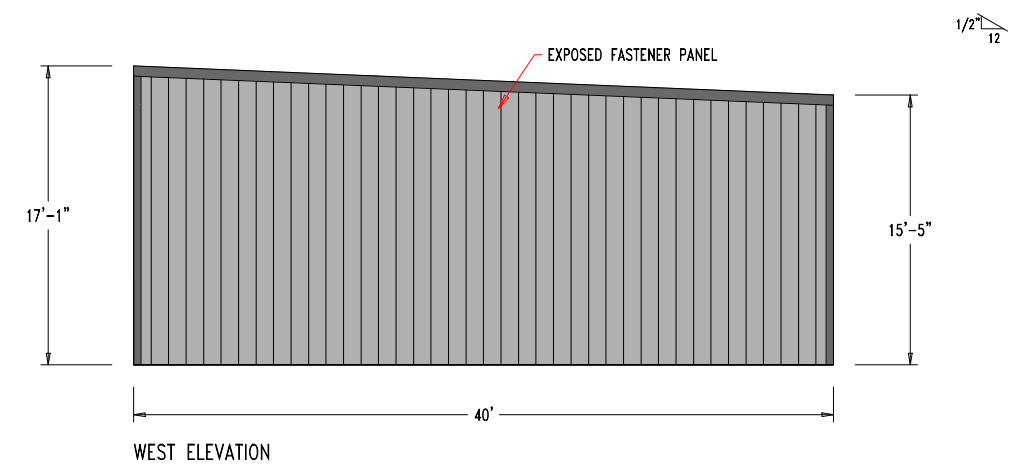
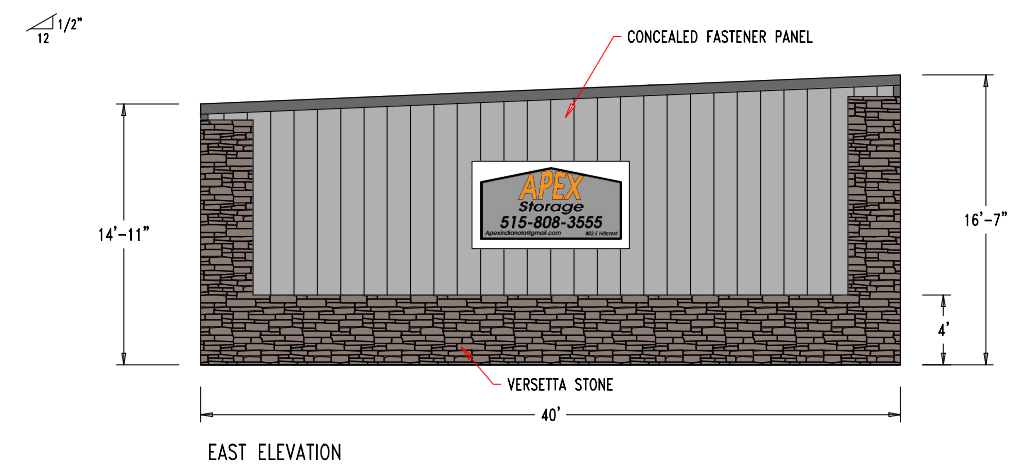
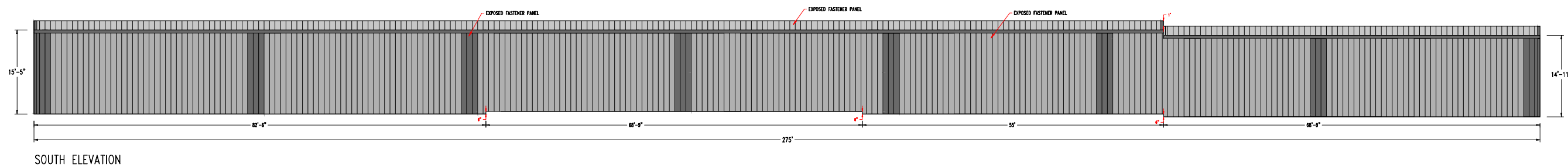
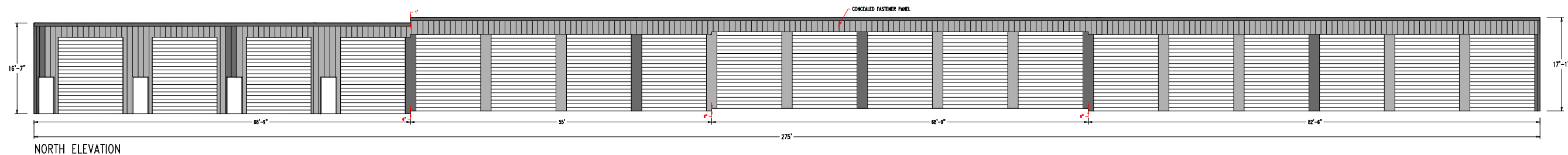
*Primary Facade = 100% Class 1 Materials East End Only (40' Endwalls) ** Roofing Materials = 100% Class 2 Materials

EAST- Primary Facade - 100% Class 1 Primary Materials
 630 Sq Ft Total
 219.5 Sq Ft - Versetta Stone Panels
 410.5 Sq Ft - Architectural Metal Panel (Concealed Fastener)

WEST- Secondary Facade 100% Class 2 Secondary Materials
 650 Sq Ft Total
 650 Sq Ft Metal Panel (Exposed Panel)

South- Secondary Facade 100% Class 2 Secondary Materials
 4,171.75 Sq Ft Total
 4,171.75 Sq Ft Metal Panel (Exposed Panel)


North- Secondary Facade 100% Class 2 Secondary Materials
 1,409.22 Sq Ft Total (4,628.22 minus 3,219 openings)
 1,409.22 Sq Ft Metal Panel (Exposed Panel)



DESCRIPTION	COLOR	TYPE
EXTERIOR PANEL	Ash Gray/Charcoal	R-Panel/Masterline 16
WAINSCOT	Sterling	Versetta
GUTTER/RAKE	Charcoal	
DOWNSPOUT	Ash Gray	
CORNERS	Charcoal	
MULLION/JAMB	Ash Gray	
ROOF	Galvalume	Drip X R-Panel
DOORS	White	
FRAMING		

NOTES
 -ADD PURLIN CLOSURES

*** Colors may vary slightly from what is depicted on paper. Please request color samples if unsure of exact color or if matching an existing building by others.
 ** Buildings on a 1% slope will have a gap on one side of the door between door and concrete slab



906 West 9th Street Pella, IA 50219
 (800) 225-0481 www.pellabuildings.com

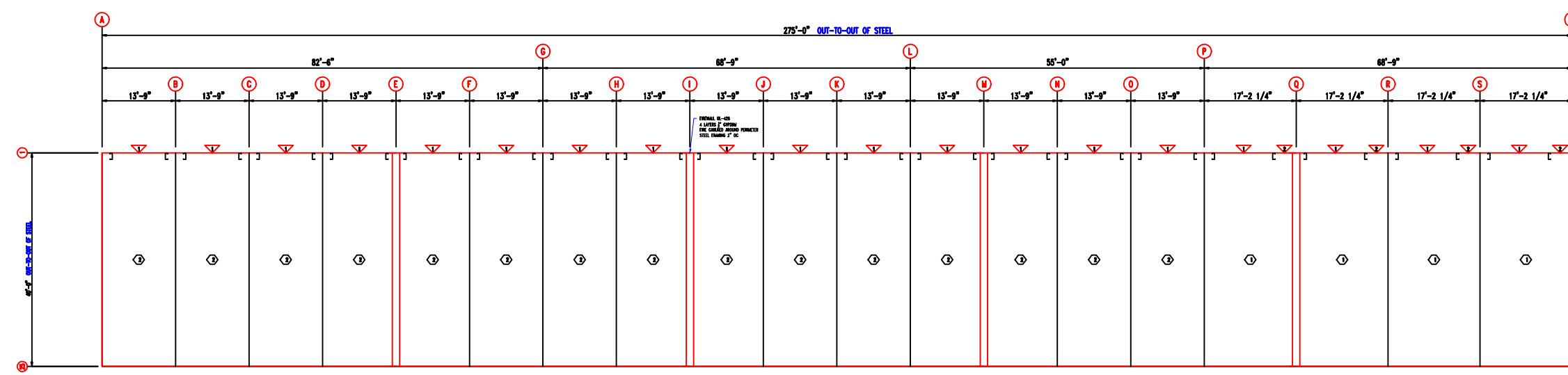
DESCRIPTION: ELEVATION				
CUSTOMER:			PROJECT: 40x275	
LOCATION: Indianola, IA			EXPECTED IBC: IBC 2015	
DRN. BY JB	CK'D BY	DATE 4/22/26	SCALE N.T.S.	REV. 00
QUOTATION NO.			Page 15 of 18	

DOOR SCHEDULE

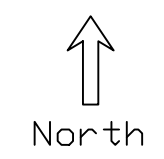
▽ ID	QUAN	DESCRIPTION	COLOR
1	19	Janus 1110x14 M2500 Rollup	WHITE
2	4	2868 Walk Door	WHITE

COMPARTMENT TABLE

○ ID	QUAN	WIDTH	LENGTH
1	4	17'-2 1/4"	40'-0"
2	15	13'-9"	40'-0"



FLOOR PLAN



Signature Required

* Before structural building/foundation plans may be started, this page must be signed and returned to PBS.
 * Signing does not require you to order a building and does not lock in a building price, until additional building contract and deposit is returned to PBS.

Company Name: _____

Reviewed and Signed By: _____

Signature of Authorized Signer: _____

Date: _____

*** Building and foundation plans are designed to listed load requirements, listed per IBC. PBS suggests doing a code review or confirming with city/county, applicable codes and requirements, based on zoning/usage, that will be enforced on your project, prior to ordering the building.
 ** PBS is not responsible for any added requirements not shown here or on building plans.
 * Before ordering the building, please notify PBS of any changes



DESCRIPTION: FLOOR PLAN		PROJECT: 40x275	
CUSTOMER:		LOCATION: Indianola Iowa	
DRN. BY JB	CK'D BY	DATE 4/ 6/26	SCALE N.T.S.
REV. 00	QUOTATION NO. 40x275	Page 9 of 18	



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
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May 2026

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	3	3	\$1,223,000.00	\$407,666.67
102	Single Family Attach	0		\$0.00	
103	Two Family	0		\$0.00	
104	Three or More Families	0		\$0.00	
	Mobile Homes	0		\$0.00	
322	Service Stations	0		\$0.00	
324	Office	0		\$0.00	
328	Non-resident buildings	0		\$0.00	
329	Pool	2		\$2,345.00	
434	Residential Add/Alt	11		\$542,761.00	\$49,341.91
437	Non-residential add/alt	2		\$356,390.00	\$178,195.00
438	Res garage/carports	1		\$15,500.00	
645	Demo - residential	0		\$0.00	
649	Demo - commercial	0		\$0.00	
May Total		19		\$2,139,996.00	
<u>Residential Value</u>		<u>Commercial Value</u>			
83.3%		16.7%			

YEAR TO DATE TOTAL					
<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	14	14	\$5,390,943.00	\$385,067.36
102	Single Family Attach	1	2	\$650,050.00	
103	Two Family	0		\$0.00	
104	Three or More Families	0		\$0.00	
	Mobile Homes	0		\$0.00	
322	Service Stations	0		\$0.00	
324	Office	0		\$0.00	
328	Non-resident buildings	0		\$0.00	
329	Pool	2		\$2,345.00	
434	Residential add/alt	37		\$1,188,180.98	\$32,113.00
437	Non-residential add/alt	9		\$1,102,663.00	\$122,518.11
438	Res garage/carports	3		\$33,900.00	
645	Demo - sfd	1		\$50.00	
649	Demo - commercial	0		\$0.00	
YTD TOTAL		67	16	\$8,368,131.98	
<u>Residential Value</u>		<u>Commercial Value</u>			
86.8%		13.2%			