



PLANNING AND ZONING COMMISSION

September 10, 2019
6:00 P.M.
City Council Chambers

AGENDA

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes
 - A. August 13, 2019
5. Public Comments
6. Old Business
7. New Business
 - A. Consider request from Steve Darr for an amendment to R-5, Planned Residence District plan for Lots 3-6 of Deer Run Plat 7.
 - B. Consider request from Shelly A. Bevard and Deon Walker for a right-of-way vacation and conveyance of the East and West alley lying North of Lot 1, in Sinderson's Subdivision.
 - C. Consider request from Tim J/Laura L Davison, Timothy G Grimm, and Jeanenne E Glascock Revocable Trust for a right-of-way vacation and conveyance of the East 75' of the West Half of the East and West alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa, and the North Half of the North and South alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa.
 - D. Consider request from Wouter Hertzberger and Jessica E Halgren-Hertzberger for a right-of-way vacation and conveyance of the South half of the North and South alley in Block 19 of College Addition to the City of Indianola.
 - E. Consider Kading Property Management requests for Cavitt Creek Condominiums
 - i. Consider request from Mark Lee of Lee Chamberlin Consultant Engineers, on behalf of Kading Properties LLC, for final plat approval of Cavitt Creek Plat I
 - ii. Consider request from Mark Lee of Lee Chamberlin Consultant Engineers, on behalf of Kading Properties LLC, for final plat approval of Cavitt Creek Plat II

- iii. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums I, a residential development on a lot exceeding one (1) acre, between 1404 and 1500 North 9th Street.
- iv. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums II, a residential development on a lot exceeding one (1) acre, west of 1500 North 9th Street.

8. Comments

- A. Commission Members
- B. Staff

9. Adjournment

Distribution:

Planning and Zoning Commission
Mayor/ City Council
City Manager
City Clerk
General Manager
City Attorney

Bulletin Board
KNIA/KRLS
Record Herald
Business Leader
Warren County Zoning



PLANNING AND ZONING COMMISSION

MINUTES OF REGULAR MEETING

August 13, 2019

6:00 P.M.

The meeting was called to order by Chairperson Josh Rabe and on roll call the following members were present:

Josh Rabe
Misty Soldwisch
Joe Butler
Al Farris
Erin Freeberg
Becky Needles
Jeromy Pribil

Commission Members Absent: Ron Fridley, Bob Ormsby, Sarah Ritchie

Staff Present: Charlie Dissell, Jackie Raffety

Public Present: Randy and Sue Edwards, 800 East Trail Ridge Place; Patrick and Leanne Rist, 808 East Trail Ridge Place; Barb Yearous, 1301 South K Street; Mindi Robinson, 804 North B Street; Elodie and Sandy Opstad, 510 West Ashland Avenue; Dwight and Pat Hicks, 906 North C Street; Don Strauch, 616 Trail Ridge Road; Bart Young, 808 Trail Ridge Road; Erin Griffin, 805 East Scenic Valley Court; Phil and Gloria Steger, 1425 Warrior Run Road; Natalie Smothers, 807 North B Street; Joel Hoyer, 900 North B Street; Jill Johnston, 306 West Girard Avenue; Joe Gezel, 509 West Clinton Avenue; Mark Ziino, 810 North D Street; Judy and John Pauley, 210 West Girard; Mayor Kelly Shaw, 101 Phillip Place.

Commission member Farris moved to approve the minutes of the July 9, 2019, meeting and Needles seconded the motion. On roll call the vote was AYES: Rabe, Soldwisch, Farris, Butler, Freeberg, Pribil and Needles. NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Chairperson Rabe asked if there were any from the public that would like to speak on an item not listed on the agenda. Hearing none, Chairperson Rabe closed public comments.

Consider request from Paul D/Rheanna M Edenburn, Timothy J/Shelli R Mc Connell, John R/Linda H Benoit and Michael/Natalie Smothers for a right-of-way vacation and conveyance of the north and south alley lying adjacent to Lots 1-4, in Block 20 of College Addition to the City of Indianola.

Charlie Dissell explained the request. Commission member Needles moved to approve a request from Paul D/Rheanna M Edenburn, Timothy J/Shelli R Mc Connell, John R/Linda H Benoit and Michael/Natalie Smothers for a right-of-way vacation and conveyance of the north and south alley lying adjacent to Lots 1-4, in Block 20 of College Addition to the City of Indianola with the condition that a public utility easement for the sanitary sewer main be maintained and recorded with the proposed right-of-way vacation. Commission member Butler seconded the motion. On roll call the vote was AYES: Rabe, Soldwisch, Farris, Butler, Freeberg, Pribil and Needles. NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Consider request from Steger Construction Inc. to rezone property located in the Northeast Quarter of the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 18, Township 76 North, Range 23 West from R-3 (Mixed Residential) and C-2 (Highway Commercial) Zoning Districts to R-3 (Mixed Residential) Zoning District.

Chairperson Rabe opened the meeting for comments on the rezoning request from Steger Construction. Commission member Soldwisch recused herself from the discussion and vote. Charlie Dissell explained the request. Aaron Griffiths, with Snyder and Associates, offered to answer questions on the rezoning on behalf of Steger Construction. He recommended approval of the request.

Commission member Pribil moved to approve the request from Steger Construction Inc. to rezone property located in the Northeast Quarter of the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 18, Township 76 North, Range 23 West from R-3 (Mixed Residential) and C-2 (Highway Commercial) Zoning Districts to R-3 (Mixed Residential) Zoning District. Commission member Butler seconded the motion. On roll call the vote was AYES: Rabe, Farris, Butler, Freeberg, Pribil and Needles. NAYS: None. Abstain: Soldwisch. Whereupon the Chairperson declared the motion approved.

Commission member Sarah Ritchie arrived at the meeting at 6:11 pm.

Consider request from Capone Property Management, LLC for approval of a Plat of Survey at 1109 South K Street.

Chairperson Rabe opened the meeting for comments on the request for approval of a Plat of Survey at 1109 S K St. Charlie Dissell explained the request. Barb Yearous, owner of the Corn Crib Bed and Breakfast at 1301 S K, asked about the paving of S K St.

Commission member Farris moved to approve a request from Capone Property Management, LLC, for approval of a Plat of Survey at 1109 S K St with the condition that the right-of-way along South K Street be separated in another parcel and be deeded to the City. Commission Member Soldwisch seconded the motion. On roll call the vote was AYES: Rabe, Soldwisch, Farris, Butler, Freeberg, Pribil and Needles and Ritchie. NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Consider request from Civil Engineering Consultants, Inc., on behalf of Peoples Company, for preliminary plat approval of Heritage Hills Plat 10.

Chairperson Rabe opened the meeting for comments on Heritage Hills Plat 10. Charlie Dissell explained the request. Paul Clausen with Civil Engineering Consultants at 2400 86th St, Urbandale, offered to answer questions about the preliminary plat approval of Heritage Hills Plat 10.

Bart Young, of 808 Trail Ridge Rd, requested that the area not be developed for 10 years so as not to disrupt the peace and quiet of the neighborhood.

Bob Luster, of 801 Trail Ridge, raised concerns about the increase in traffic due to construction and asked about the turn around at the end of the road. Paul Clausen answered the question.

Commission member Butler moved to approve request from Civil Engineering Consultants, Inc., on behalf of Peoples Company, for preliminary plat approval of Heritage Hills Plat 10 with the condition that a variance to the maximum depth to width ratio, listed in Section 170.13.5, be approved for Lots 2, 3 and 4. Commission Member Needles' seconded the motion. On roll call the vote was AYES: Rabe, Soldwisch, Farris, Butler, Freeberg, Pribil and Needles and Ritchie. NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Consider zoning regulation amendment to Chapter 165, regarding fence regulations.

Chairperson Rabe opened the meeting for comments on fence regulations. Charlie Dissell explained the request. Sandy Opstad at 510 W Ashland, spoke about fence regulations. He believes that fences should be able to face whichever way the owner wants.

Commission member Soldwisch moved to approve the zoning regulation amendment to Chapter 165, regarding fence regulations and Commission member Ritchie seconded the motion. On roll call the vote was AYES: Rabe, Soldwisch, Farris, Butler, Freeberg, Pribil and Needles and Ritchie. NAYS: None. Whereupon the Chairperson declared the motion carried unanimously.

Consider zoning regulation amendment to Chapter 165, regarding Bed and Breakfast and Boardinghouse regulations.

Chairperson Rabe opened the meeting for comments on Bed and Breakfasts and Boardinghouses. Commission member Soldwisch recused herself from the discussion and vote, citing a conflict of interest. Charlie Dissell explained the request. Commission members commented on and shared correspondence they have had with citizens regarding this item on the agenda.

Judy Pauley, 210 W Girard, spoke in favor of Bed & Breakfasts and Boardinghouses. She stated she did not receive information and petitions from her neighbors in a timely manner. She would like the commission to approve the amendment as presented.

Joel Hoyer, 900 N B St, wants the neighborhood to stay R-1 with no option of B&B's or boardinghouses.

Elodie Opstad, 510 W Ashland, read her letter requesting city staff to further define B&B's and boardinghouses.

Pat Hicks, 906 N C, wants B&B's to be in all R-1 areas with the requirement that owners live on the premises, limit the number of people who can live in a boardinghouse and wants the code to be more specific.

Natalie Smothers, 807 N B, wants the owner to be required to live at the B&B and would like B&B's and boardinghouses to have separate meanings.

Jill Johnston, 306 W Girard, wants B&Bs and boardinghouses to not be allowed in R-1 but to be allowed in R-3 and beyond.

Judy Pauley, 210 W Girard, believes a B&B/boardinghouse is good for Simpson College and the DMMO.

John Pauley, 210 W Girard, said a B&B/boardinghouse near Simpson has a positive impact on Simpson, DMMO and the community.

Rheanna Edinburg, 810 N C, doesn't want to live next to a boardinghouse and requests members to explore the issue further.

Commission member Al Farris spoke about having a specific definition for B&Bs and boardinghouses and where they should be located.

Commission member Ritchie asked what zoning regulations other small-town college communities have regarding B&Bs.

Commission member Butler wants City Staff do a full review of zoning ordinances regarding B&B's and boardinghouses, to know what other college communities require and to include Air B&Bs on this.

Butler moved that the City of Indianola Planning and Zoning Commission remands the zoning regulation amendment request, back to staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda. Farris seconded the motion. On roll call the vote was AYES: Rabe, Farris, Butler, Freeberg, Pribil, Ritchie and Needles. NAYS: None. Abstain: Soldwisch. Whereupon the Chairperson declared the motion approved.

Community Development Director Charlie Dissell gave the Commission an update on the Prairie Glen detention basins. He let them know that property owners are responsible for the maintenance as there is no HOA in that neighborhood.

Commission member Farris moved to adjourn the meeting and Soldwisch seconded. Meeting was adjourned at 7:40 pm.



Community Development

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Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

Agenda Item: 7.A Consider request from Steve Darr for an amendment to an R-5, Planned Residence District plan for Lots 3-6 of Deer Run Plat 7.

Application Type: R-5, Planned Residence District Plan Amendment

Applicant: Steve Darr, Thorn Tree Development Corporation

Property Owner: Thorn Tree Development Corp

Current Zoning: R-5, Planned Residence District

Comprehensive Plan Designation: Medium Density Residential

Application Summary: Request for an amendment to the R-5, Planned Residence District plan for Lots 3-6 of Deer Run Plat 7. The current plan shows Lots 3-6 as single-family lots, and the petitioner would like to allow these lots to have duplexes constructed on them.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

R-5 PLANNED RESIDENCE DISTRICT CHANGES AND MODIFICATIONS

Minor changes in building arrangements, streets, sidewalks, parking lots, drainage courses and accessory buildings not exceeding 200 square feet in area that do not substantially alter the character of the development are allowable. Any other changes shall be considered as amendments to the approved plan and shall be considered and acted upon by the Commission and the Council as separate and additional zoning changes.

165.38 CHANGES AND AMENDMENTS. The regulations and restrictions imposed in the districts, and the boundaries of the districts created by this chapter may be amended from time to time by the Council, but no such amendment shall be made without public hearing before the Council and after a report has been made upon the amendment by the Commission. Not less than seven nor more than 20 days' notice of the time and place of such hearing shall be published in a newspaper having general circulation in the City. The Commission shall not make any recommendation to the Council on an amendment to the zoning district boundaries until a sign 18 inches by 24 inches indicating the amendment requested has been prepared and posted by the City in a visible location on the premises for a period of 10 days. Notice of the Commission meeting shall be mailed by first class mail 10 days prior to the meeting to all property owners within 200 feet of a proposed amendment to the zoning district boundaries. In case the Commission does not approve the amendment or, in the case of a protest filed with the Council against an amendment to district boundaries signed by the owners of 20 percent or more either of the area of the lots included in such proposed amendment or of those immediately adjacent thereto and within 200 feet of the boundaries thereof, such amendment shall not be passed except by the favorable vote of three-fourths of all the members of the Council.

165.39 APPLICATION FOR CHANGE OF ZONING DISTRICT BOUNDARIES. Any person may submit to the Council an application requesting a change in the zoning district boundaries as shown on the official zoning district map. Such application shall be filed with the Administrative Officer accompanied by a fee of two hundred dollars (\$200.00) and shall contain the following information:

1. The legal description and local address of the property.
2. The present zoning classification and the zoning classification requested for the property.
3. The existing use and proposed use of the property.
4. The names and addresses of the owners of all property within two hundred (200) feet of the property for which the change is requested.
5. A statement of the reasons why the applicant feels the present zoning classification is no longer valid.
6. A plat showing the locations, dimensions and use of the applicant's property and all property within two hundred (200) feet thereof, including streets, alleys, railroads, and other physical features.
7. If the requested zoning change is from A-1 (Agricultural) to any other classification, the application shall contain the number of acres in each soil type for which a rezoning change is requested and the crop suitability rating of each. The soil type and its crop suitability rating shall be determined by the latest cooperative soil survey and accompanying data.
8. Prior to rezoning any property, the Planning and Zoning Commission and the City Council shall consider the following relative to orderly regulated development: adequate size and location of public sanitary sewer, adequate size and location of public water and the presence of existing hard surfaced streets. Nothing in this chapter shall be construed to mean the City has any regulatory power for property used for agricultural purposes outside the City limits.

All fees shall be deposited to the General Revenue Fund of the City. Failure to approve the requested change shall not be deemed cause to refund the fee to the applicant.

ANALYSIS

The proposed amendment is being requested to change the intended use on Lots 3-6 from single-family dwellings lots to two-family lots. There are currently 3 four-plex buildings and 1 two-family building about 500' south of these lots. The Comprehensive Plan identifies this area as medium density residential, which calls for 4-12 dwelling units per acre. As single-family lots, the density would be about 2.25 units per acre, and as two-family lots, the density increases to about 4.49 units per acre. While there is sufficient sanitary sewer and water service in this area to serve this development, these areas were stubbed in for single-family dwellings. Any additional taps onto mains will be at the developer's expense. South Y Street is a paved road and is also sufficient enough to serve this development. A notification sign was placed along South Y Street on August 29, 2019 and notification letters were sent out to property owners within 200' on August 30, 2019.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the R-5, Planned Residence District Plan Amendment request be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the R-5, Planned Residence District Plan Amendment request be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the R-5, Planned Residence District Plan Amendment request be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the R-5, Planned Residence District Plan Amendment request, back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Planning and Zoning Commission move alternative 1, approving the R-5, Planned Residence District Plan Amendment request as submitted.

August 5, 2019

Indianola Planning & Zoning Commission and City Council
301 N. Buxton St., #212
Indianola, IA 50125

To The Commission:

We respectfully request that Lots 3, 4, 5, and 6 of the Deer Run Plat #7 subdivision be re-zoned to accept duplex homes as outlined in zoning R-5.

Thank you,



Steve Darr, President
Thorn Tree Development Corporation
Owner, Lots 3, 4, 5, 6

8-5-19

Date



R-5

That part of Lot 3 in Deer Run, an Official Plat, now included in and forming a part of the City of Indianola, Warren County, Iowa, being more particularly described as follows:

Thence South 01°(degrees) 03'(minutes) 57"(seconds) East (bearing assumed to match the Official Plat of Deer Run), 333.93 feet along the West line of said Lot 3 to the Point of Beginning;

Thence South 01°03'57" East, 699.19 feet to the North line of Deer Run Plat 4, an Official Plat, now included in and forming a part of the City of Indianola, Warren County, Iowa;

Thence South 88°56'03" West, 190.00 feet along the North line of said Deer Run Plat 4 to the West line of said Lot 3 in Deer Run;

Containing 3.18 acres.



- MONUMENT FOUND — 5/8" IR W/YELLOW CAP #10313 UNLESS NOTED
- MONUMENT TO BE SET — 5/8" REBAR W/YELLOW CAP # 15268
- CENTERLINE ROAD CONTROL POINT
- ▲ SECTION CORNER FOUND AS NOTED
- (P) PLATTED OR RECORD DIMENSION
- (M) MEASURED DIMENSION
- R.O.W. RIGHT-OF-WAY
- P.U.E. PUBLIC UTILITY EASEMENT
- — PLATTED LINE
- — PROPERTY LINE
- (NR) NOT RADIAL
- SWFE SURFACE WATER FLOWAGE EASEMENT
- STM STORM SEWER EASEMENT
- SAN SANITARY SEWER EASEMENT





Community Development

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Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

Agenda Item: 7. B. Consider request from Shelly A. Bevard and Deon Walker for a right-of-way vacation and conveyance of the East and West alley lying North of Lot 1, in Sinderson's Subdivision.

Application Type: Right-of-Way Vacation

Applicant: Shelly A Bevard (509 South Freeman Street)
Deon Walker (503 South Freeman Street)

Application Summary: Request for vacation and conveyance of the East and West alley lying North of Lot 1, in Sinderson's Subdivision.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

137.01 POWER TO VACATE. When, in the judgment of the Council, it would be in the best interest of the City to vacate a street, alley, portion thereof or any public grounds, the Council may do so by ordinance in accordance with the provisions of this chapter.

137.02 PLANNING AND ZONING COMMISSION. Any proposal to vacate a street, alley, portion thereof or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission.

137.03 NOTICE OF VACATION HEARING. The Council shall cause to be published a notice of public hearing of the time at which the proposal to vacate shall be considered.

137.04 FINDINGS REQUIRED. No street, alley, portion thereof or any public grounds shall be vacated unless the Council finds that:

1. Public Use. The street, alley, portion thereof or any public ground proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified.
2. Abutting Property. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

137.05 DISPOSAL OF VACATED STREETS OR ALLEYS. When in the judgment of the Council it would be in the best interest of the City to dispose of a vacated street or alley, portion thereof or public ground, the Council may do so in accordance with the provisions of Section 364.7, Code of Iowa.

ANALYSIS

The proposed alley to be vacated is unimproved, is not needed for the use of the public, and its maintenance at the public's expense is no longer justified. There are no public utilities located within this alley. The property owners abutting this vacation are all applicants to the request, and their abutting halves of the alley will be transferred to them, if approved by Council.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the right-of-way vacation request, back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Planning and Zoning Commission move alternative 1, approving the right-of-way vacation request, as submitted.



Community Development

PO Box 299, Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 phone • 515.961.9402 fax

Agreement to Purchase Alley

Shelly A Bevard requests to purchase the alley legally described as:

The East and West Alley, lying north of Lot 1 of Sindersons Subdivision.

The undersigned owns the property adjacent to the alley legally described above and agrees to purchase the alley.

Name: Shelly A Bevard

Address: 509 South Freeman St

Signature: Shelly A. Bevard

Date: 8-5-19

Name: Deon Walker

Address: 503 S Freeman St

Signature: Deon J. Walker

Date: 7/30/19

Name: Timothy James McFarland

Address: 506 South E St

Signature: Timothy James McFarland

Date: 8-3-2019

\$200.00 Fee

Receipt No#: _____



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Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

Agenda Item: 7. C. Consider request from Tim J/Laura L Davison, Timothy G Grimm, and Jeanenne E Glascock Revocable Trust for a right-of-way vacation and conveyance of the East 75' of the West Half of the East and West alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa, and the North Half of the North and South alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa.

Application Type: Right-of-Way Vacation

Applicant: Timothy G. Grimm (303 East Salem Avenue)
Jeanenne E Glascock Revocable Trust (309 East Salem Avenue)
Tim J and Laura L Davison (110 South Jefferson Way)

Application Summary: Request for vacation and conveyance of the East 75' of the West Half of the East and West alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa, and the North Half of the North and South alley in Block Ten of the Steele and Granthams Addition to Indianola, Iowa.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

137.01 POWER TO VACATE. When, in the judgment of the Council, it would be in the best interest of the City to vacate a street, alley, portion thereof or any public grounds, the Council may do so by ordinance in accordance with the provisions of this chapter.

137.02 PLANNING AND ZONING COMMISSION. Any proposal to vacate a street, alley, portion thereof or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission.

137.03 NOTICE OF VACATION HEARING. The Council shall cause to be published a notice of public hearing of the time at which the proposal to vacate shall be considered.

137.04 FINDINGS REQUIRED. No street, alley, portion thereof or any public grounds shall be vacated unless the Council finds that:

1. Public Use. The street, alley, portion thereof or any public ground proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified.
2. Abutting Property. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

137.05 DISPOSAL OF VACATED STREETS OR ALLEYS. When in the judgment of the Council it would be in the best interest of the City to dispose of a vacated street or alley, portion thereof or public ground, the Council may do so in accordance with the provisions of Section 364.7, Code of Iowa.

ANALYSIS

The proposed alley to be vacated is unimproved, is not needed for the use of the public, and its maintenance at the public's expense is no longer justified. However, there are various electrical utilities, including overhead and underground lines, as well as fiber lines that are located within the portion of the alley proposed to be vacated. The property owners abutting this vacation are all applicants to the request, and their abutting halves of the alley will be transferred to them, if approved by Council.

ALTERNATIVES

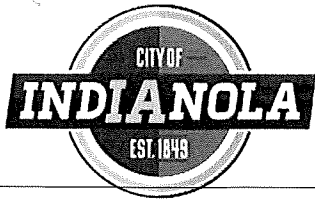
The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the right-of-way vacation request, back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Planning and Zoning Commission move alternative 2, approving the right-of-way vacation request subject to the following condition:

1. A public utility easement be maintained and recorded with the proposed right-of-way vacation.



Community Development

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Agreement to Purchase Alley

Tim G. Grimm requests to purchase the alley legally described as:

1. The North $\frac{1}{2}$ full width of The North-South Alley That Parallels The East Side of Lot 4 (^{303 East} Salem) on Block Ten (10) of The Steele + Grantham's Addition. 2. The West $\frac{1}{2}$ full width of the East-West Alley That borders The South Lot Boundary-Lines of Lot 4 and 5 (^{303 East Salem}) on Block Ten (10) of The Steele + Grantham's Addition.

The undersigned owns the property adjacent to the alley legally described above and agrees to purchase the alley.

Name: Tim DAVISON - DAVISON LLC

Address: 110 S Jeff + 308 E 1st

Signature: [Signature]

Date: 8-9-19

Name: Jeanine Mascock

Address: 309 East Salem

Signature: [Signature]

Date: 8-9-2019

Name: Tim Grimm

Address: 303 East Salem 777-1427

Signature: [Signature]

Date: 8/15/19

\$200.00 Fee

Receipt

No#: _____



Community Development

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Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

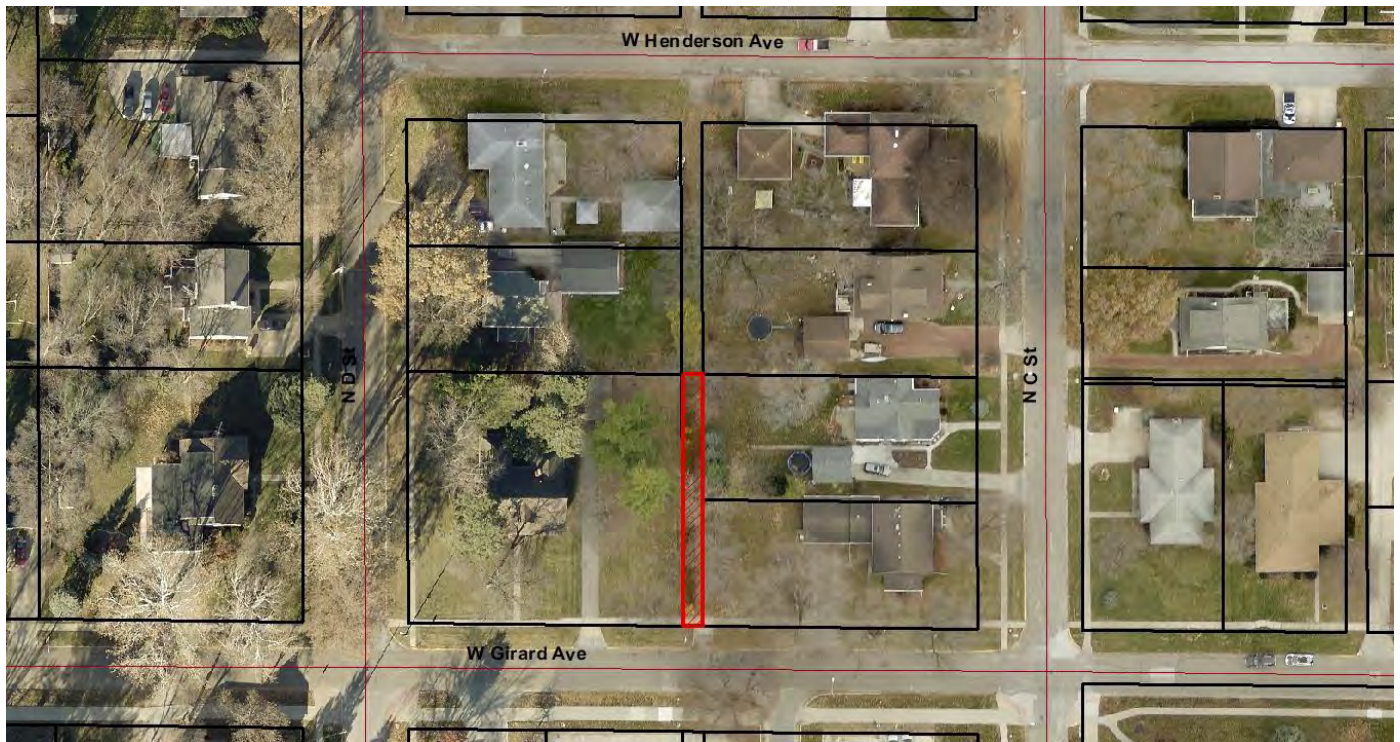
Agenda Item: 7. D. Consider request from Wouter Hertzberger and Jessica E Halgren-Hertzberger for a right-of-way vacation and conveyance of the South half of the North and South alley in Block 19 of College Addition to the City of Indianola.

Application Type: Right-of-Way Vacation

Applicant: Wouter Hertzberger and Jessica E Halgren-Hertzberger (410 West Girard Avenue)

Application Summary: Request for vacation and conveyance of South half of the North and South alley in Block 19 of College Addition to the City of Indianola.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

137.01 POWER TO VACATE. When, in the judgment of the Council, it would be in the best interest of the City to vacate a street, alley, portion thereof or any public grounds, the Council may do so by ordinance in accordance with the provisions of this chapter.

137.02 PLANNING AND ZONING COMMISSION. Any proposal to vacate a street, alley, portion thereof or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission.

137.03 NOTICE OF VACATION HEARING. The Council shall cause to be published a notice of public hearing of the time at which the proposal to vacate shall be considered.

137.04 FINDINGS REQUIRED. No street, alley, portion thereof or any public grounds shall be vacated unless the Council finds that:

1. Public Use. The street, alley, portion thereof or any public ground proposed to be vacated is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified.
2. Abutting Property. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

137.05 DISPOSAL OF VACATED STREETS OR ALLEYS. When in the judgment of the Council it would be in the best interest of the City to dispose of a vacated street or alley, portion thereof or public ground, the Council may do so in accordance with the provisions of Section 364.7, Code of Iowa.

ANALYSIS

The proposed alley to be vacated is unimproved, is not needed for the use of the public, and its maintenance at the public's expense is no longer justified. There are no public utilities located in this easement. The property owners abutting this vacation have agreed to give the Hertzberger's the full portion of the alley requested to be vacated, if approved by Council.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the right-of-way vacation request be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the right-of-way vacation request, back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Planning and Zoning Commission move alternative 1, approving the right-of-way vacation request, as submitted.



COMMUNITY DEVELOPMENT

Agreement to Purchase Alley

JESSICA HALGREN / Wouter HERTZBERGER requests to purchase the alley legally described as:

The undersigned owns the property adjacent to the alley legally described above and agrees to purchase the alley.

Name: JESSICA HALGREN / Wouter HERTZBERGER

Address: 410 WEST GIRARD AVE, INDIANOLA, IA

Signature: [Signature]

Date: August 21, 2019

Signature: _____

Date: _____

Name: CARL HALGREN / MORGAN HALGREN

Address: 801 NORTH "C" STREET, INDIANOLA, IA 50125

Signature: [Signature]

Date: August 21, 2019

Signature: _____

Date: _____



COMMUNITY DEVELOPMENT

Agreement to Purchase Alley

JESSICA HALGREN / WOUTER HERTZBERGER requests to purchase the alley legally described as:

The undersigned owns the property adjacent to the alley legally described above and agrees to purchase the alley.

Name: JESSICA HALGREN / WOUTER HERTZBERGER

Address: 410 WEST GIRARD AVE, INDIANOLA, IA

Signature: [Signature]

Date: August 21, 2019

Signature: _____

Date: _____

Name: Pam Bachof

Address: 805 North C street, Indianola, IA

Signature: Pam Bachof

Date: 8-21-19

Signature: Karl Bachof

Date: 8-21-19

To:
Charlie E. Dissell, AICP
Director of Community & Economic Development
City of Indianola
110 North 1st Street
Indianola, Iowa 50125
O- (515) 962-5276
cdissell@indianolaiowa.gov

Copy:
Jessica Halgren and Wouter Hertzberger
410 W. Girard Ave
50125 Indianola, Iowa

Indianola, September 3, 2019

Dear Sir,

This letter is in relation to the request from:

Jessica Halgren and Wouter Hertzberger
410 West Girard Avenue, Indianola, Iowa 50125
Also known as: 24-76-24 COLLEGE ADD LOTS 6 & 7 BLK 19

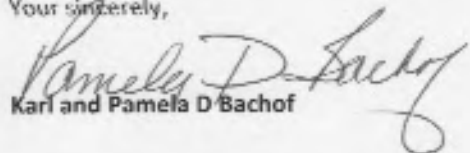
to purchase the alley abutting to our property.

This is to confirm that we:

Karl and Pamela D Bachof
805 North C street
Parcel ID: 48140190050
Also known as: 24-76-24 COLLEGE ADD LOT 5 BLK 19

1. Agree to the alley vacation;
2. Do not wish to deed the vacated alley deeded to us; and
3. Agree with the portion of the alley vacated to Jessica Halgren and Wouter Hertzberger

Yours sincerely,

 9-3-19
Karl and Pamela D Bachof

To:
Charlie E. Dissell, AICP
Director of Community & Economic Development
City of Indianola
110 North 1st Street
Indianola, Iowa 50125
+1 (515) 962-5276
cdissell@indianolaiowa.gov

September 2, 2019

Dear Charlie,

This letter is in relation to our request to purchase the alley abutting to our property as well as the properties of:

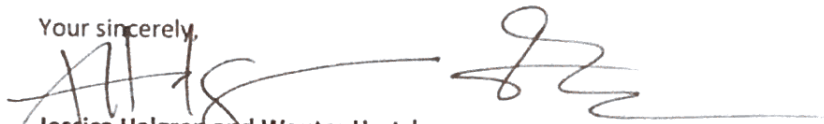
Carl and Morgan Halgren
801 North C street
Parcel ID: 48140190080
Also known as: 24-76-24 COLLEGE ADD LOT 8 BLK 19

and

Karl and Pamela D Bachof
805 North C street
Parcel ID: 48140190050
Also known as: 24-76-24 COLLEGE ADD LOT 5 BLK 19

We confirm that we accept to purchase the portions of the alley that are adjacent to our neighbors' property (as stated above) and that they do not wish to purchase.

Your sincerely,



Jessica Halgren and Wouter Hertzberger
410 W Girard Ave
Indianola IA 50125

To:

Charlie E. Dissell, AICP
Director of Community & Economic Development
City of Indianola
110 North 1st Street
Indianola, Iowa 50125
O- (515) 962-5276
cdissell@indianolaiowa.gov

Copy:

Jessica Halgren and Wouter Hertzberger
410 W. Girard Ave
50125 Indianola, Iowa

Indianola, September 3, 2019

Dear Sir,

This letter is in relation to the request from:

Jessica Halgren and Wouter Hertzberger
410 West Girard Avenue, Indianola, Iowa 50125
Also known as: 24-76-24 COLLEGE ADD LOTS 6 & 7 BLK 19

to purchase the alley abutting to our property.

This is to confirm that we:

Carl and Morgan Halgren
801 North C street
Parcel ID: 48140190080
Also known as: 24-76-24 COLLEGE ADD LOT 8 BLK 19

1. Agree to the alley vacation;
2. Do not wish to deed the vacated alley deeded to us; and
3. Agree with the portion of the alley vacated to Jessica Halgren and Wouter Hertzberger

Your sincerely,

Carl R. Halgren
Susan Morgan Halgren
Carl and Morgan Halgren

Sept. 3, 2019



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

Agenda Item:

7. E. i Consider request from Mark Lee of Lee Chamberlin Consultant Engineers, on behalf of Kading Properties LLC, for final plat approval of Cavitt Creek Plat I

7. E. ii Consider request from Mark Lee of Lee Chamberlin Consultant Engineers, on behalf of Kading Properties LLC, for final plat approval of Cavitt Creek Plat II

Application Type: Final Plat

Applicant: Mark Lee of Lee Chamberlin Consultant Engineers, on behalf of Kading Properties LLC

Zoning: R-3, Mixed Residential

Comprehensive Plan Designation: Mixed Residential

Application Summary: Request for final plat approval of two one-lot residential subdivisions. A note on each of the plats indicate these subdivisions will allow for development of duplexes and townhomes through a Horizontal Property Regime.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

170.06 FINAL PLATTING PROCEDURE.

1. A final plat shall be submitted within six (6) months of the approval of the preliminary plat, or such approval shall expire and the preliminary plat shall be resubmitted for approval prior to the preparation of a final plat.
2. Procedures for final plats shall be the same as set out for preliminary plats in Section 170.05 above.
3. Upon approval of the final plat, a certification of approval signed by the Mayor and attested by the Clerk shall be affixed to the original tracing of the final plat and copies of the same filed with the Clerk, County Auditor and County Recorder, along with such other certifications and instruments as may be required by law.
4. Final platting of townhome lots and as built surveys shall be completed and recorded prior to occupancy of the units.

170.10 FINAL PLAT REQUIREMENTS. The final plat shall meet the following specifications:

1. It may include all or only part of the preliminary plat.
2. The plat shall be drawn to the scale of fifty (50) feet to one (1) inch, provided that if the resulting drawing would be over thirty-six (36) inches in its shortest dimension, a scale of one hundred (100) feet to one (1) inch may be used. An electronic file is required to be filed prior to Planning and Zoning action with the Clerk.
3. The final plat shall contain the following:
 - A. Accurate boundary lines, with dimensions and angles, which provide a survey of the tract, closing with an error of not more than one (1) foot in three thousand (3,000) feet.
 - B. Accurate references to known or permanent monuments, giving the bearing and distance from some corner of a congressional division of the county of which the subdivision is a part.
 - C. Accurate locations of all existing and recorded streets intersecting the boundaries of the tract.
 - D. Accurate metes and bounds description of the boundary.

- E. Street names.
- F. Complete curve notes for all curves included in the plat.
- G. Street right-of-way lines with accurate dimensions in feet and hundredths of feet with angles to right-of-way lines and lot lines.
- H. Lot numbers and dimensions.
- I. Accurate locations and descriptions of easements for utilities and any limitations on such easements.
- J. Accurate dimensions for any property to be dedicated or reserved for public, semi-public or community use.
- K. Building lines and dimensions.
- L. The location, type, material and size of all monuments and markers.
- M. The name of the subdivision.
- N. The name and address of the owner and the subdivider.
- O. North point, scale and date.
- P. Certification by a registered land surveyor of the State of Iowa.
- Q. Certification of dedication of streets, easements and other public property.
- R. A resolution and certificate of approval by the Council for signatures of the Mayor and Clerk, stating that the plat, as described, has been acted upon and approved as required by Chapter 354, Code of Iowa, and that all dedications of streets easements and public lands have been accepted by the City.
- S. Location and dimensions of sidewalks to be installed prior to the occupancy of a developed lot.

170.13 DESIGN STANDARDS — LOTS.

1. All lots shall abut on a street or place. Corner lots which abut on a thoroughfare or collector street shall have a minimum radius of 25 feet at the intersection.
2. Sidelines of lots shall approximate right angles to straight street lines and radial angles to curbed street lines except where a variation will provide better lot layout.
3. Lots with double frontage shall be avoided, except in specific locations where good planning indicates their use. In that event a planting screen shall be provided along the rear of the lot.
4. Corner lots shall not be less than 80 feet in width and interior lots shall not be less than 70 feet in width at the building line.
5. Lot depth shall not exceed 2½ times the width.
6. No lot shall have less area than required by the Zoning Ordinance for the district in which it is located.

170.14 EASEMENTS.

1. Easement not less than 15 feet in width shall be provided along each side of the front yard lot lines of all lots, and in the case of corner lots, the side street yard, and along such other lot liens as may be required by public and private utility companies.
2. Easements of greater width may be required for trunk lines, pressure lines, open drainage courses or high voltage lines and shall be provided as determined by the utility or Council.
3. Utility easements shall convey to the City, its successors and assigns, the perpetual right within the areas shown on the plat and described in the easement, to construct, reconstruct, operate and maintain electric lines consisting of poles, wires, cables, conduits, fixtures, anchors and other similar equipment, including the right to trim or remove trees within such areas where necessary to secure a clearance of 4 feet from the wires or poles, together with the right to extend to any telephone, telegraph, electric or power company, the right to use separately or jointly with the City, the areas included in the easement for the purposes above enumerated.

ANALYSIS

The request is for final plat approval of two subdivisions plats. The proposed plats do not create any new lots, only renames each of the lots. Currently, the two lots are labeled as outlots. Outlots are land leftover after platting, which is intended to be used as open space or for a future subdivision. The proposed plats are intended to rename these as lots, and notes on both plats indicate that the subdivisions will allow for the development of duplexes and 6-plex dwellings through a horizontal property regime. Additionally, Cavitt Creek Plat two notes that a trail easement will be dedicated to the City upon recordation of the Plat. Existing public utility easements, sanitary sewer and storm sewer overland flowage easements on both lots are maintained through this platting process.

Letters were mailed to property owners within 200 feet of this property on August 30, 2019.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the final plat be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the final plat be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the final plat be denied.
- 4) The City of Indianola Planning and Zoning Commission remands final plat, back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Planning and Zoning Commission move alternative 1, recommending the final plat be approved.

CAVITT CREEK PLAT I
INDIANOLA, WARREN COUNTY, IOWA



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: _____ Date: _____

Name: (Printed or typed) MARK L. LEE

License Number 11582

My license renewal date is December 31, 2020.

Pages or sheets covered by this seal: 1

Preese, Robert L. Rev Tst/
Preese, Elizabeth H. Rev Tst
603 E Hillcrest Ave
Indianola IA 50125
Pt. N 1/2
SEC. 19-76-23

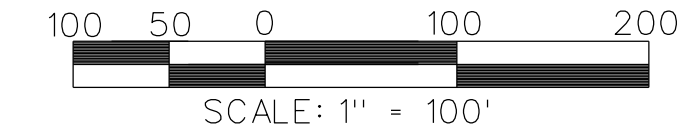
Preese, Robert L. Rev Tst/
Preese, Elizabeth H. Rev Tst
603 E Hillcrest Ave
Indianola IA 50125

Pt. S 1/2 NW 1/4
SEC. 19-76-23

OUTLOT "Z"
Johansen Enterprises LLC
2929 Westown Pkwy Ste 100
West Des Moines IA 50266-1319

FOX RUN
PLAT 1

FND 5/8" I.R.
W/YELLOW CAP *7844
S.W. COR. OUTLOT "Y"
N.W. COR. LOT 17



Pt. OUTLOT "X". REPLAT HILLCREST
INDUSTRIAL PARK PLAT 1

Goering Properties LLC
122 C76 Hwy
Lacona IA 50139

1548.38' M 1548.13' P S88°09'54"E

N.E. COR. OUTLOT "Y"
& LINCOLN RIDGE PLAT 6
S.E. COR. OUTLOT "X"
REPLAT HILLCREST INDUSTRIAL
PARK PLAT 1

LOT 1. REPLAT HILLCREST
INDUSTRIAL PARK PLAT 1

Pinnacle Agriculture Dist Inc
1880 Fall River Drive Suite 100
Loveland CO 80538

FND 5/8" I.R.
NE COR LOT 1

LOT 1
CAVITT CREEK PLAT II
AREA:15.358 ACRES

OUTLOT "Y"
LINCOLN RIDGE PLAT 6

LINCOLN RIDGE
PLAT 4

LEGAL DESCRIPTION: (INST. #2019-03771)

OUTLOT 'Y' in LINCOLN RIDGE PLAT 6 an Official
Plat, in the City of Indianola, Warren County, Iowa.

LINE	LENGTH	BRG	CURVE	ANGLE	RAD	LENGTH	TAN	CH	CH BRG
L1	15.00'	S74°10'48"E	C1	06°14'24"	490'	53.36'	26.71'	53.34'	S13°55'31"W
L2	60.18'	N90°00'00"W	C2	50°13'52"	43'	37.70'	20.16'	36.50'	S63°02'59"E
L3	73.395'	S89°47'54"W	C3	50°13'52"	28'	24.55'	13.13'	23.77'	N63°02'59"W
L4	16.62'	S00°28'19"E	C4	34°30'11"	27'	16.26'	8.38'	16.01'	N55°11'08"W
L5	40.02'	S88°09'54"E	C5	31°57'11"	490'	273.27'(M)	140.29'	269.74'(M)	S05°09'47"E
L6	15.14'	S88°09'54"E				273.89'(P)		270.34'(P)	
			C6	42°56'42"	585'	438.48'(M)	230.11'	428.28'(M)	N00°20'45"E
						438.48'(P)		428.28'(P)	
			C7	12°16'12"	1025'	219.51'(M)	110.17'	219.09'(M)	S15°41'00"W
						219.37'(P)		218.95'(P)	
			C8	36°43'52"	42'	26.92'	13.94'	26.47'	N56°17'59"W
			C12	06°16'43"	475'	52.05'	26.05'	52.03'	N13°56'41"E
			C13	31°57'11"	475'	264.90'	135.99'	261.48'	S05°09'47"E
			C14	42°56'42"	600'	449.72'	236.01'	439.27'	N00°20'45"E
			C15	12°09'17"	1010'	214.26'	107.54'	213.86'	S15°44'27"W

NOTES:

1.THE TRAIL EASEMENT WILL
BE DEDICATED TO THE CITY
WITH THE RECORDING OF THE PLATE

2. THIS SUBDIVISION WILL
ALLOW FOR THE DEVELOPMENT
OF BI-ATTACHED AND 6-PLEX
DWELLING UNITS THROUGH A
HORIZONTAL PROPERTY REGIME.

COUNTY: WARREN

CITY: INDIANOLA

SUBDIVISION: CAVITT CREEK CONDOMINIUMS II

LOTS: OUTLOT "Y"

PROPRIETOR(S): KADING PROPERTIES

REQUESTED BY: KADING PROPERTIES

LAND SURVEYOR: MARK L. LEE, PE, PLS

RETURN TO COMPANY:

LEE CHAMBERLIN

CONSULTANT ENGINEERS

CONTACT: MARK LEE

3117 115TH STREET

VAN METER, IOWA 50261

(515) 669-4188

PROPERTY DEVELOPER/OWNER:

KADING PROPERTIES

CONTACT: KARIE RAMSEY

7008 MADISON AVENUE

URBANDALE, IOWA 50322

(515) 276-9384

PROFESSIONAL ENGINEER:

LEE CHAMBERLIN CONSULTANT ENGINEERS

CONTACT: MARK LEE

3117 115TH STREET

VAN METER, IOWA 50261

(515) 669-4188

ZONING: R-3

SETBACKS:

25' FRONT YARD SETBACK LINE

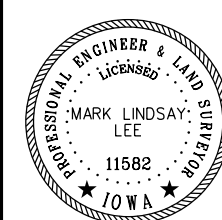
8' SIDE YARD SETBACK LINE

30' REAR YARD SETBACK LINE

25' SIGN SETBACK

PLAT LEGEND

- ▲ FOUND SECTION CORNER MONUMENT
- FOUND MONUMENT
- I FOUND RIGHT-OF-WAY RAIL
- ⊗ FOUND FENCE CORNER POST
- ◆ FOUND P.I., P.C., P.T., P.O.T.
- △ SECTION CORNER SET 3/8" IRON PIPE W/YELLOW CAP *11582
- SET 3/8" IRON ROD W/YELLOW CAP *11582
- ◇ SET STEEL NAIL W/WASHER *11582
- I.P. IRON PIPE
- I.R. IRON ROD (REROD)
- (M) MEASURED DIMENSION
- (P) PLATTED OR RECORDED DIMENSION
- P.O.B. POINT OF BEGINNING
- P.U.E. PUBLIC UTILITY EASEMENT
- SECTION LINE
- - - CENTERLINE
- - - EASEMENT LINE
- - - FENCE LINE
- - - PUBLIC UTILITY EASEMENT(P.U.E.)



I hereby certify that this engineering document was prepared by me or
under my direct personal supervision and that I am a duly licensed
Professional Land Surveyor under the laws of the State of Iowa.

Signature: _____ Date: _____

Name: (Printed or typed) _____ MARK L. LEE

License Number: 11582

My license renewal date is December 31, 2020.

Pages or sheets covered by this seal: _____ 1

DESIGN START DATE:
01-01-18
DATE PLOTTED:
04-11-18
PRELIMINARY FIELD
WORK COMPLETED:
04-09-18
FIELD BOOK NO.
1018-01

CAVITT CREEK PLAT II
INDIANOLA, WARREN COUNTY, IOWA



3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:

FINAL
PLAT

DRAWN BY:
JGP
CHECKED BY:
MLL
DATE:
08-03-18
JOB NO.
19017
SHEET
1



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

Staff Report

Planning and Zoning Commission

Date of Meeting: September 10, 2019

Agenda Items:

7. E. iii. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums I, a residential development on a lot exceeding one (1) acre, between 1404 and 1500 North 9th Street.

7. E. iv. Consider request from Kading Properties LLC for site plan approval of Cavitt Creek Condominiums II, a residential development on a lot exceeding one (1) acre, west of 1500 North 9th Street.

Application Type: Residential Development on a Lot Exceeding One (1) Acre

Applicant: Kading Properties LLC

Zoning: R-3, Mixed Residential

Comprehensive Plan Designation: Mixed Residential

Application Summary: Request for site plan approval of a residential development on a lot exceeding one (1) acre. Cavitt Creek Condominiums I proposes 12 two-family units, and Cavitt Creek Condominiums II proposes for 21 two-family units and 14 multi-family units (six-plexes). These add up to a total of 150 units.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

SPECIAL REQUIREMENTS FOR RESIDENTIAL DEVELOPMENT ON LOT EXCEEDING ONE (1) ACRE

1. All proposals for residential development shall be submitted to the Planning and Zoning Commission for review.
2. Notice of the proposed site plan for residential development shall be mailed to all property owners of record located within 200 feet of the proposed site for development 10 days prior to the next Planning and Zoning Commission meeting.
3. Planning and Zoning shall make a recommendation to Council for action.
4. The following applicants shall be excluded from the forgoing special requirements: single-family dwellings; mobile homes converted to real estate; parks, playgrounds, or play fields; and public library.

In accordance with Section 166.07.3 of the Code of Ordinances of Indianola, Iowa, the Planning and Zoning Commission and the Council, in approving or disapproving any site plan and in making recommendations for alterations or amendments to the site plan as presented, shall be governed by the general policies as set out by this chapter in Section 166.05 and the purpose of this chapter as set out in Section 166.01.

166.01 PURPOSE. It is the intent and purpose of this chapter to establish a procedure which will enable the City of Indianola to plan for and review certain proposed improvements of property within specified zoning districts of the City in order to accomplish the following:

1. Promote and permit flexibility that will encourage a more creative and imaginative approach in development and result in a more efficient, aesthetic, desirable and economic use of land;
2. Provide minimal effect upon adjacent properties and existing development. To this end, the Planning and Zoning Commission may make appropriate requirements;
3. Promote development that can be conveniently, efficiently and economically served by existing municipal utilities and services or by their logical extension;

4. Provide for the enhancement of the natural setting through careful and sensitive placement of manmade facilities and plant materials;
5. Encourage adequate provision for surface and subsurface drainage in order to assure that future development of other areas of the City will be available;
6. Provide suitable screening of parking, truck loading, refuse disposal, outdoor storage areas and noise from adjacent and nearby property.

166.05 GENERAL DESIGN POLICIES. In addition to the specific design standards as stated above, each site plan presented shall comply with the following general design policies, and the Director of Community Development may refuse to grant approval to a site plan even though it complies with the specific design standards if, in the opinion of the Director of Community Development, it does not comply with the general design policies as hereinafter enumerated. Any site plan presented shall be designed in such a way as to insure the orderly and harmonious development of property in such a manner as will safeguard the public's health, safety and general welfare, as hereinafter set out.

1. The design of the proposed improvements shall make adequate provisions for surface and subsurface drainage, for connections to water and sanitary sewer lines, each so designed as to neither overload existing public utility lines for what they were designed nor increase the danger of erosion, flooding, landslide or other endangerment of adjoining or surrounding property.
2. The proposed improvements shall be designed and located within the property in such manner as not to unduly diminish or impair the use and enjoyment of adjoining property, and to this end shall minimize the adverse effects on such adjoining property from automobile headlights, illuminations of required perimeter yards, refuse containers and impairment of natural light and impairment or pollution of air. For the purpose of this section, the term "use and enjoyment of adjoining property" means the use and enjoyment presently being made of such adjoining property, unless such property is vacant. If vacant, the term "use and enjoyment of adjoining property" means those uses permitted under the zoning districts in which such adjoining property is located.
3. The proposed development shall have such entrances and exits upon adjacent streets and such internal traffic circulation pattern as will not unduly increase congestion on adjacent or surrounding public streets.
4. To such end as may be necessary and proper to accomplish the standards in subsections 1, 2 and 3 of this section, the proposed development shall provide fences, walls, screening, landscaping, erosion control or other improvements.
5. The proposed development shall conform to all applicable provisions of the laws of the State of Iowa, and all applicable provisions of this Code of Ordinances.

ANALYSIS

As noted above, when the Commission and Council are reviewing a site plan, it shall be governed by the general policies as set out in Section 166.05 and the purpose of the site planning chapter as set out in Section 166.01. It shall be noted that a full review of these site plans was by the City's development review team as to conformance with Chapter 166. A review of the stormwater management plan was also done through professional assistance from Snyder and Associates, who is the City's Engineer. A total of four (4) submittals/resubmittals were completed on these site plans which were first submitted to staff at the end of May. As of the last submission of site plans on August 23, the site plan conformed to all comments from the development review team. However, the applicant did submit revised site plans on August 28 with a few minor changes, none of which changed the plans compliance to comments from the development review team. As such, the site plan is being forwarded to the Planning Commission for a recommendation to the City Council.

Within forty-five (45) days after receiving the completed application for site plan review as required by Section 166.02 of this chapter, plus the supplement thereto as required by Section 166.03, the Planning and Zoning Commission shall recommend to the Council to either approve, approve subject to conditions, or disapprove the site plan. Failure by the Commission to act within the time specified herein shall be deemed recommendation for approval of the site plan as submitted. The forty-five (45) day window for the Commission to make a recommendation to the Council expires on October 12, or 45 days after August 28.

As the Commission and Council review the site to the general policies as set out in Section 166.05 and the purpose of this chapter as set out in Section 166.01, staff provides the following information:

1. The R-3 Zoning District allows for single-family, two-family and multi-family dwellings. Cavitt Creek Condominiums I proposes for 12 two-family units, and Cavitt Creek Condominiums II proposes for 21 two-family units and 14 multi-family units (six-plexes). These add up to a total of 150 units.
2. Cavitt Creek Condominiums I includes 2.5 acres of land and proposes 24 units for a density of 9.6 units per acre.
3. Cavitt Creek Condominiums II includes 15.36 acres of land and proposes 126 units for a density of 8.2 units per acre.
4. For comparison, Lincoln Ridge I includes 7.2 acres of land and 58 units for a density of 8.1 units per acre and Lincoln Ridge II includes 7.65 acres of land and 79 units for a density of 10.3 units per acre
5. The Comprehensive Plan calls for Mixed Residential in this area. Mixed Residential intends to incorporate a mix of low, medium and high-density residential uses and encourages open spaces and trails. In the Comprehensive Plan, Mixed Residential calls for 4-16 dwelling units per acre.
6. The two site plans include a buffer yard more than twenty (20) feet in width with five (5) overstory trees, ten (10) understory trees and ten (10) shrubs per one hundred (100) lineal feet, as required by code. This includes a buffer of 13 overstory trees, 20 understory trees, and 19 shrubs for Cavitt Creek Condominiums I, and 53 overstory trees, 106 understory trees, and 106 shrubs for Cavitt Creek Condominiums II.
7. The two site plans have been reviewed by the city's development review team, which includes all City utility Superintendents. The Superintendents have noted that the infrastructure in place is able to service both proposed developments.
8. The two site plans include enough trees and shrubs to meet the City's residential energy code of 4 trees and 6 shrubs per unit.
9. The City of Indianola 2008 Trails Master Plan calls for a trail on the north side of Cavitt Creek Condominiums II and continuing east on the north side of the existing Lincoln Ridge II development, connecting with the Summerset Trail. The site plan for Cavitt Creek Condominiums II shows a proposed 10' trail in this location, and Kading has committed to installing a 10' trail on the north side of Lincoln Ridge II, making a connection with the Summerset Trail.
10. As mentioned above, Snyder and Associates has reviewed the proposed stormwater management plan for both sites, and after revisions by the applicant, has approved the plan.
11. Letters were mailed to property owners within 200 feet of these properties on August 30, 2019.

ALTERNATIVES

The City of Indianola Planning and Zoning Commission may consider the following alternatives:

- 1) The City of Indianola Planning and Zoning Commission recommends the site plan be approved, as submitted.
- 2) The City of Indianola Planning and Zoning Commission recommends the site plan be approved, with conditions.
- 3) The City of Indianola Planning and Zoning Commission recommends the site plan be denied.
- 4) The City of Indianola Planning and Zoning Commission remands the site plan back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Planning and Zoning agenda.

RECOMMENDATION

As noted within this report, the City's development review team and Snyder and Associates have reviewed these two site plans against applicable City Code requirements and after various revisions by the applicant, the comments made have all been addresses and satisfied by the applicant. Its is for these reasons that staff recommends alternative 1, approving the site plans as submitted.



Kading Property Management, LLC

7008 Madison Ave.
Urbandale, IA 50322
Office 515-276-9384
Fax 515-276-0181

August 9, 2019

City of Indianola
Planning and Zoning Commission
Mayor and City Council

RE: Cavitt Creek Condominiums I & II

Dear Mayor and City Officials:

We propose two developments, Cavitt Creek Condominiums I and II, within the City of Indianola for the enjoyment of its residents. A previous project, Lincoln Ridge Estates Condominiums II, was developed in 2010 by Kading Properties and at that time we constructed North Ninth Street to make the very valuable north-south connection. Both proposed developments will access the North Ninth Street connection we constructed nearly 10 years ago.

We propose to add similar living units to those previously built and construct two different types of residential units, which adds to the variety of living spaces and lease cost levels. We anticipate a much different imaginative visual look to the development making it much more pleasing. The proposed development is a creative way to transition from the industrial development on the north to the single-family residential development on the south. A proposed east west trail system will enhance the connectivity within the community and the onsite basketball court and leisure area will create community within.

The proposed development is strategically placed with all available municipal services available lending to its convenience, efficient and economies. The existing natural green western detention will be preserved as well as the adding to the green southern buffer of 60 feet an expansion of over 320 trees and shrubs. Additional parking besides the minimum of three spaces per unit will encourage off street parking allowing North Ninth Street to function as a collector street as it was intended. All drainage systems have been designed to minimize the impact to adjacent properties by exceeding the City of Indianola's design standards.

The proposed development creates a community within itself as attests the over 5-year average occupancy rate. The residents have become part of the working community in the school

system, the medical clinics and other government offices to name a few. The residential dwelling units provide a much-needed place for the working lowan to live. The residents are proud to call Kading Properties living, HOME.

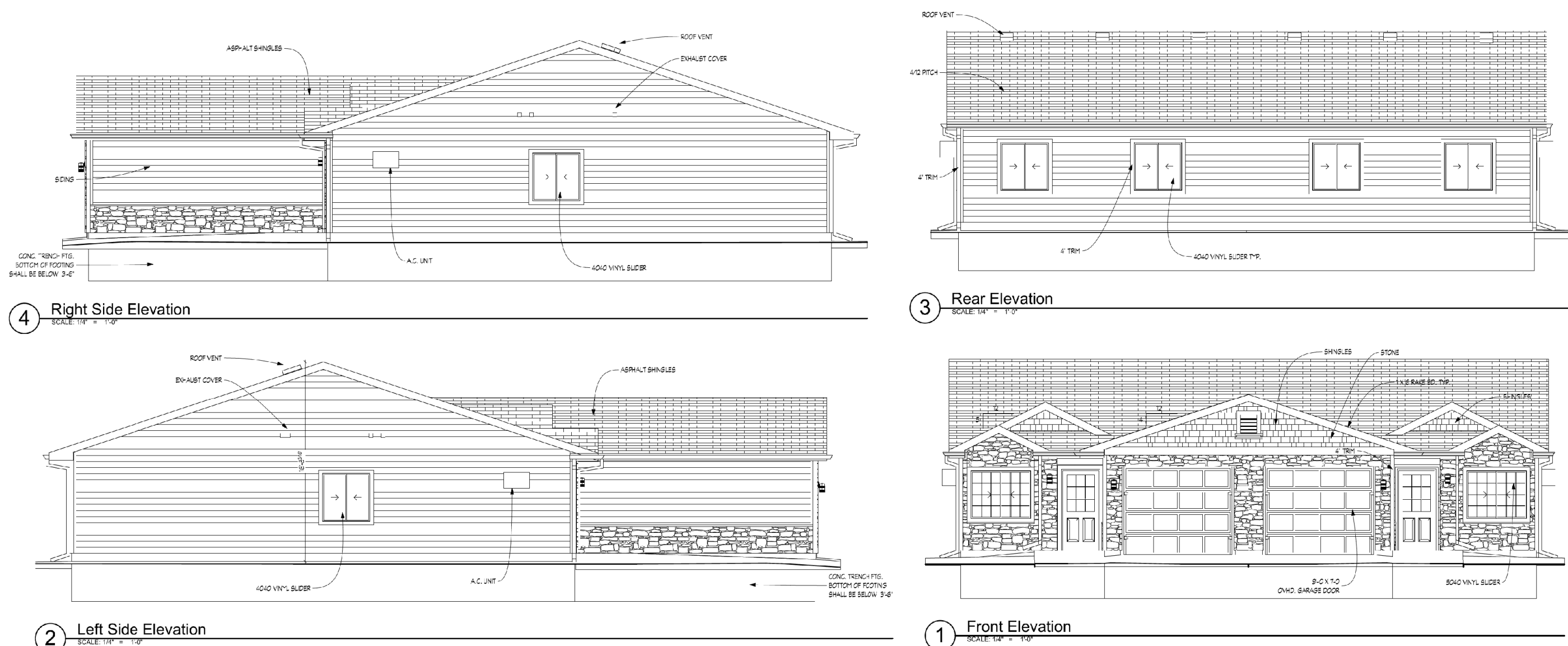
Thank you for your careful consideration of our community project in the City of Indianola. Please reach out to me with any of your thoughts or concerns.

Sincerely,

A handwritten signature in black ink that reads "Karie Kading Ramsey". The signature is fluid and cursive, with a long, sweeping horizontal line extending from the end of the name.

Karie Kading Ramsey
7008 Madison Ave
Urbandale IA 50322

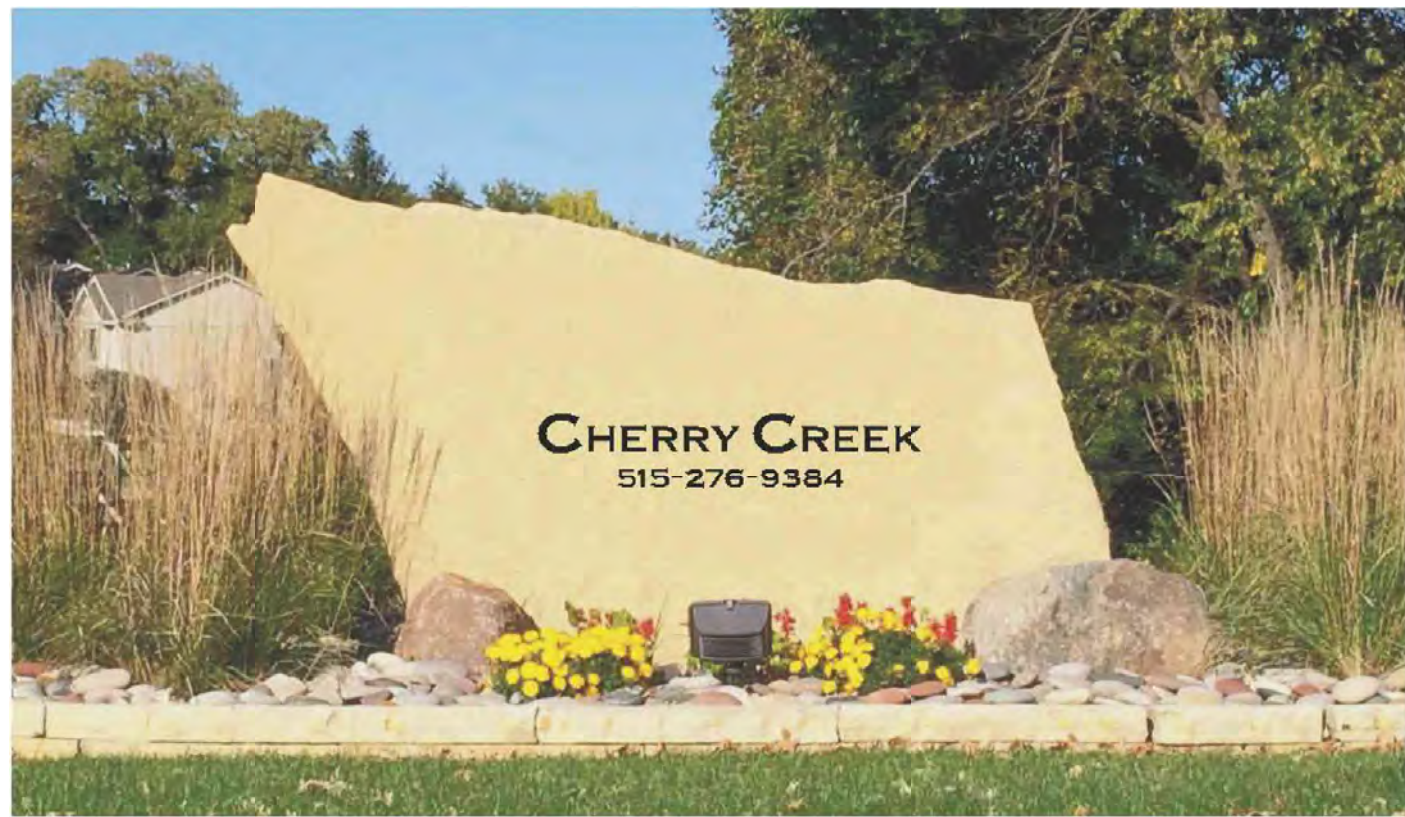
VILLA
ELEVATIONS



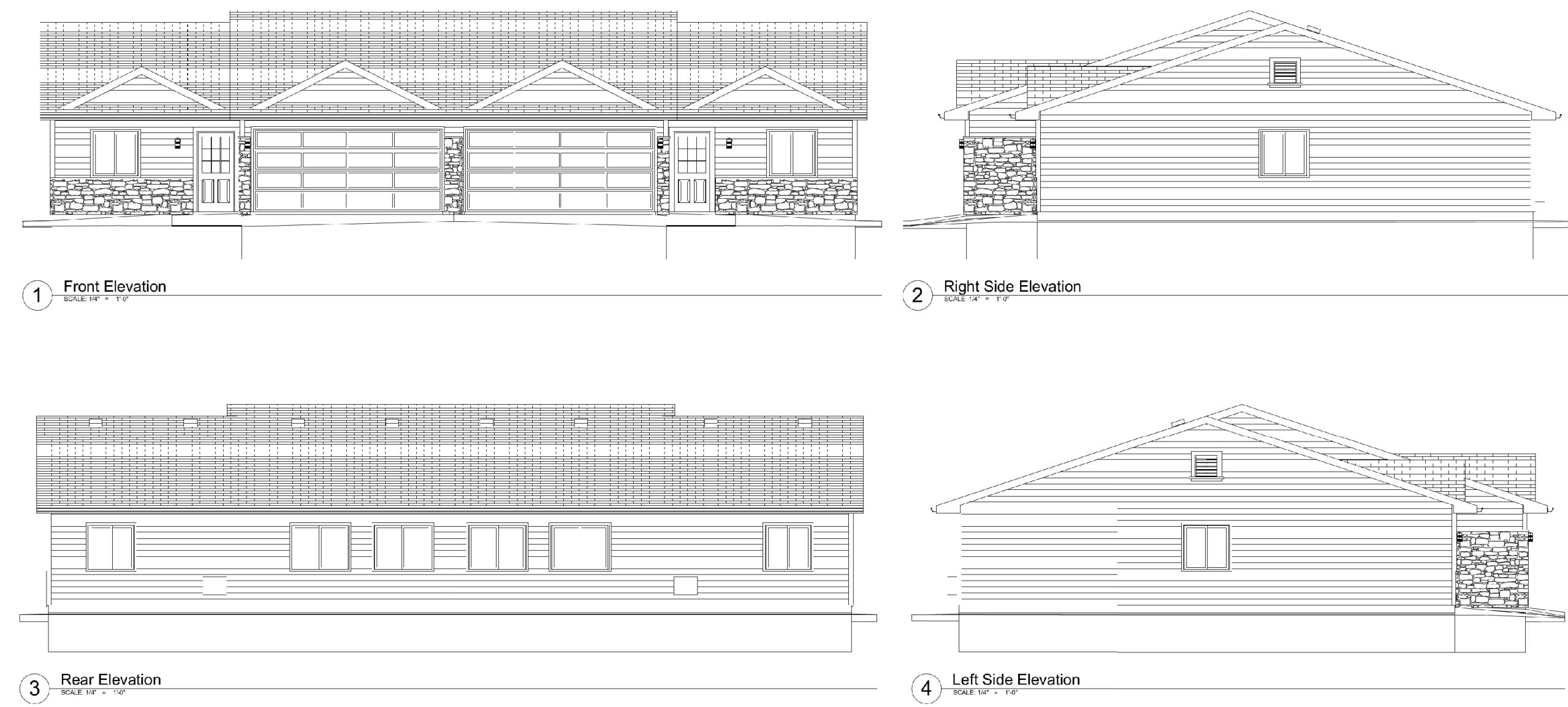
3D



SIGN



BRADFORD
ELEVATIONS



3D



STYLE I



STYLE I2



STYLE I4

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS I&II
BUILDING ELEVATION VIEWS
INDIANNOA IOWA, WARREN COUNTY, IOWA

CHAMBERLIN
CONSULTANT ENGINEERS

3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:
CONCEPTUAL
BUILDINGS
EXTERIOR
DESIGN
AND 3D

DRAWN BY:	JCP
CHECKED BY:	MLL
DATE:	05-23-19
JOB NO.	19017
SHEET	C-7

GENERAL NOTES:

- ALL CONTRACTORS SHALL HAVE ALL PUBLIC AND PRIVATE UTILITIES FIELD LOCATED PRIOR TO BEGINNING ANY CONSTRUCTION WORK THROUGH IOWA ONE-CALL (1-800-292-8989) 48 HOURS PRIOR TO CONSTRUCTION. CONFIRM LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. OWNER AND ENGINEER DO NOT GUARANTEE CORRECTNESS OF ALIGNMENTS SHOWN.
- ALL ELEVATIONS ARE ON NAVD 88 DATUM.
- ALL QUANTITIES ARE FOR CONTRACTOR CONVENIENCE. WHERE CONFLICTS OCCUR, DRAWINGS SHALL PREVAIL.
- ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO PROPERTY LINES UNLESS NOTED. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.
- ALL SITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT SUDAS SPECIFICATIONS, INCLUDING THE MOST RECENT AMMENDMENTS.
- P.C.C. PAVEMENT SHALL BE A 7" CLASS "C" CONCRETE MIX WITH CLASS 2 OR CLASS 3 DURABILITY COARSE AGGREGATE AS SPECIFIED IN THE MOST CURRENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION FROM THE IOWA DEPARTMENT OF TRANSPORTATION.
- ANY DISCREPRANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- USE COMPACTED BACKFILL FOR ALL TRENCHES. USE ¾" CRUSHED LIMESTONE FOR BEDDING AND BACKFILL IN THE PAVEMENT AREAS AND FOR BEDDING AND BACKFILL TO SPRING LINE OF PIPE IN UNPAVED AREAS.
- THE COMMUNITY DEVELOPMENT DEPARTMENT OF INDIANOLA, IOWA AND LEE CHAMBERLIN CONSULTANT ENGINEERS MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- ALL SITE CONSTRUCTION WORK SHALL BE INSPECTED BY THE CITY OF INDIANOLA OR THEIR REPRESENTATIVE. THE SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY LEE CHAMBERLIN CONSULTANT ENGINEERS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY WITH LEE CHAMBERLIN CONSULTANT ENGINEERS THAT THE CONSTRUCTION PLANS BEING USED ARE THE APPROVED PLANS AND REFLECT ANY AND ALL REVISIONS.
- ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR, INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, OR FOUNDATION STUDIES, SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
- ON SITE DISPOSAL OF TREES OR BRUSH SHALL NOT BE ALLOWED.
- ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTION 2601 OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. IF CONSTRUCTION CANNOT BE COMPLETED BEFORE THE END OF THE NORMAL SEEDING PERIOD, TEMPORARY SEEDING WILL BE REQUIRED IN THE INTERIM.
- CONTRACTOR SHALL SUPPLY ADEQUATE SIGNING ON ALL STREET CLOSURES TO PREVENT UNNECESSARY DISRUPTION OF TRAFFIC. ALL TRAFFIC CONTROL SIGNING FOR STREET CLOSURES SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SOIL BORINGS OBTAINED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SANITARY SEWER SERVICE LINES SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D 3034 & SDR 23.5. CLASS II BEDDING SHALL BE USED PER STANDARD SPECIFICATIONS. ALL SERVICE CONNECTIONS MUST BE MANUFACTURED, GASKETED WYES, TEES AND SOLVENT WELD WYES AND BENDS ARE NOT PERMITTED. SANITARY SEWER SHALL BE TELEVIEWED BY THE OWNER.
- WATER SERVICES SHALL BE ¾" DIA. COPPER SCHEDULE "K" W ¾" METER. STOP BOX AND ADAPTER SHALL MEET CITY OF INDIANOLA STANDARDS. ALL FIRE HYDRANTS SHALL BE PAINTED RED.
- ALL PROPOSED STORM SEWERS MUST BE A MINIMUM OF 2000D. THE OUTMOST FOUR SECTIONS, INCLUDING THE FLARED END SECTION OF ALL STORM SEWER MUST BE TIED AS PER IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN RF-14, TYPE 3 CONNECTIONS.
- ALL PIPE CULVERT AND STORM SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CLASS "B" BEDDING.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED AS A PART OF THIS PROJECT.
- THE POST DEVELOPMENT RUN-OFF WILL NOT ADVERSELY AFFECT THE DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS DO NOT INCLUDE THE FLARED END SECTION'S LENGTH. FLOWLINE ELEVATIONS ARE GIVEN FOR BOTH THE END OF PIPE AND THE FLARED END SECTION OPENING.
- ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
- ALL SITE LIGHTING SHALL BE HIGH PRESSURE SODIUM CUT-OFF LUMINAIRES SURFACE MOUNTED TO BUILDINGS.
- ALL NEW WATER MAIN INSTALLED IS FOR DOMESTIC AND FIRE PROTECTION USE OF THE COMPLEX AND IS CONSIDERED PUBLIC. FUTURE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIANOLA MUNICIPAL UTILITIES. ALL NEW WATERMAIN SHALL BE C900.
- CONTRACTOR TO SUBMIT INSURANCE CERTIFICATES TO MEET SUDAS STANDARDS
- PRESSURE AND VACUUM TESTING OF MANHOLE TO BE MONITORED BY INDIANOLA WATER POLLUTION CONTROL DEPARTMENT.
- PUBLIC SIDEWALKS SHALL BE 4' WIDE AND 4" THICK PER SUDAS.
- REFUSE WILL BE COLLECTED BY INDIVIDUAL CONTAINERS STORED IN EACH UNITS GARAGE.

GRADING AND UTILITY NOTES:

- ALL FILL AREAS SHALL BE COMPACTED TO THE FOLLOWING PROCTOR DENSITIES:
 - 95% WITHIN STREET RIGHTS-OF-WAYS, DRIVE & PARKING AREAS
 - 95% WITHIN BUILDING PAD AREAS
 - 85% WITHIN LAWN AREAS AND OPEN SPACE
- ALL LAND FORMS, SWALES, ETC. SHALL BE GRADED TO A SMOOTH GROUND SURFACE PROVIDING A MINIMUM SLOPE OF 1.0% EXCEPT AS NOTED.
- A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED UNDER STREETS.
- ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
- ALL OTHER SANITARY SEWER IMPROVEMENTS ARE CONSIDERED PRIVATE, THEREFORE MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
- ALL EXTERIOR LIGHTING OF THE DEVELOPED AREA IS THE RESPONSIBILITY OF THE OWNER.

PLANS FOR CAVITT CREEK CONDOMINIUMS I SITE IMPROVEMENTS INDIANOLA, WARREN COUNTY, IOWA PROJECT NO. 19017

INDEX OF PAGES

PAGE NO.	DESCRIPTION
C01.	TITLE PAGE, QUANTITIES, & GENERAL NOTES
C02.	SITE PLAN LAYOUT
C03.	GRADING PLAN
C04.	LANDSCAPE PLAN
C05.	EROSION PLAN
C06.	DETAIL

EROSION CONTROL NOTES:

- TEMPORARY EROSION CONTROL MEASURES WILL BE REQUIRED OF THE CONTRACTOR IN ACCORDANCE WITH SECTION 2525 - TEMPORARY WATER POLLUTION CONTROL (SOIL EROSION), IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE DEVELOPER OR DEVELOPER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED ONTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- GRADING CONTRACTOR SHALL PLACE AND MAINTAIN SILT FENCE AS INDICATED ON THE PLAN OR WHERE EROSION DEVELOPS AT THE DIRECTION OF THE CITY OR ENGINEER UNTIL VEGETATION IS ESTABLISHED.
- ALL DISTURBED AREAS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER TOPSOIL HAS BEEN REDISTRIBUTED OVER ALL UNPAVED AREAS.
- COMPLY WITH THE "STATE EROSION CONTROL LAWS."

LEGAL DESCRIPTION:

FINAL PLAT CAVITT CREEK PLAT 1 LOT 1 an Official Plat, now included in and forming a part of the City of Indianola, Warren County, Iowa.

ZONING: R-3

SETBACKS:

25' FRONT YARD SETBACK LINE
8' SIDE YARD SETBACK LINE
30' REAR YARD SETBACK LINE

BUILDING:

AREA - 2496 S.F.
SINGLE STORY - CONDOMINIUMS
WOODFRAME CONSTRUCTION-SLAB ON GRADE

PARKING REQUIREMENTS:

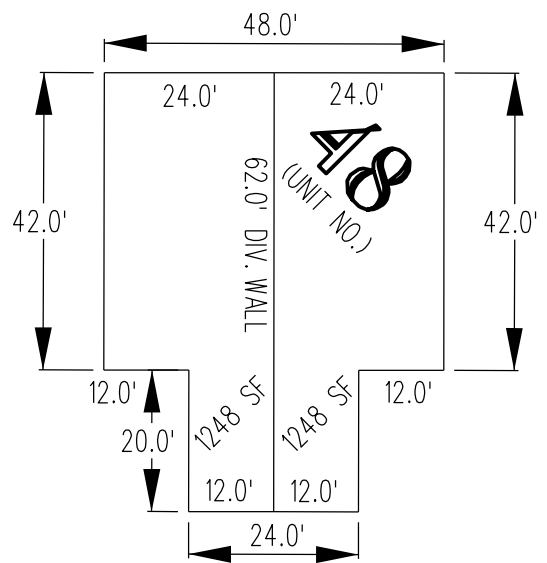
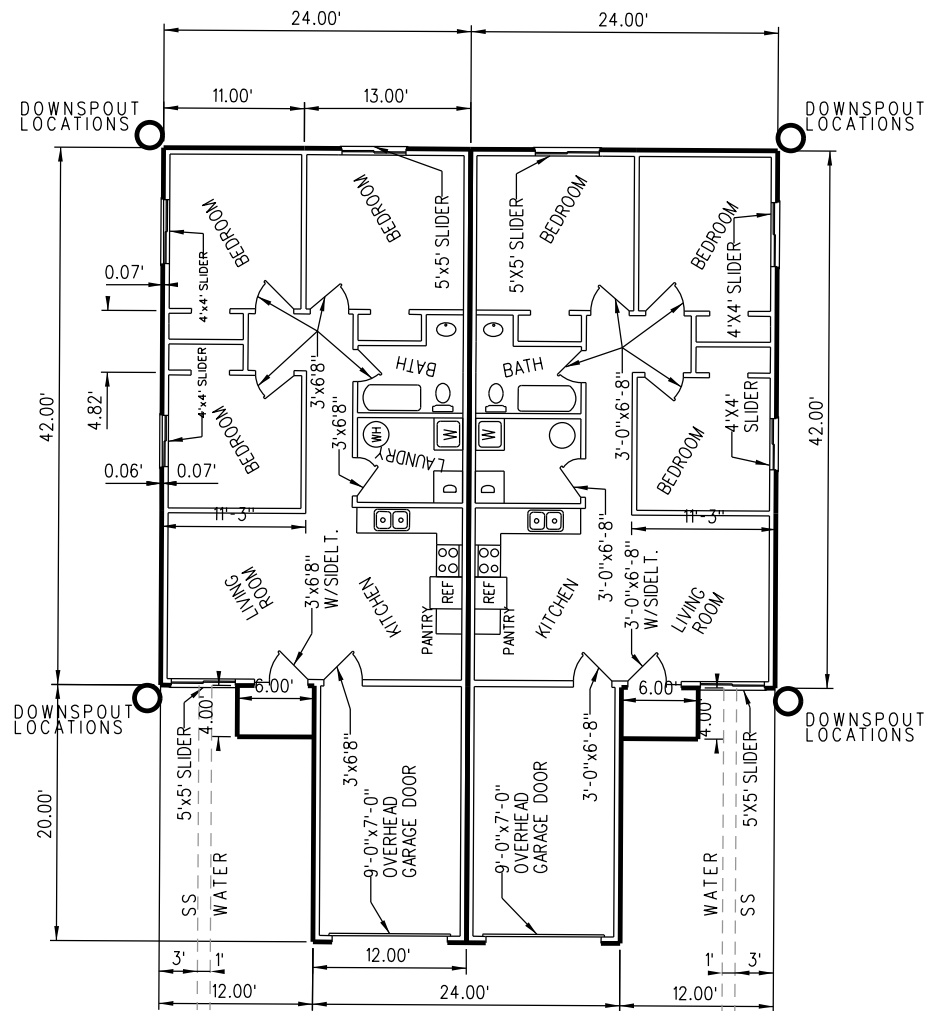
2 STALLS PER UNIT - 48 STALLS

PARKING PROVIDED:

72 - 9'x20' REGULAR STALLS(INCLUDES 24 GARAGE STALLS)
9 - 9'x20' ADDITIONAL STALLS

TOTAL AREA +108,732 S.F. (100%)
OPEN SPACE + 60,470 S.F. (55.6%)
REQUIRED OPEN SPACE + 10%
HARD SURFACE AREA +48,262 S.F. (44.4%)

BUILDING LAYOUT - VILLA



BUILDING DIMENSIONS
(TYPICAL)

PROPERTY DEVELOPER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
URBANDALE, IOWA 50322
(515) 276-9384

PROPERTY OWNER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
URBANDALE, IOWA 50322
(515) 276-9384

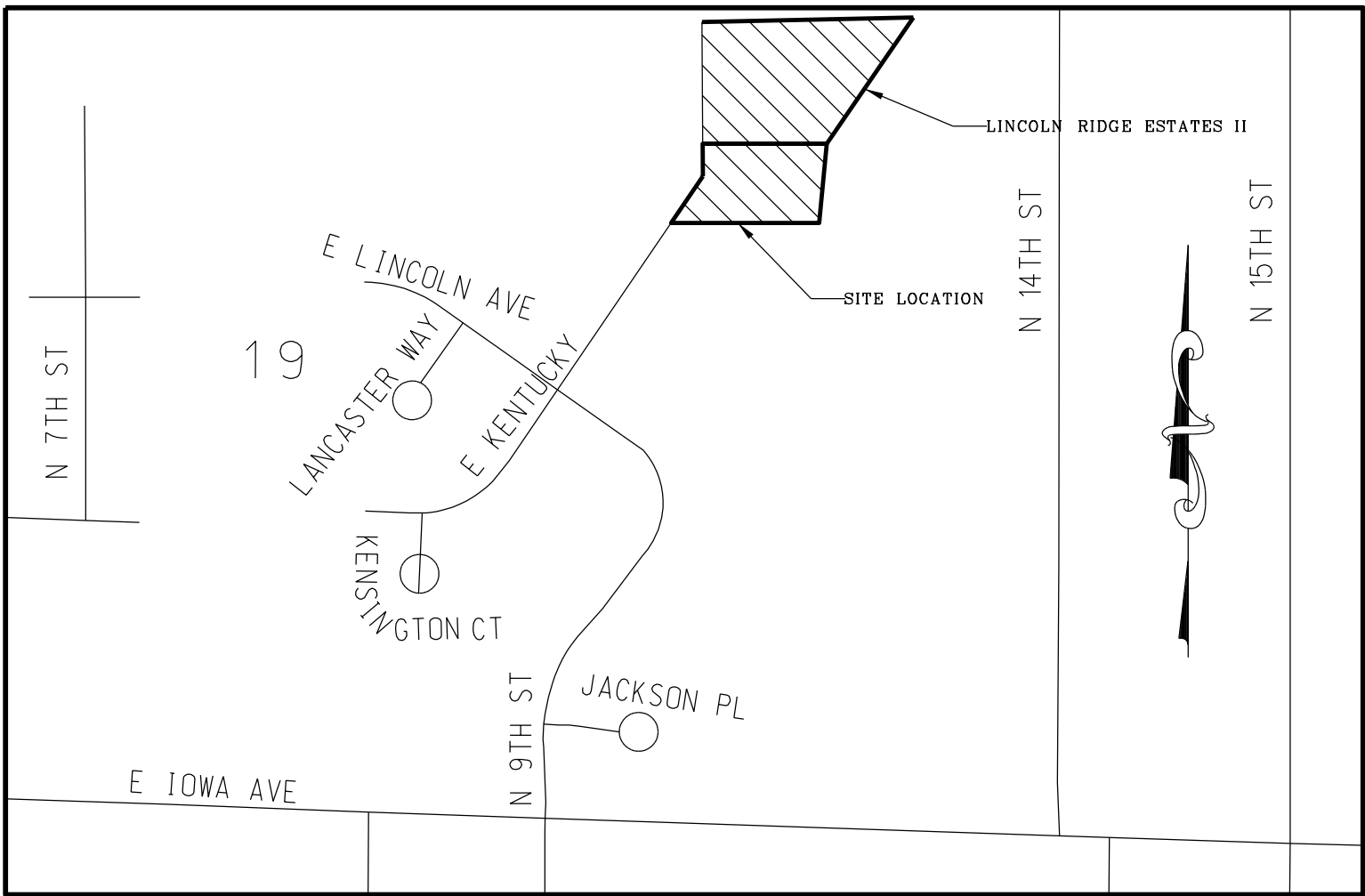
PROFESSIONAL ENGINEER:
LEE CHAMBERLIN CONSULTANT ENGINEERS
CONTACT: MARK LEE
3117 115TH STREET
VAN METER, IOWA 50261
(515) 669-4188



CONTRACTOR TO USE UTILITY
ONE CALL SYSTEM 48 HOURS BEFORE ANY EXCAVATION
1-800-292-8989

LEGEND

▲ SECTION CORNER FOUND	○ DEODIOUS TREE (EXISTING)
△ SECTION CORNER SET	● DEODIOUS TREE (REQUIRED)
● PROPERTY PIN FOUND	○ CONFERVUS TREE (EXISTING)
○ PROPERTY PIN SET	★ CONFERVUS TREE (REQUIRED)
△ GPS MONUMENT	○ SHRUB (EXISTING)
⊕ BENCHMARK	● SHRUB (REQUIRED)
⊕ MONUMENT	○ TREE REMOVAL REQUIRED
⊕ SOIL BORING	○ STUMP
○ TEST WELL	PROPOSED PAVEMENT ELEVATION
○ MONITORING WELL	GRADE FLOW ARROW
○ SANITARY SEWER MANHOLE	PIPE FLOW ARROW
○ SANITARY CLEANOUT	EXISTING CONTOURS
○ SEPTIC TANK	PROPOSED CONTOURS
○ CISTERN	PROPERTY LINE
○ LIFT STATION	CENTERLINE OF ROADWAY
○ STORM SEWER MANHOLE	RIGHT-OF-WAY
○ CURB INTAKE	FENCE LINE
○ BEEHIVE INTAKE	CONSTRUCTION LIMITS
○ CATCH BASIN	SS SANITARY SEWER LINE
○ FLARED END SECTION	ST STORM SEWER LINE
○ CULVERT	CP STORM CULVERT PIPE
○ WATER MANHOLE	RCP REINFORCED CONCRETE PIPE
○ FIRE HYDRANT	DI DUCTILE IRON PIPE
○ YARD HYDRANT	W WATER LINE
○ WATER VALVE	OP OVERHEAD ELECTRIC LINE
○ POST INDICATOR VALVE	E UNDERGROUND ELECTRIC LINE
○ VALVE PIT	T UNDERGROUND TELEPHONE LINE
○ WATER METER	FO FIBER OPTICS LINE
○ PUMP	HG HIGH PRESSURE GAS LINE
○ METER STATION	G LOW PRESSURE GAS LINE
○ PUMP STATION	○ STEEL LUMINAIRE
○ WATER TANK	□ WOOD LUMINAIRE
○ WELL	○ SIGN
○ ELECTRIC MANHOLE	○ MAILBOX
○ ELECTRIC BOX	○ BIN
○ TRANSFORMER PAD	○ PROPANE TANK
○ GUY	
○ FIBER OPTICS MANHOLE	
○ TELEPHONE MANHOLE	
○ TELEPHONE PEDESTAL	
○ TELEPHONE BOOTH	
○ UNKNOWN MANHOLE	
○ UTILITY POLE	

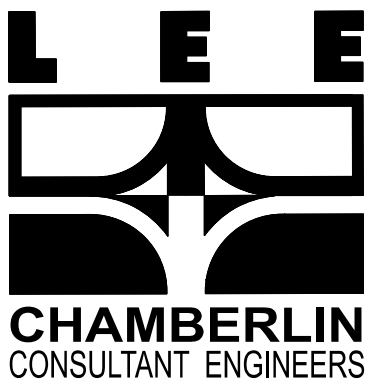


VICINITY SKETCH

SCALE: 1"=400'

DESIGN START DATE: 01-01-18
DATE PLOTTED: 04-11-18
PRELIMINARY FIELD WORK COMPLETED: 04-09-18
FIELD BOOK NO. 1018-01

CAVITT CREEK CONDOMINIUMS I
INDIANOLA, WARREN COUNTY, IOWA



3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mllee@leechamberlinengineers.com

DRAWING TITLE:

TITLE

DRAWN BY:

JGP

CHECKED BY:

MLL

DATE:

08-23-19

JOB NO.

19017

SHEET

C01

SANITARY NOTES

- ONE WEEK PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
a. CITY OF INDIANOLA
b. ALL UTILITY COMPANIES
c. Developer
d. Engineer
- ALL MATERIALS AND CONSTRUCTION ARE TO BE IN STRICT COMPLIANCE WITH THE INDIANOLA SPECIFICATIONS FOR SUBDIVISIONS INCLUDING THE LATEST REVISIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES AND WHETHER ADDITIONAL UTILITIES OR STRUCTURES EXIST AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES; ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL EITHER RECONNECT OR CONNECT TO STORM SEWER, ANY FIELD TILE INTERCEPTED DURING CONSTRUCTION; THE CONTRACTOR SHALL PROMPTLY NOTIFY THE CITY OF INDIANOLA WHEN FIELD TILE IS ENCOUNTERED.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING "AS-BUILT" INFORMATION FOR ALL NEW CONSTRUCTION. RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT UP TO DATE AS THE WORK PROGRESSES. THE ORIGINAL RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- ALL FILL AREAS, TRENCH BACKFILL AND PAVING SUBGRADE ARE TO BE COMPACTED TO A MINUM OF 95% STANDARD PROCTOR WITH A MOISTURE CONTENT BETWEEN OPTIMUM AND +4%.
- ALL DEBRIS SPILLED ON PUBLIC STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY ESTIMATE AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- ALL SANITARY SERVICES AND STUB OUTS FROM MANHOLES SHALL BE CAPPED
- ALL SANITARY SEWER MANHOLES SHALL HAVE TYPE "A" CASTINGS UNLESS OTHERWISE SPECIFIED
- PROVIDE SANITARY SEWER SERVICE RISER AS REQUIRED BY THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL MARK SANITARY SEWER MANHOLES AND SANITARY SEWER SERVICES WITH STEEL FENCE POSTS. TOP ONE FOOT OF POSTS MARKING SERVICES IS TO BE PAINTED GREEN. POSTS MARKING SANITARY MANHOLES ARE TO BE PAINTED GREEN FROM TOP OF POST TO GRADE.
- SANITARY MANHOLES ARE TO BE FURNISHED WITHOUT STEPS.
- SANITARY MANHOLE TYPE "A" CASTINGS ARE TO BE BOLTED TO THE TOP OF THE MANHOLE USING A MINIMUM OF TWO (2) 1/2" STEEL ANCHOR RODS.
- CRETEX PRO-RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO GRADE. NO MORE THAN 12" OF RINGS TO BE USED.
- ALL SANITARY SEWERS SHALL BE CLEANED AND TELEVIEWED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- ALL SANITARY SEWERS SHALL BE MANDREL TESTED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- ALL SANITARY SEWER MANHOLES SHALL BE AIR TESTED AT CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- A CITY REPRESENTATIVE SHALL BE ONSITE WHEN MANDREL AND AIR TESTING IS PERFORMED.
- CONTRACTOR SHALL MAINTAIN 1% SLOPES ON ALL SANITARY SERVICES TO PROVIDE MAXIMUM DEPTH AT SERVICE END.
- ALL MANHOLES SHALL CONTAIN A CONCRETE ADMIXTURE CONIMIC) SHIELD ANTI-BACTERIAL ADMIXTURE AS MANUFACTURED BY CONSHIELD TECHNOLOGIES, INC., OR APPROVED EQUAL.
- TRACER WIRE SHALL BE INSTALLED FOR ALL SANITARY SEWER FORCE MAINS.

STORM SEWER TABULATIONS												
FES	FL	DIAMETER	INTAKE	TYPE	RIM	INV						
FES#1	952.61	18"	INT_A1	SW-511 MOD.	954.80	951.65						
FES#2	951.25	18"										
FES#3	950.00	12" 18" ORFE										
STORM MANHOLE	PIPES	FROM	TO	LENGTH	DIA	SLOPE						
EXISTING STMH	P1	STMH#1	FES#3	52.00	12	1.53						
EXISTING STMH	P-A1	FES#2	INT_A1	40.00	18	1.00						
INV#949.20	P-A2	INT_A1	FES#1	97.15	18	1.00						

SANITARY SEWER TABULATIONS						
SANITARY SEWER MANHOLES	PIPES	FROM	TO	LENGTH	DIA.	SLOPE(%)
EXISTING SSMH	PSS-1	EXISTING SSMH#1	SSMH#1	35.84	8	1.98
	PSS-2	SSMH#2	SSMH#1	166.50	8	0.71

INSTALL SSMH#1
RM#955.90
FLE#947.92
FLW#947.82

INSTALL SSMH#2
RM#957.57
FLW#949.10

NOTES:

- ADDITIONAL PARKING SPACES TO BE INSTALLED AT LINCOLN RIDGE CONDOMINIUMS II PER AMENDED SITE PLAN.

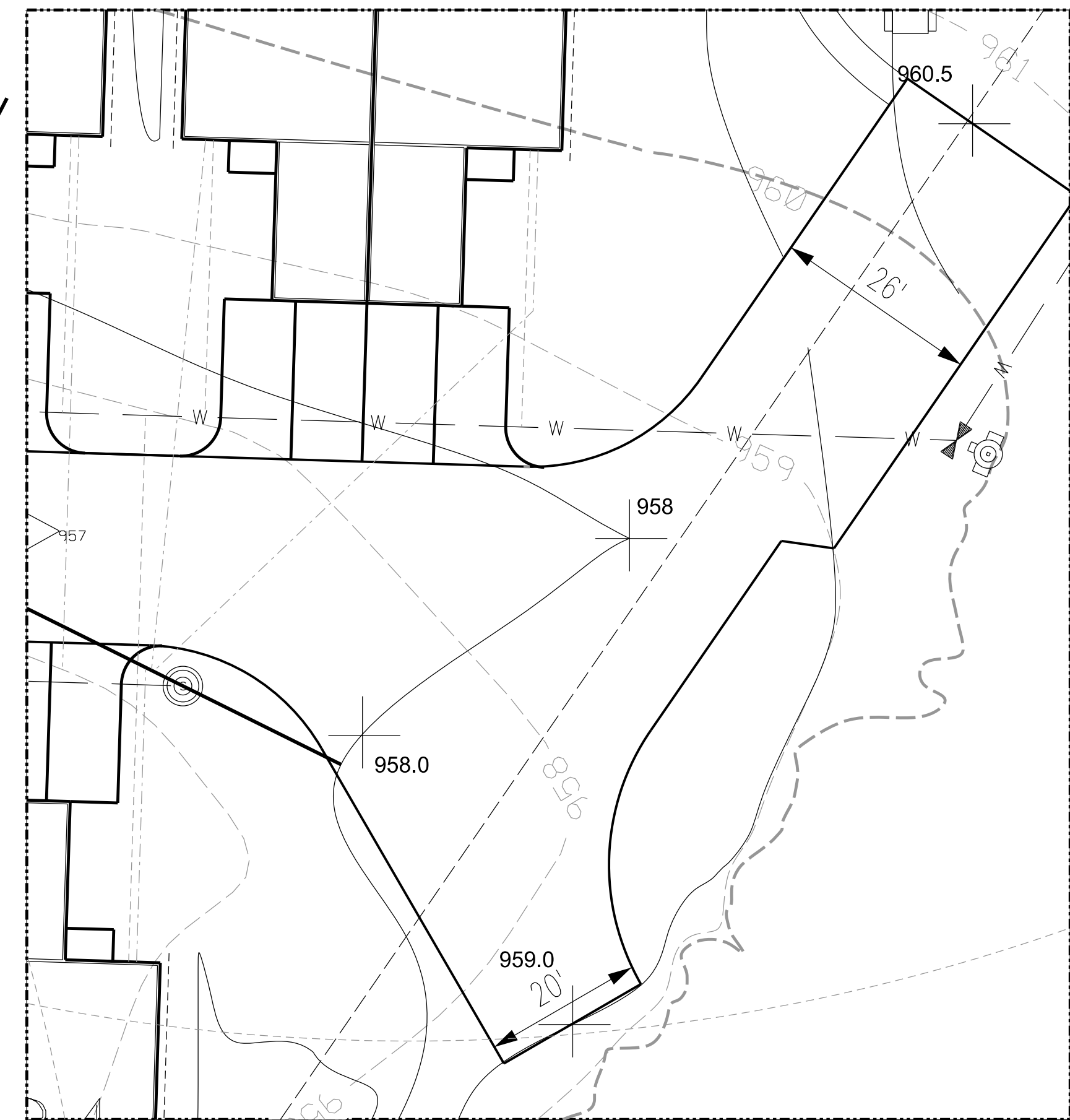


Wilhelmi, Melissa M/James
1404 N 9th St
Indianola IA 50125

C12
Δ=04°41'25.31" M
=04°41'25" P
R=1665.09'M&P
L=136.31' M
=136.30' P
CH=136.27' M&P
CHBRG=N32°10'37"E M
CHBRG=N32°04'43"E P

C8
Δ=03°16'37.21" M
=04°41'25" P
R=515.0'M&P
L=29.45' M
=29.46' P
CH=29.45' M&P
CHBRG=N19°29'15"W M
CHBRG=N19°35'43"W P

C4
Δ=31°57'50.6" M
=32°00'35" P
R=560'M&P
L=312.41' M
=312.86' P
CH=308.38' M
CH=308.80' P
CHBRG=N05°10'12"W M
CHBRG=N05°13'16"W P



SCALE 1"=15'



SCALE 1"=15'

DETAIL 1

DETAIL 2

DESIGN START DATE:
01-01-18
DATE PLOTTED:
04-11-18
PRELIMINARY FIELD
WORK COMPLETED:
04-09-18
FIELD BOOK NO.
1018-01

CAVITT CREEK CONDOMINIUMS I
INDIANOLA, WARREN COUNTY, IOWA



3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
ml@chamberlinengineers.com

DRAWING TITLE:

GRADING
PLAN

DRAWN BY:
JGP

CHECKED BY:
MLL

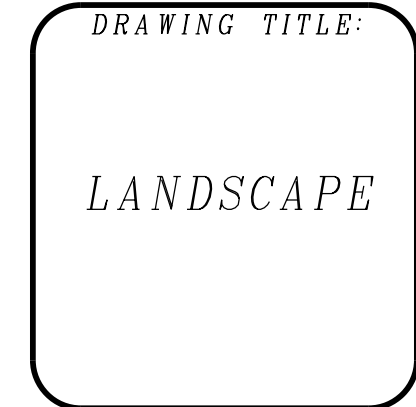
DATE:
08-23-19

JOB NO.
19017

SHEET

C03

CAVITT CREEK CONDOMINIUMS I
INDIANOLA, WARREN COUNTY, IOWA

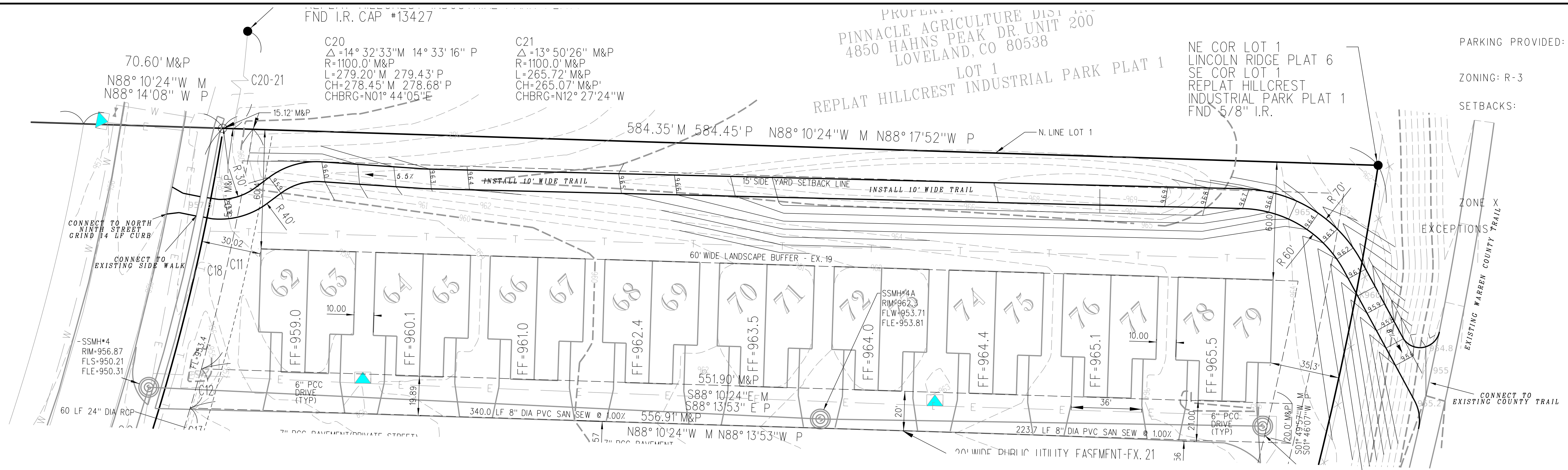


The site plan shows a parking lot with 24 stalls arranged in three rows. The top row contains stalls 1-10, the middle row contains stalls 11-18, and the bottom row contains stalls 19-24. The stalls are labeled with their respective numbers. The plan includes various landscaping elements such as trees (represented by green circles) and shrubs (represented by green dots). A storm detention area is located at the bottom of the lot, labeled 'STORM DETENTION' and '20XD03'. The plan also shows a north arrow, a scale bar, and a key for the symbols used.

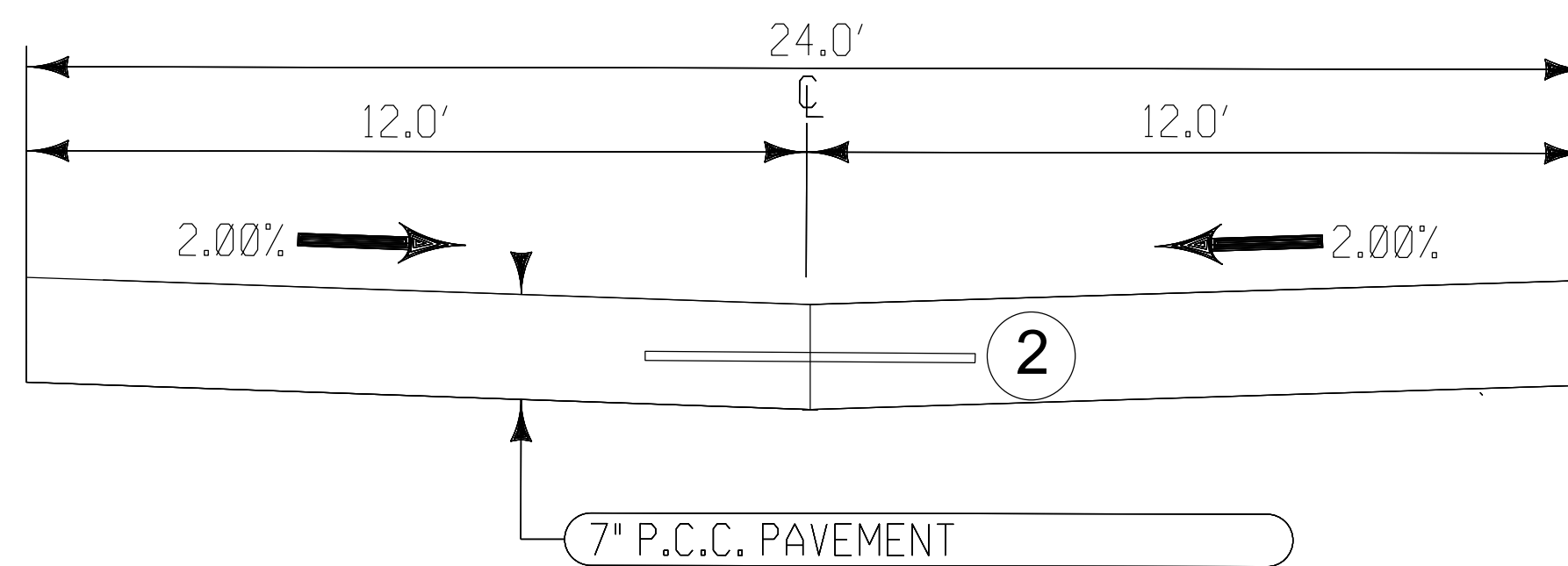
KEY	QTY	DESCRIPTION
D1	0	OVERSTORY -
D2	0	CELL -
D3	0	CELL -
D4	0	CELL -
D5	9	CELL -
D6	21	CELL -
D7	0	CELL -
E1	0	PIC -
E2	0	PIC -
E3	0	PIC -

1. CONTRACTOR TO PROVIDE SILT FENCE AND ALL NECESSARY EROSION CONTROL MEASURES AROUND AREAS OF CONSTRUCTION.
 - A. PUT UP BEFORE ANY OTHER WORK IS DONE
 - B. INSTALL ON DOWN SLOPE SIDE(S) OF SITE WITH ENDS EXTENDED UP SIDE SLOPES A SHORT DISTANCE
 - C. PLACE PARALLEL TO THE CONTOUR OF THE LAND TO ALLOW WATER TO POND BEHIND FENCE
 - D. ENTRENCH FOUR INCHES DEEP
 - E. USE ONE STAKE EVERY THREE FEET
 - F. DON'T LEAVE GAPS BETWEEN SECTIONS OF SILT FENCE
 - G. INSPECT AND REPAIR WEEKLY AFTER EVERY 1/2" RAIN. REMOVE SEDIMENT IF DEPOSITS REACH HALF THE FENCE HEIGHT.
 - H. MAINTAIN UNTIL A LAWN IS ESTABLISHED.
2. SEDIMENT CLEANUP
 - I. AT THE END OF EACH WORK DAY, SWEEP OR SCRAPE UP SOIL TRACKED ONTO ROADS.
 - J. BY THE END OF THE NEXT DAY AFTER A STORM, CLEAN UP SOIL WASHED OFF SITE, AND CHECK STRAW BALES AND SILT FENCES FOR DAMAGE OR SEDIMENT BUILDUP.
3. PRESERVING EXISTING VEGETATION
 - K. WHEREVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION.
 - L. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
 - M. PLACE PLASTIC MESH OR SNOW FENCE BARRIERS AROUND TREES TO PROTECT THE AREA BELOW THEIR BRANCHES.
4. REVEGETATION: SEED, SOO OR MULCH BARE SOIL AS SOON AS POSSIBLE.
5. DURING SITE DEVELOPMENT THE OWNER'S ARBORIST WILL TAG AND LOCATE THE EXISTING TREES TO BE SAVED, PROTECTED AND PRUNED AS STATED ABOVE.

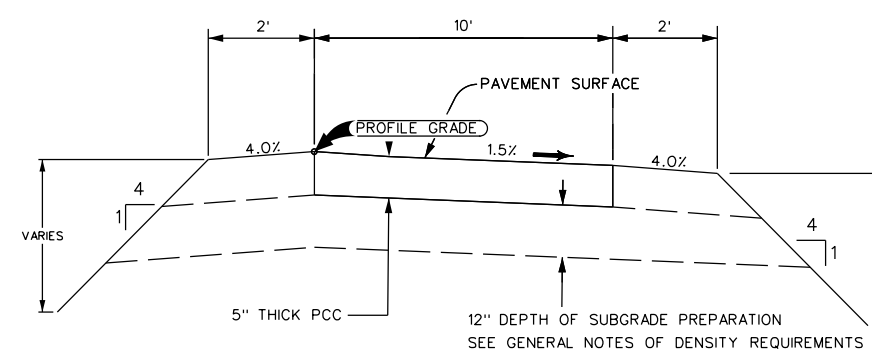
*OPEN SPACE:
SITE AREA(108,732 SF) x REQUIRED OPEN 10% = REQUIRED OPEN AREA(10,873 SF)
OPEN SPACE 60,470 S.F.(55.6%), IMPERVIOUS SPACE 48,262 S.F.(44.4%)



TRAIL CONNECTION DETAIL - LOT 1, LINCOLN RIDGE ESTATES PLAT 4



TYPICAL CROSS SECTION - PRIVATE DRIVE
7\"/>

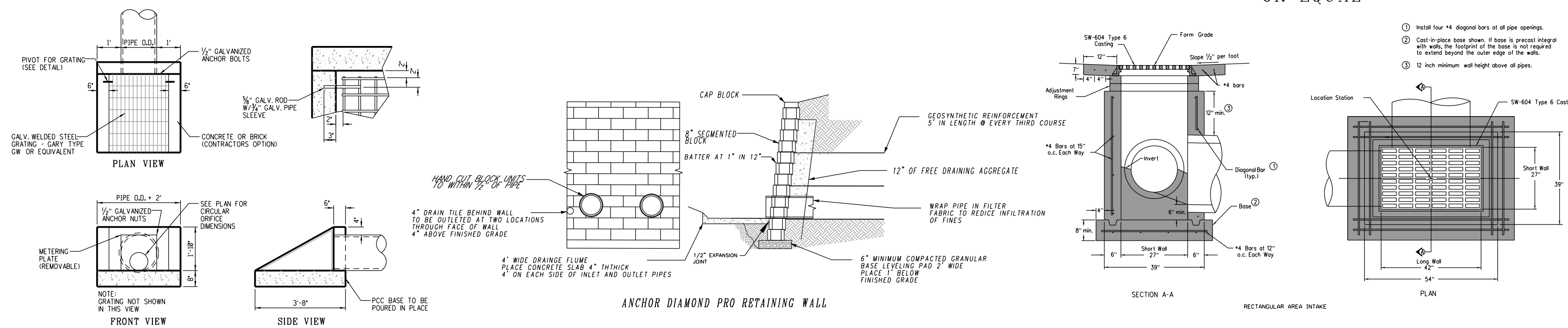


TYPICAL TRAIL CROSS SECTION

JOINTS: SHALL BE "C" JOINTS FOR PAVEMENT THICKNESS LESS THAN 8\"/>

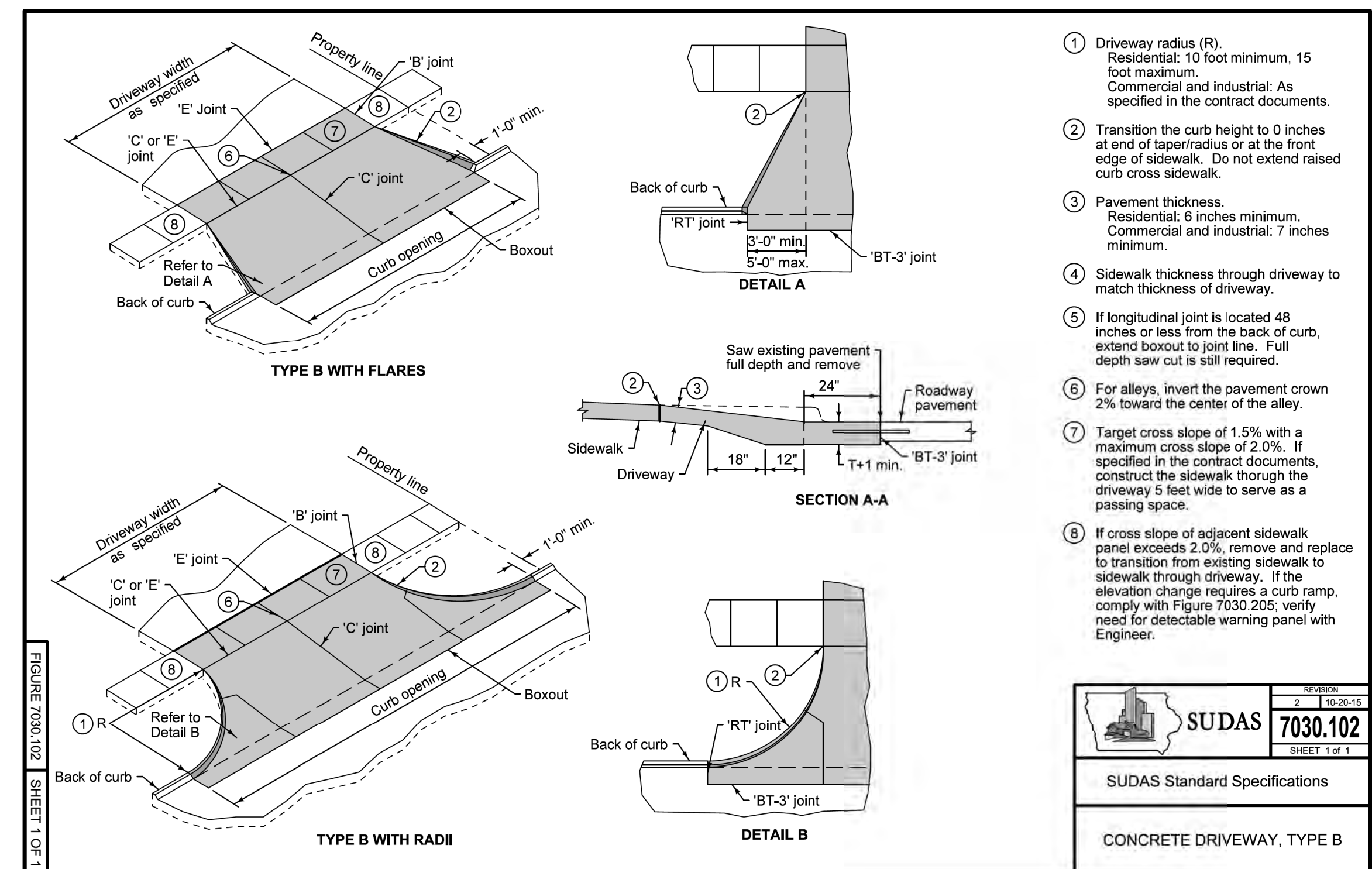
2.BT,KT,OR L JOINT DEPENDING UPON CONSTRUCTION SEQUENCE.

NEENAH R-3396 OR EQUAL



MAXIMUM PIPE DIMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

Type "M-H" Intake, S&W-511 - MOD. (12-11-17)



SUDAS	7030.102
SUDAS Standard Specifications	CONCRETE DRIVEWAY, TYPE B

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS I
INDIANOLA, WARREN COUNTY, IOWA



3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@chamberlinengineers.com

DRAWING TITLE:

DETAILS

DRAWN BY:	JGP
CHECKED BY:	MLL
DATE:	08-23-19
JOB NO.	19017
SHEET	C06



August 30, 2019

COMMUNITY DEVELOPMENT

«DEEDHOLD»
«DEEDADDR1»
«DEEDADDR3»

Dear Property Owner:

YOU ARE HERBY NOTIFIED that Kading Properties LLC, has requested approval of the site plan and a final subdivision plat for Cavitt Creek Condominiums I, located on Outlot Z of Lincoln Ridge Plat 6. As you are a property owner within 200 feet of a proposed preliminary plat, you are being notified.

The Commission shall examine the site plan and the plat as to its compliance with City Code and the Comprehensive Plan of the City and submit a recommendation to the Council. The Council, upon receipt of the Commission's recommendation, shall by resolution grant approval or reject the site plan and plat.

The site plan and the final plat will be considered by the Planning and Zoning Commission at its meeting at 6:00 P.M. on September 10th, 2019, held in the Council Chambers of the Municipal Building of the City of Indianola, Iowa, located at 110 North 1st Street.

If you have any questions regarding this notification, please contact the Department of Community Development at (515) 961-9430 or by email at ComDev@indianolaiowa.gov.

Regards,

Charlie E. Dissell, AICP
Director of Community & Economic Development
City of Indianola



DEEDHOLD

ALAMO GROUP (IA) INC
BLOOMFIELD ACRES LLC
HOTCHKISS, DAVID S/JESSICA A
KADING PROPERTIES LLC
LINCOLN RIDGE ESTATES LLC
MEHMEN, SHANE/MICHELLE
MYHRE, CHARLES E/LINDA L
ORTON HOMES LLC
WARREN COUNTY CONSERVATION BD
WILHELMI, MELISSA M/JAMES

DEEDADDR1

1301 N 14TH ST
7008 MADISON AVE
1202 E MADISON AVE
7008 MADISON AVE
7008 MADISON AVE
1104 E MADISON AVE
1402 N 9TH ST
2208 WOODLAND PKWY
15655 118TH AVE
1404 N 9TH ST

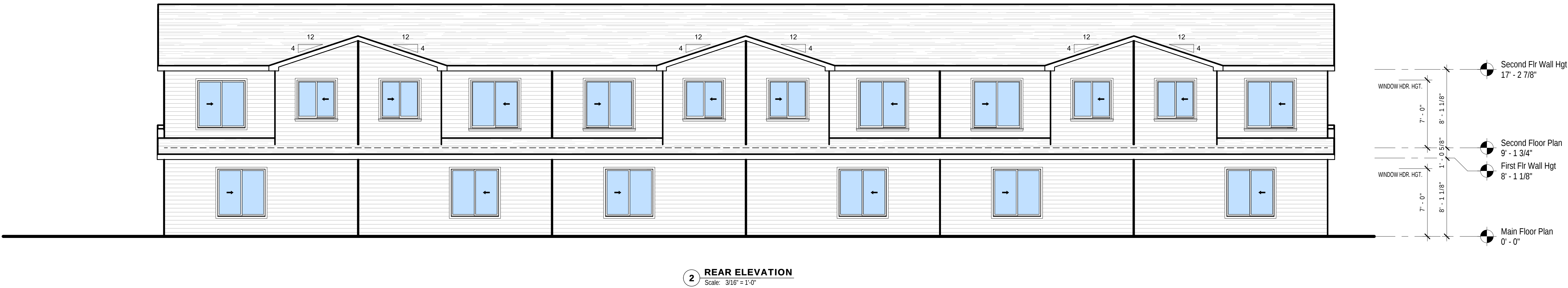
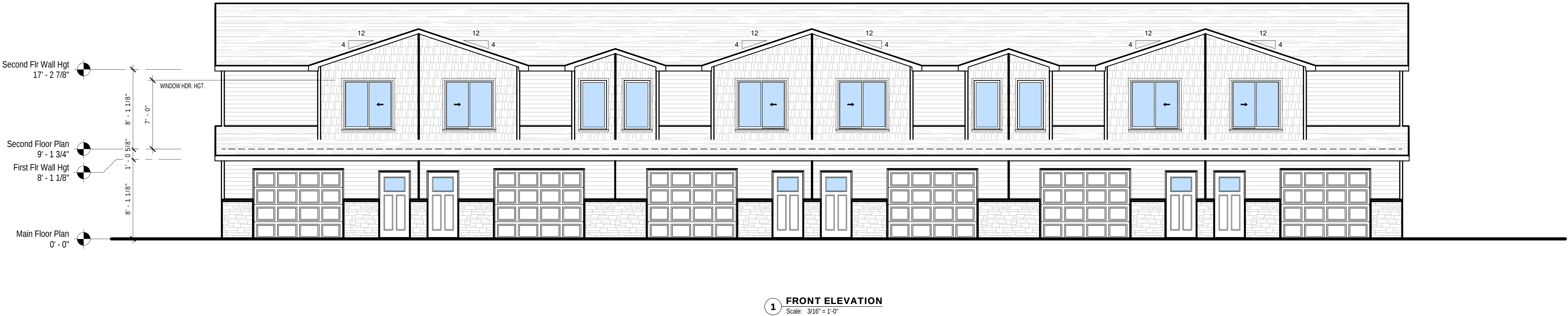
DEEDADDR3

INDIANOLA IA 50125
URBANDALE IA 50322
INDIANOLA IA 50125
URBANDALE IA 50322
URBANDALE IA 50322
INDIANOLA IA 50125
INDIANOLA IA 50125
CLIVE IA 50325
INDIANOLA, IOWA 50125
INDIANOLA IA 50125

PLUM DESIGN SERVICES

1100 SE ALICE'S ROAD, WAUKEE, IOWA 50263
TELEPHONE 515 978 6260 FAX 515 978 6261

PLUM DESIGN SERVICE, INC. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS, AND FLOOR PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR OWNER SHALL NOTIFY PLUM DESIGN SERVICE, INC. IMMEDIATELY IF ANY ERRORS OR OMISSION FOR POSSIBLE CORRECTION ARE IDENTIFIED PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE WITH THIS PLAN WITH APPLICABLE BUILDING CODES REQUIREMENTS ARE MADE.



Kading Properties
Cavitt Creek 6-Plex
Indianola, Iowa

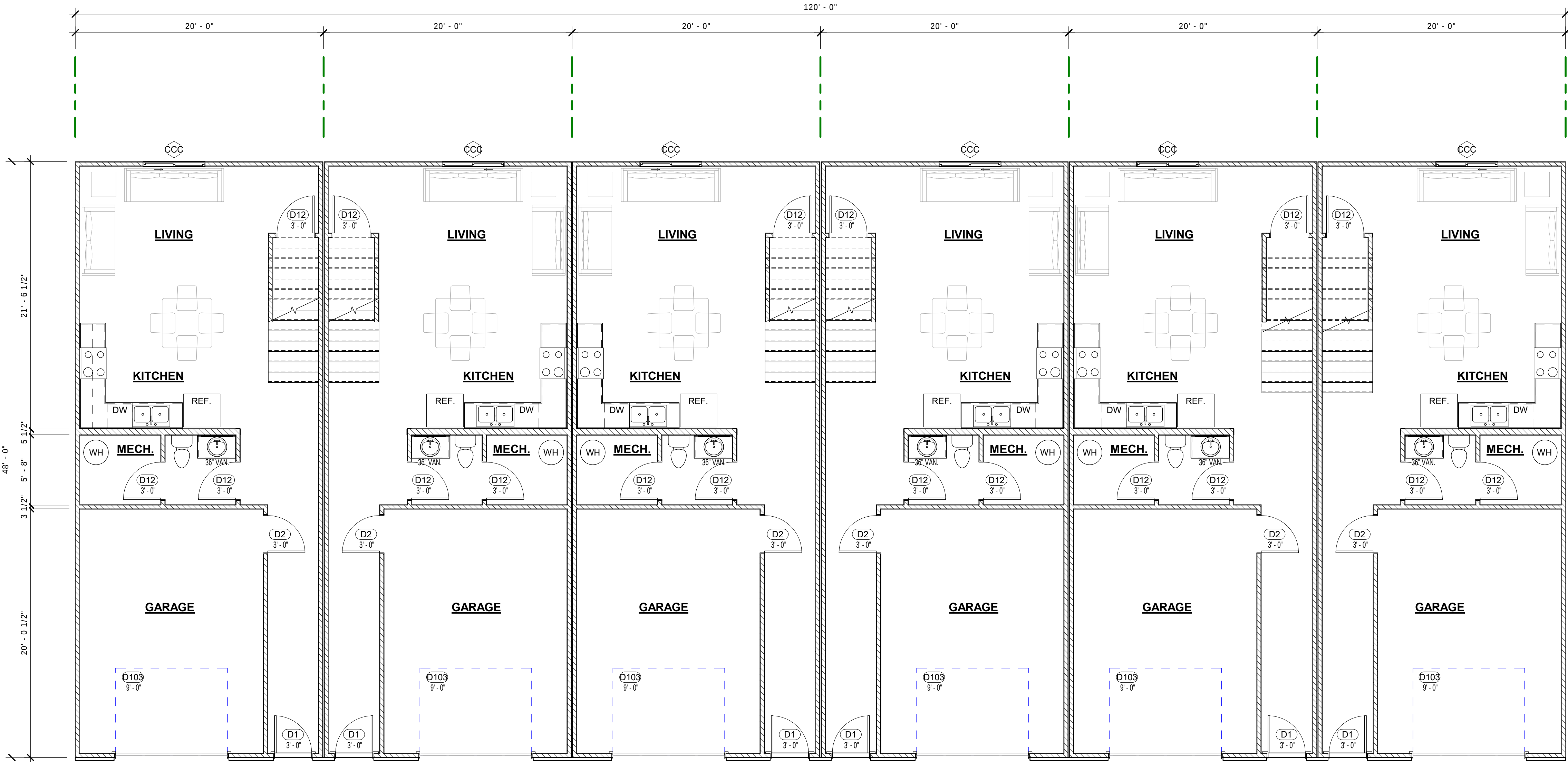
PROJECT ID:
PDS 4368

ISSUE DATE:
DATE: 06-14-19
DATE:
DATE:
DATE:
DATE:
DATE:
DATE:

Elevations

As indicated
THIS PAGE IS INTENDED TO BE PRINTED ON
24"x36" PAPER TO BE TO SCALE

AREA SCHEDULE	
NAME	SQ FT
Main Floor	656 SF
Second Floor	733 SF
Garage	1388 SF
Garage	303 SF
Grand total: 3	303 SF
	1691 SF



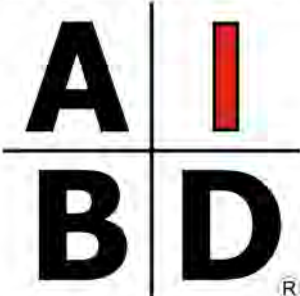
3 Main Floor Plan
Scale: 3/16" = 1'-0"

PLUM DESIGN SERVICES

1100 SE ALICE'S ROAD, WAUKEE, IOWA 50263
TELEPHONE 515 978 6260 FAX 515 978 6261

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MEMBER



AMERICAN INSTITUTE of
BUILDING DESIGN
Creating where people live

Kading Properties
Cavitt Creek 6-Plex
Indianola, Iowa

PROJECT ID:
PDS 4368

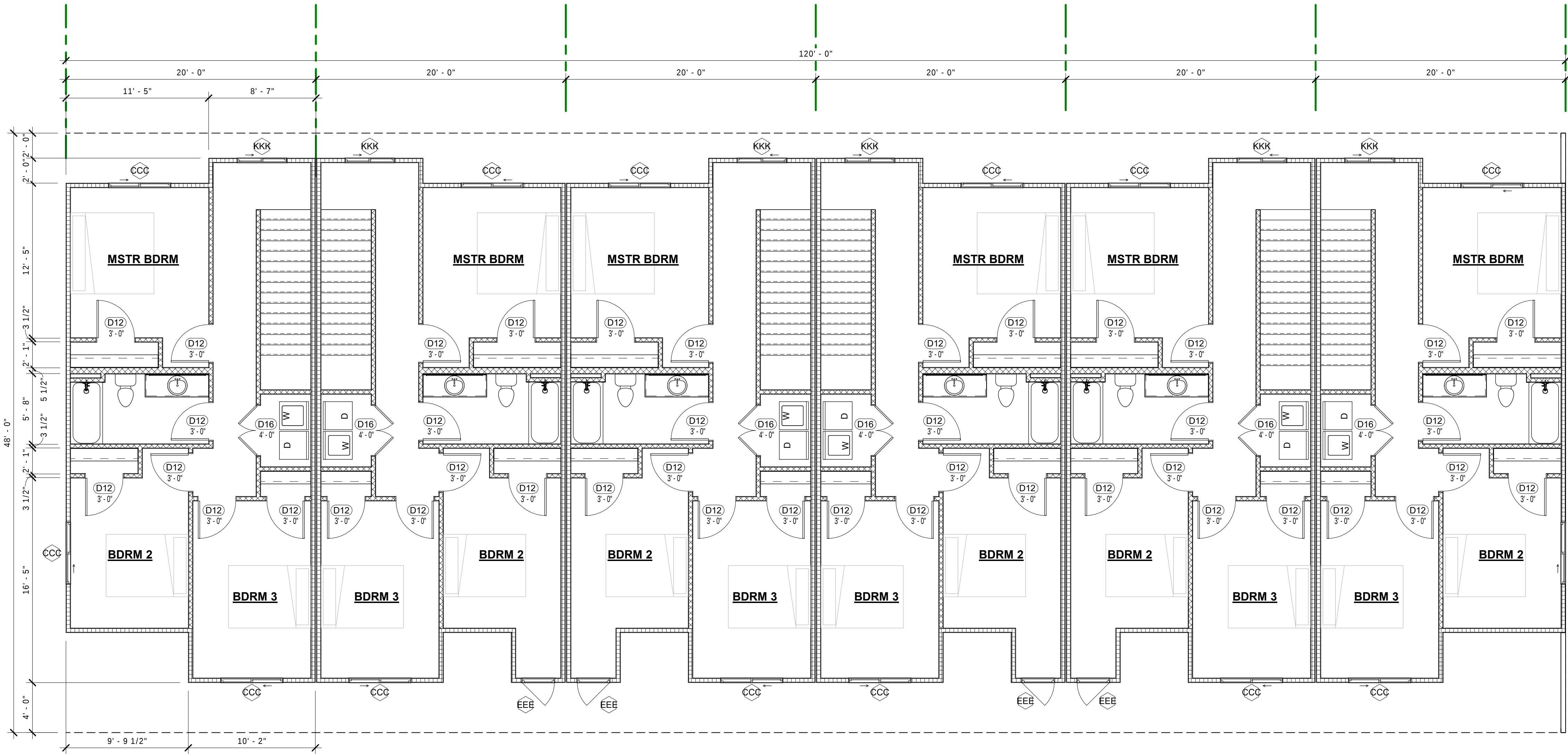
ISSUE DATE:
DATE: 06-14-19
DATE:
DATE:
DATE:
DATE:
DATE:
DATE:

Second Floor

As indicated

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24"x36" PAPER TO BE TO SCALE

A6



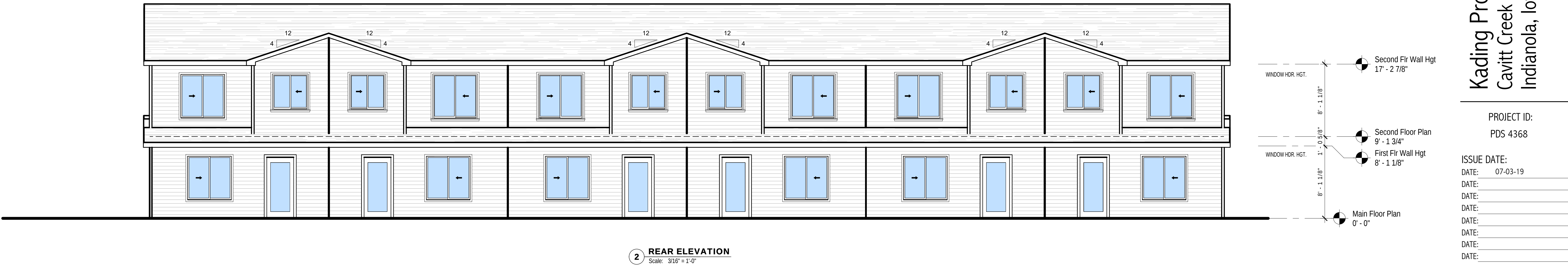
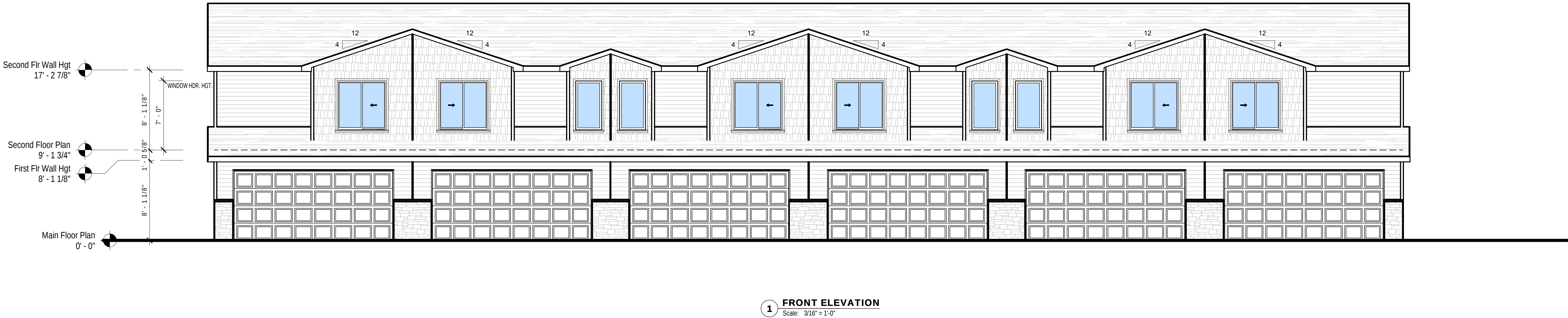
3 Second Floor Plan
Scale: 3/16" = 1'-0"

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED FOR FINAL CONSTRUCTION
PLEASE CALL OR SEE OWNER FOR UPDATED PLANS

PLUM DESIGN SERVICES

1100 SE ALICE'S ROAD, WAUKEE, IOWA 50263
TELEPHONE 515 978 6260 FAX 515 978 6261

PLUM DESIGN SERVICE, INC. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS, AND FLOOR PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR OWNER SHALL NOTIFY PLUM DESIGN SERVICE, INC. IMMEDIATELY IF ANY ERRORS OR OMISSION FOR POSSIBLE CORRECTION ARE IDENTIFIED PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE WITH THIS PLAN WITH APPLICABLE BUILDING CODES REQUIREMENTS ARE MADE.



Kading Properties
Cavitt Creek 6-Plex - 2 Car
Indianola, Iowa

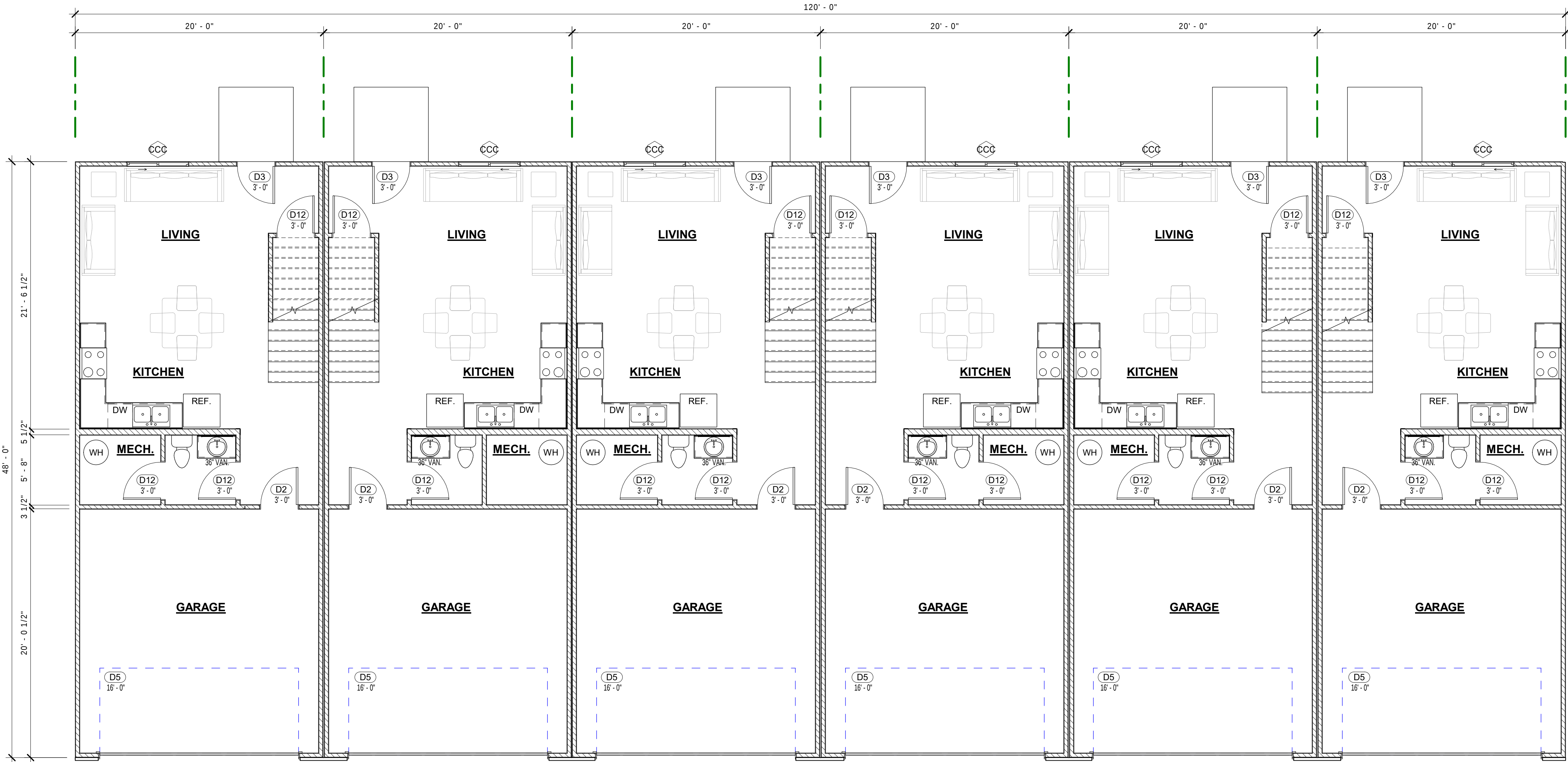
PROJECT ID:
PDS 4368

ISSUE DATE:
DATE: 07-03-19
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DATE:

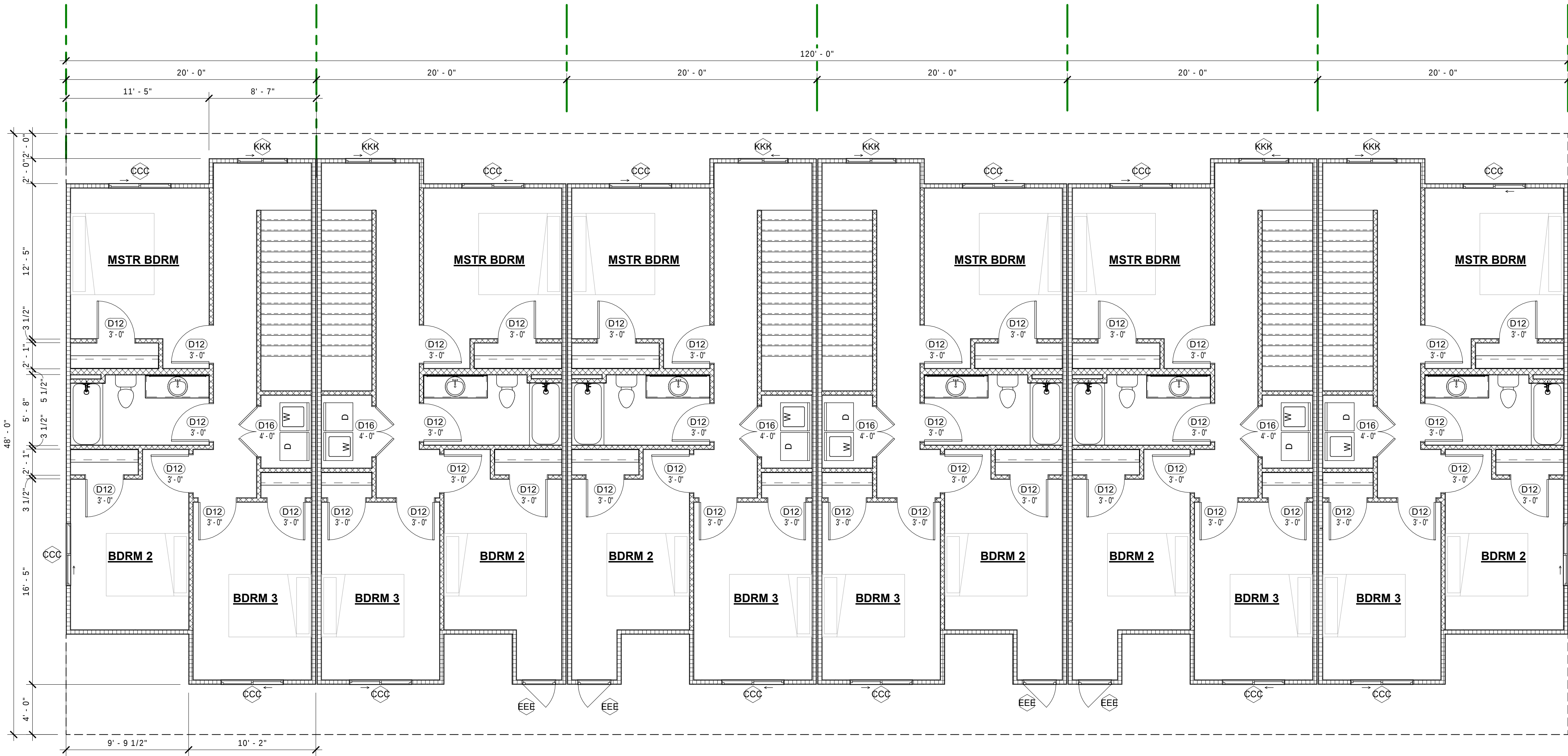
Elevations

As indicated
THIS PAGE IS INTENDED TO BE PRINTED ON
24"x36" PAPER TO BE TO SCALE

AREA SCHEDULE	
NAME	SQ FT
Main Floor	559 SF
Second Floor	733 SF
	1291 SF
Garage	399 SF
	399 SF
Grand total: 3	1691 SF



3 Main Floor Plan
Scale: 3/16" = 1'-0"



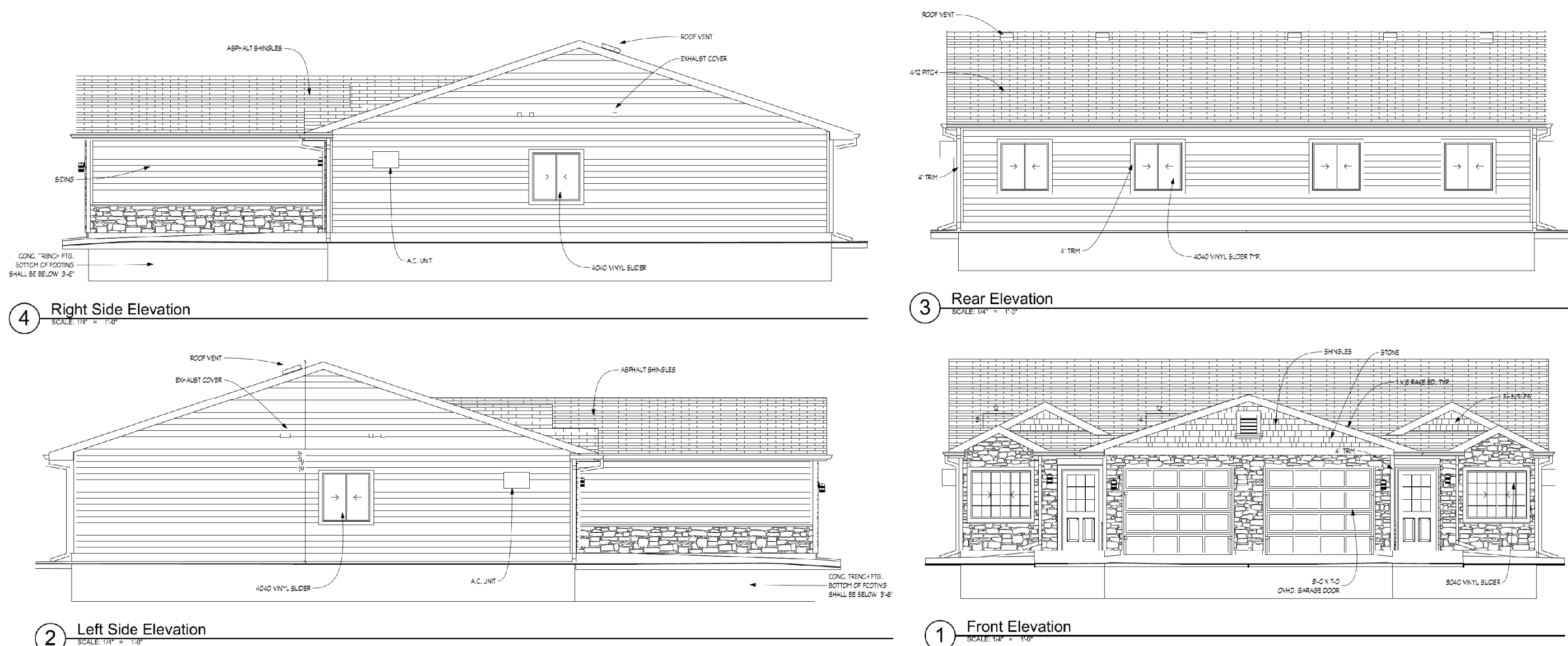
3 Second Floor Plan
Scale: 3/16" = 1'-0"







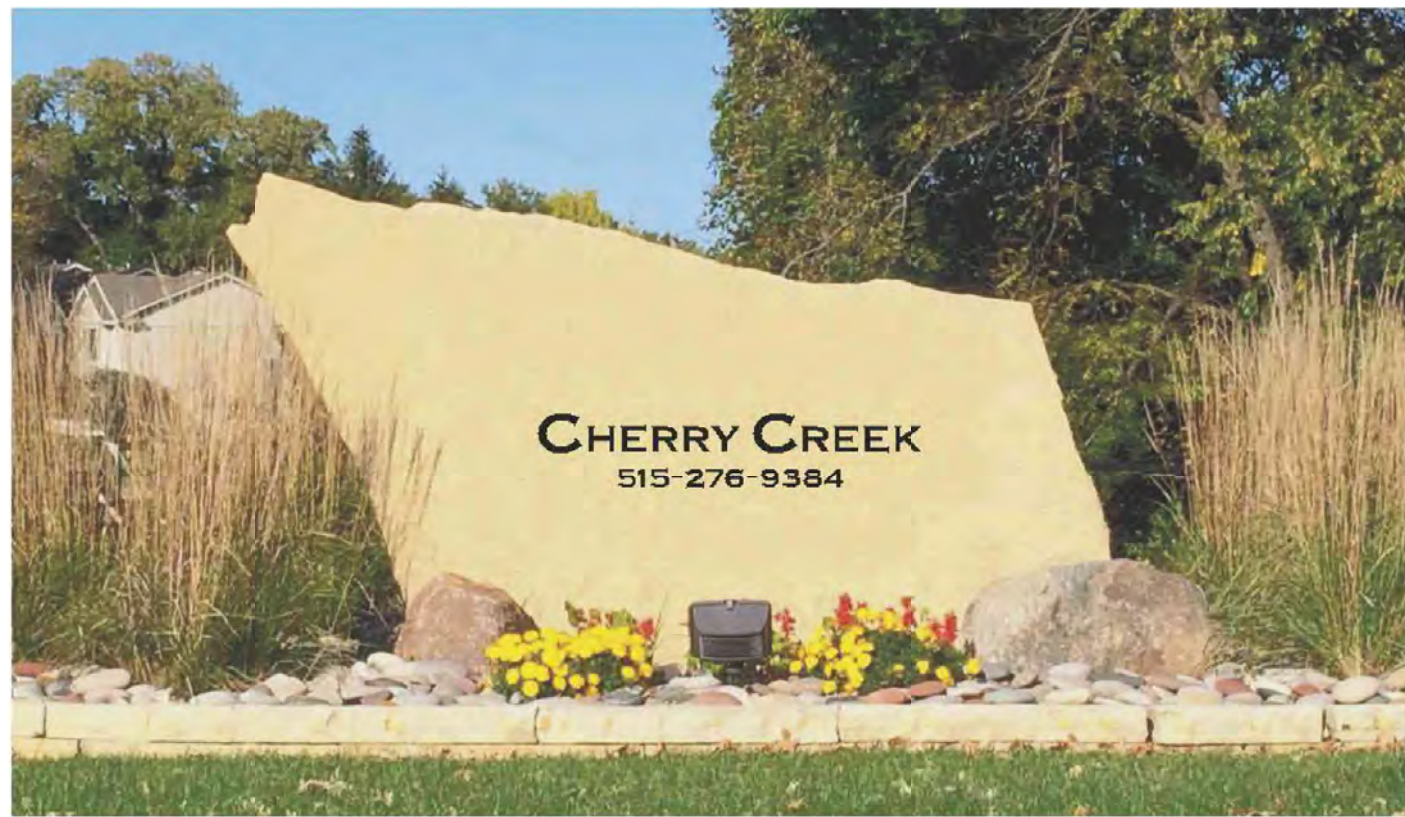
VILLA
ELEVATIONS



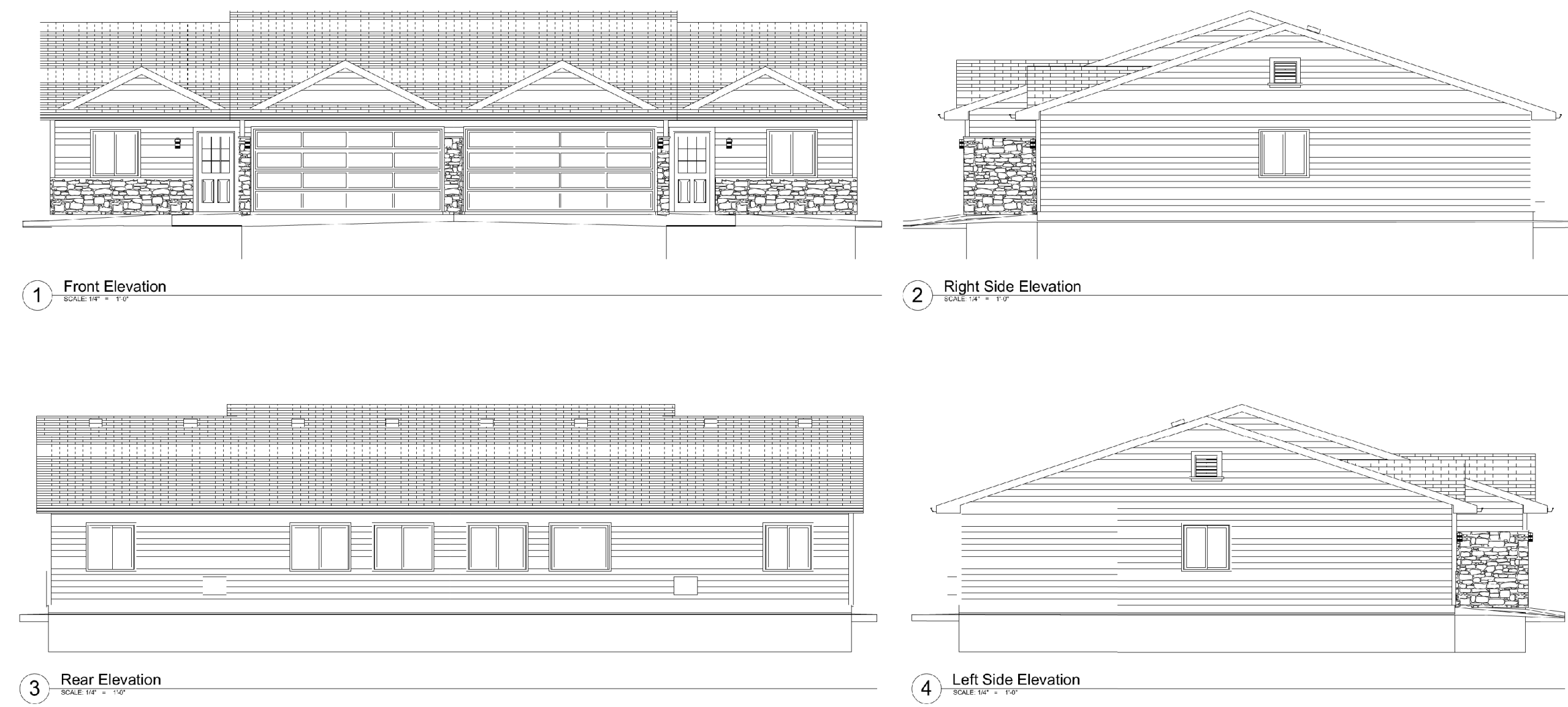
3D



SIGN



BRADFORD
ELEVATIONS



3D



STYLE I

STYLE I2

STYLE I4

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS I&II
BUILDING ELEVATION VIEWS
INDIANNOA IOWA, WARREN COUNTY, IOWA

LEE
CHAMBERLIN
CONSULTANT ENGINEERS

3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:
CONCEPTUAL
BUILDINGS
EXTERIOR
DESIGN
AND 3D

DRAWN BY:	JCP
CHECKED BY:	MLL
DATE:	05-23-19
JOB NO.	19017
SHEET	C-7

GENERAL NOTES:

1. ALL CONTRACTORS SHALL HAVE ALL PUBLIC AND PRIVATE UTILITIES FIELD LOCATED PRIOR TO BEGINNING ANY CONSTRUCTION WORK THROUGH IOWA ONE-CALL (1-800-292-8989) 48 HOURS PRIOR TO CONSTRUCTION. CONFIRM LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. OWNER AND ENGINEER DO NOT GUARANTEE CORRECTNESS OF ALIGNMENTS SHOWN.
2. ALL ELEVATIONS ARE ON NAVD 88 DATUM.
3. ALL QUANTITIES ARE FOR CONTRACTOR CONVENIENCE. WHERE CONFLICTS OCCUR, DRAWINGS SHALL PREVAIL.
4. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO PROPERTY LINES UNLESS NOTED. WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED DIMENSIONS.
5. ALL SITE IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT SUDAS SPECIFICATIONS INCLUDING THE MOST RECENT AMMENDMENTS TO THE SANITARY SEWER SPECIFICATIONS.
6. P.C.C. PAVEMENT SHALL BE A 7" CLASS "C" CONCRETE MIX WITH CLASS 2 OR CLASS 3 DURABILITY COARSE AGGREGATE AS SPECIFIED IN THE MOST CURRENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION FROM THE IOWA DEPARTMENT OF TRANSPORTATION.
7. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. USE COMPACTED BACKFILL FOR ALL TRENCHES. USE 3/4" CRUSHED LESTONE FOR BEDDING AND BACKFILL IN THE PAVEMENT AREAS AND FOR BEDDING AND BACKFILL TO SPRING LINE OF PIPE IN UNPAVED AREAS.
9. THE COMMUNITY DEVELOPMENT DEPARTMENT OF INDIANOLA, IOWA AND LEE CHAMBERLIN CONSULTANT ENGINEERS MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
10. ALL SITE CONSTRUCTION WORK SHALL BE INSPECTED BY THE CITY OF INDIANOLA OR THEIR REPRESENTATIVE. THE SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY LEE ENGINEERS AND SURVEYORS.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY WITH LEE CHAMBERLIN CONSULTANT ENGINEERS THAT THE CONSTRUCTION PLANS BEING USED ARE THE APPROVED PLANS AND REFLECT ANY AND ALL REVISIONS.
12. ALL HOLES RESULTING FROM OPERATIONS OF THE CONTRACTOR, INCLUDING REMOVAL OF FENCE POSTS, UTILITY POLES, OR FOUNDATION STUDIES, SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED AND NOT LATER THAN THE FOLLOWING DAY. ANY PORTION OF THE RIGHT-OF-WAY OR PROJECT LIMITS DISTURBED BY ANY SUCH OPERATIONS SHALL BE RESTORED TO AN ACCEPTABLE CONDITION. THIS OPERATION SHALL BE CONSIDERED INCIDENTAL TO OTHER BID ITEMS IN THE PROJECT.
13. ON SITE DISPOSAL OF TREES OR BRUSH SHALL NOT BE ALLOWED.
14. ALL AREAS WITHIN THE RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH SECTION 2601 OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. IF CONSTRUCTION CANNOT BE COMPLETED BEFORE THE END OF THE NORMAL SEEDING PERIOD, TEMPORARY SEEDING WILL BE REQUIRED IN THE INTERIM.
15. CONTRACTOR SHALL SUPPLY ADEQUATE SIGNING ON ALL STREET CLOSURES TO PREVENT UNNECESSARY DISRUPTION OF TRAFFIC. ALL TRAFFIC CONTROL SIGNING FOR STREET CLOSURES SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
16. SOIL BORINGS OBTAINED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.
17. SANITARY SEWER SERVICE LINES SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D 3034 & SDR 23.5. CLASS II BEDDING SHALL BE USED PER STANDARD SPECIFICATIONS. ALL SERVICE CONNECTIONS MUST BE MANUFACTURED, GASKETED WYES. TEES AND SOLVENT WELD WYES AND BENDS ARE NOT PERMITTED. SANITARY SEWER SHALL BE TELEVIEWED BY THE OWNER. SANITARY SEWER SHALL BE CONSIDERED PRIVATELY OWNED AND MAINTAINED.
18. WATER SERVICES SHALL BE 3/4" DIA. COPPER SCHEDULE "K" W/3/4" METER, STOP BOX AND ADAPTER SHALL MEET CITY OF INDIANOLA STANDARDS. ALL FIRE HYDRANTS SHALL BE PAINTED RED. WATER MAIN SHALL BE CONSIDERED PUBLICLY OWNED AND MAINTAINED.
19. ALL PROPOSED STORM SEWERS MUST BE A MINIMUM OF 2000D. THE OUTMOST FOUR SECTIONS, INCLUDING THE FLARED END SECTION OF ALL STORM SEWER MUST BE TIED AS PER IOWA DEPARTMENT OF TRANSPORTATION STANDARD ROAD PLAN RF-14, TYPE 3 CONNECTIONS.
20. ALL PIPE CULVERT AND STORM SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CLASS "B" BEDDING.
21. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES IF SAID PERMITS ARE REQUIRED AS A PART OF THIS PROJECT.
22. THE POST DEVELOPMENT RUN-OFF WILL NOT ADVERSELY AFFECT THE DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
23. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS DO NOT INCLUDE THE FLARED END SECTION'S LENGTH. FLOWLINE ELEVATIONS ARE GIVEN FOR BOTH THE END OF PIPE AND THE FLARED END SECTION OPENING.
24. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
25. ALL SITE LIGHTING SHALL BE HIGH PRESSURE SODIUM CUT-OFF LUMINAIRES SURFACE MOUNTED TO BUILDINGS.
26. ALL NEW WATER MAIN INSTALLED IS FOR DOMESTIC AND FIRE PROTECTION USE OF THE COMPLEX AND IS CONSIDERED PUBLIC. FUTURE MAINTENANCE SHALL BE THE RESPONSIBILITY OF INDIANOLA MUNICIPAL UTILITIES. ALL NEW WATER MAIN SHALL BE C900.
27. CONTRACTOR TO SUBMIT INSURANCE CERTIFICATES TO MEET SUDAS STANDARDS
28. PRESSURE AND VACUUM TESTING OF SANITARY SEWERS AND MANHOLES TO BE MONITORED BY INDIANOLA WATER POLLUTION CONTROL DEPARTMENT.
29. PUBLIC SIDEWALKS SHALL BE 4' WIDE AND 4" THICK PER SUDAS.
30. REFUSE WILL BE COLLECTED BY INDIVIDUAL CONTAINERS STORED IN EACH UNITS GARAGE.
31. THE STREETS WILL BE PRIVATELY OWNED AND MAINTAINED.

GRADING AND UTILITY NOTES:

1. ALL FILL AREAS SHALL BE COMPACTED TO THE FOLLOWING PROCTOR DENSITIES:
95% WITHIN STREET RIGHTS-OF-WAYS, DRIVE & PARKING AREAS
95% WITHIN BUILDING PAD AREAS
85% WITHIN LAWN AREAS AND OPEN SPACE
2. ALL LAND FORMS, SWALES, ETC. SHALL BE GRADED TO A SMOOTH GROUND SURFACE PROVIDING A MINIMUM SLOPE OF 1.0% EXCEPT AS NOTED.
3. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED UNDER STREETS.
4. ADJUST ALL EXISTING MANHOLES TO FINISHED GRADE WHERE APPLICABLE.
5. ALL OTHER SANITARY SEWER IMPROVEMENTS ARE CONSIDERED PRIVATE, THEREFORE MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
6. ALL EXTERIOR LIGHTING OF THE DEVELOPED AREA IS THE RESPONSIBILITY OF THE OWNER.

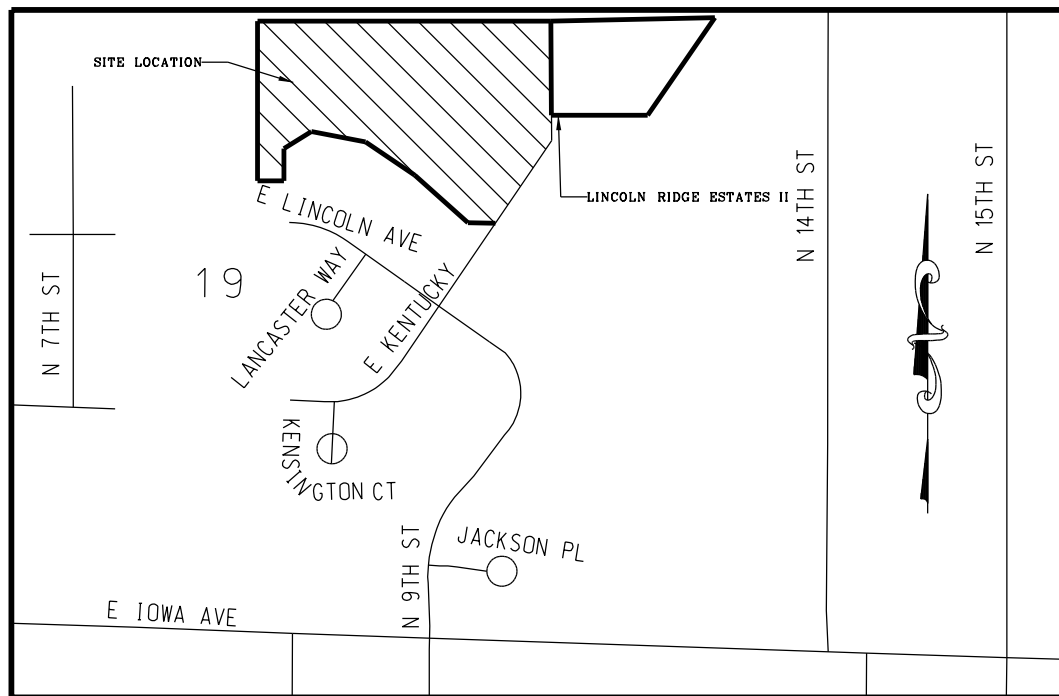
EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL MEASURES WILL BE REQUIRED OF THE CONTRACTOR IN ACCORDANCE WITH SECTION 2525 - TEMPORARY WATER POLLUTION CONTROL (SOIL EROSION), IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE DEVELOPER OR DEVELOPER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED ONTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
3. GRADING CONTRACTOR SHALL PLACE AND MAINTAIN SILT FENCE AS INDICATED ON THE PLAN OR WHERE EROSION DEVELOPS AT THE DIRECTION OF THE CITY OR ENGINEER UNTIL VEGETATION IS ESTABLISHED.
4. ALL DISTURBED AREAS SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER TOPSOIL HAS BEEN REDISTRIBUTED OVER ALL UNPAVED AREAS.
4. COMPLY WITH THE "STATE EROSION CONTROL LAWS."

PLANS FOR CAVITT CREEK CONDOMINIUMS II SITE IMPROVEMENTS INDIANOLA, WARREN COUNTY, IOWA PROJECT NO. 19017

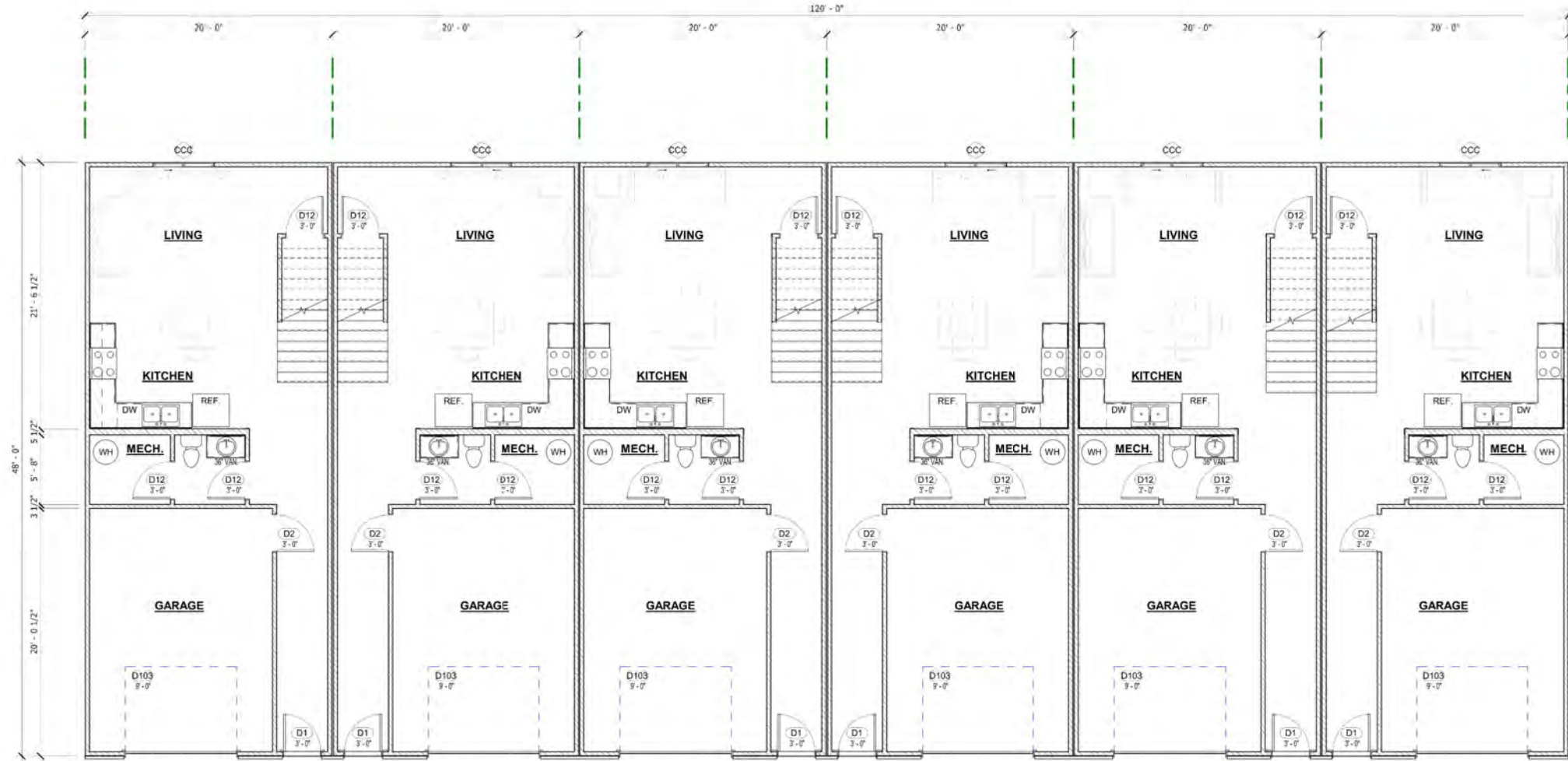
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PAGE NO.	DESCRIPTION
C01.	TITLE PAGE, QUANTITIES, & GENERAL NOTES
C02.	SITE PLAN LAYOUT
C03.	GRADING PLAN
C04.	LANDSCAPE PLAN
C05.	EROSION PLAN
C06.	DETAIL

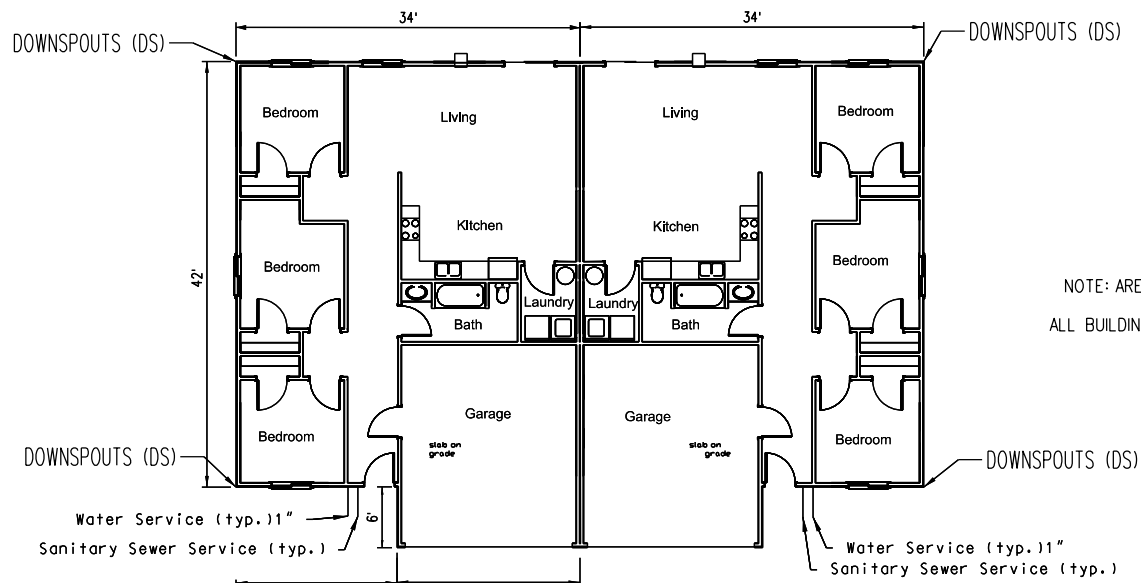


VICINITY SKETCH

STYLE I. UNITS 39-92



BUILDING LAYOUT - BRADFORD

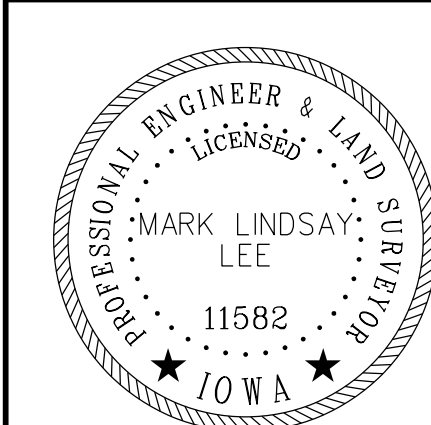


NTS
NOTE: AREA PER UNIT = 1534 SF (TOTAL SITE=49,088 SF)
ALL BUILDINGS ARE SLAB ON GRADE WITH TRENCH FOOTINGS

PROPERTY DEVELOPER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
URBANDALE, IOWA 50322
(515) 276-9384

PROFESSIONAL ENGINEER:
LEE CHAMBERLIN CONSULTANT ENGINEERS
CONTACT: MARK LEE
3117 115TH STREET
VAN METER, IOWA 50261
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PROPERTY OWNER:
KADING PROPERTIES
CONTACT: RICK KADING
7008 MADISON AVENUE
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(515) 276-9384



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date: _____
Name: (Printed or typed) MARK L. LEE
License Number: 11582
My license renewal date is December 31, 2020.
Pages or sheets covered by this seal: _____

LEGEND

▲ SECTION CORNER FOUND	● DECIDUOUS TREE (EXISTING)
△ SECTION CORNER SET	● DECIDUOUS TREE (REQUIRED)
● PROPERTY PIN FOUND	★ CONIFEROUS TREE (EXISTING)
○ PROPERTY PIN SET	★ CONIFEROUS TREE (REQUIRED)
⊕ BENCHMARK	● SHRUB (EXISTING)
⊕ MONUMENT	● SHRUB (REQUIRED)
⊕ SOIL BORING	● TREE REMOVAL REQUIRED
⊕ TEST WELL	● STUMP
⊕ MONITORING WELL	1024 1024 PROPOSED PAVEMENT ELEVATION
⊕ SANITARY SEWER MANHOLE	→ GRADE FLOW ARROW
⊕ SANITARY CLEANOUT	→ PIPE FLOW ARROW
⊕ SEPTIC TANK	--- 100 --- EXISTING CONTOURS
⊕ CISTERN	--- 100 --- PROPOSED CONTOURS
⊕ LIFT STATION	--- --- PROPERTY LINE
⊕ STORM SEWER MANHOLE	--- --- CENTERLINE OF ROADWAY
⊕ CURB INTAKE	--- --- RIGHT-OF-WAY
⊕ BEEHIVE INTAKE	--- --- FENCE LINE
⊕ CATCH BASIN	--- --- CONSTRUCTION LIMITS
⊕ FLARED END SECTION	SS --- SANITARY SEWER LINE
⊕ CULVERT	ST --- STORM SEWER LINE
⊕ WATER MANHOLE	CP --- STORM CULVERT PIPE
⊕ FIRE HYDRANT	RCP --- REINFORCED CONCRETE PIPE
⊕ YARD HYDRANT	DI --- DUCTILE IRON PIPE
⊕ WATER VALVE	W --- WATER LINE
⊕ POST INDICATOR VALVE	OP --- OVERHEAD ELECTRIC LINE
⊕ VALVE PIT	E --- UNDERGROUND ELECTRIC LINE
⊕ WATER METER	T --- UNDERGROUND TELEPHONE LINE
⊕ PUMP	FO --- FIBER OPTICS LINE
⊕ METER STATION	HG --- HIGH PRESSURE GAS LINE
⊕ PUMP STATION	G --- LOW PRESSURE GAS LINE
⊕ WATER TANK	○ STEEL LUMINAIRE
⊕ WELL	□ WOOD LUMINAIRE
⊕ ELECTRIC MANHOLE	⊕ SIGN
⊕ ELECTRIC BOX	⊕ MAILBOX
⊕ TRANSFORMER PAD	⊕ BIN
⊕ GUY	⊕ PROPANE TANK
⊕ FIBER OPTICS MANHOLE	
⊕ TELEPHONE MANHOLE	
⊕ TELEPHONE PEDESTAL	
⊕ TELEPHONE BOOTH	
⊕ UNKNOWN MANHOLE	
⊕ UTILITY POLE	

CONTRACTOR TO USE UTILITY
ONE CALL SYSTEM 48 HOURS BEFORE ANY EXCAVATION
1-800-292-8989

LEGAL DESCRIPTION:

FINAL PLAT CAVITT CREEK PLAT 2 LOT 1
on Official Plat, now included in and forming a part of the City
of Indianola, Warren County, Iowa.

ZONING: R-3

SETBACKS:

- 25' FRONT YARD SETBACK LINE
- 8' SIDE YARD SETBACK LINE (DUPLICATES)
- 10' SIDE YARD SETBACK LINE (SIX-PLEX)
- 30' REAR YARD SETBACK LINE
- 25' SIGN SETBACK

BUILDING:

AREA - VARIES, SEE FOOTPRINT DETAILS
ONE AND TWO STORY - CONDOMINIUMS

PARKING REQUIREMENTS:

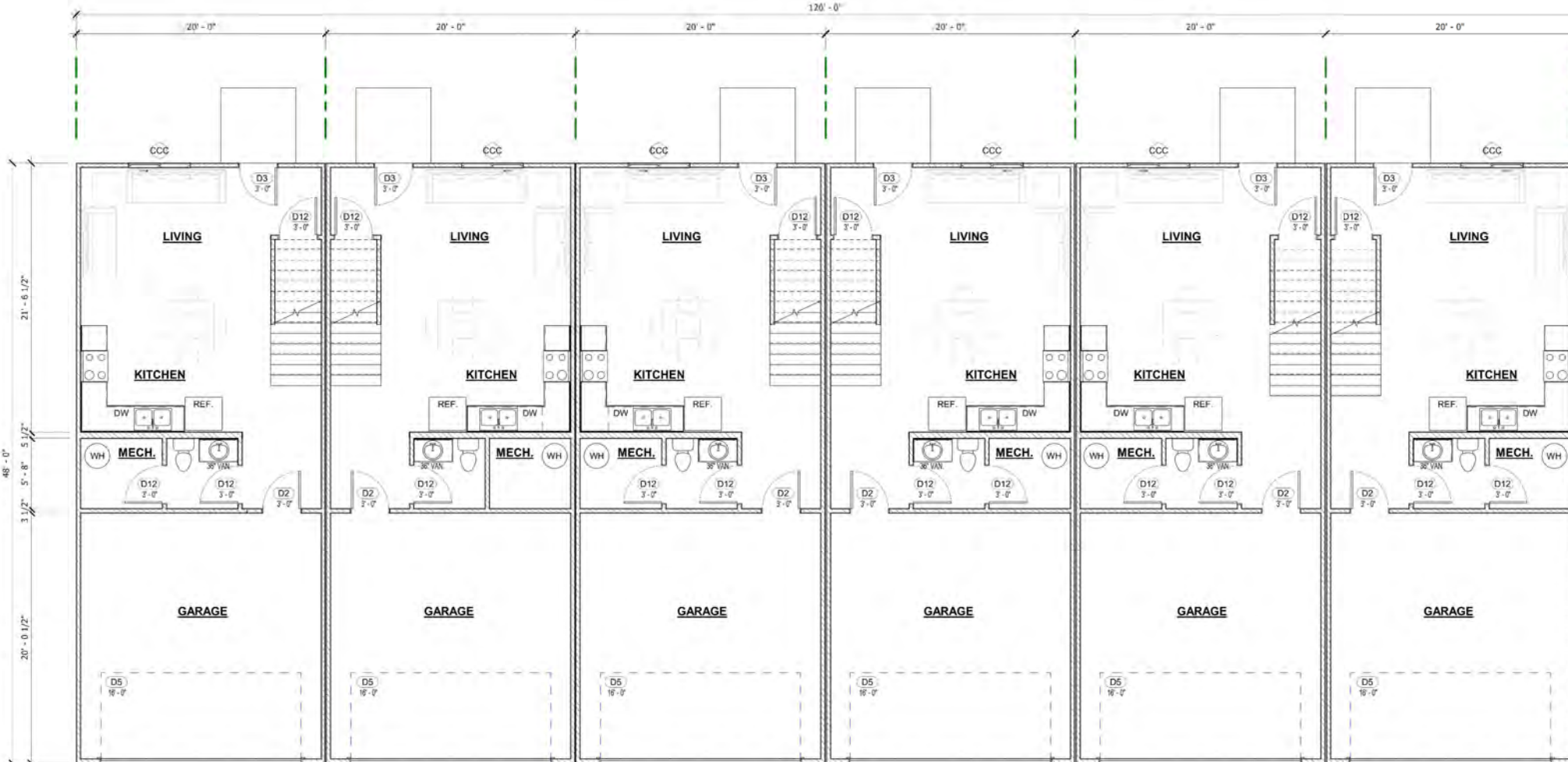
2 STALLS PER UNIT = 252 STALLS

PARKING PROVIDED:

504 = 9'x20' SPACES (INCLUDING 252 GARAGE SPACES)
14 = 10'x18' ADDITIONAL STALLS

TOTAL AREA = 669,250 S.F. (100%)
OPEN SPACE = 275,198 S.F. (41.1%)
REQUIRED OPEN SPACE = 10%
HARD SURFACE AREA = 394,052 S.F. (58.9%)

STYLE II. UNITS 93-122



DESIGN START DATE: 01-01-18
DATE PLOTTED: 04-11-18
PRELIMINARY FIELD WORK COMPLETED: 04-09-18
FIELD BOOK NO. 1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



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DRAWING TITLE:

TITLE

DRAWN BY:

JGP

CHECKED BY:

MLL

DATE:

08-23-19

JOB NO.

19017

SHEET

C01

STORM SEWER TABULATIONS

FES	FL	DIAMETER	INTAKE	TYPE	RIM	INV
FES#1	925.00	24"	INT#D1	SW-511 MOD. DOUBLE	932.00	926.01
FES#2	924.20	18"	INT#E1	SW-511 MOD. DOUBLE	941.00	936.03
FES#3	925.00	18"	INT#E2	SW-512 BEEHIVE	941.50	937.22
FES#4	925.80	30"	INT#E3	SW-512 BEEHIVE	941.50	937.22
FES#5	925.80	15"	INT#E4	SW-512 BEEHIVE	945.20	939.60
FES#6	925.80	15"	INT#E5	SW-512 BEEHIVE	945.00	939.40
FES#8	940.00	24"	INT#B1	SW-511 MOD.	945.00	941.00
FES#9	935.50	24"	INT#B2	SW-512 BEEHIVE	944.50	941.50
FES#10	940.50	30"	INT#C1	SW-511 MOD.	945.00	940.00
			INT#C2	SW-512 BEEHIVE	944.20	940.70
			INT#A1	DOUBLE SW-511 MOD	949.50	945.50
			INT#A2	SW-511 MOD.	950.80	946.10

PIPES	FROM	TO	LENGTH	DIA	SLOPE	STORM MANHOLES
P#D1	INT#D1	FES#1	48.12	24	2.09	
P#1	FES#2	FES#3	88.01	18	0.91	INSTALL STMH#E1 DIAMETER 60"
P#E2	INT#E1	STMH#E1	104.00	30	5.70	
P#E1	STMH#E1	FES#4	48.18	30	4.57	RM-936.00 FLE-935.00 FLNW-932.80
P#E3	STMH#E2	INT#E1	43.17	18	0.74	
P#E4	STMH#E3	INT#E1	37.00	24	0.86	
P#E5	STMH#E2	INT#E2	84.50	18	1.03	INSTALL STMH#A1 DIAMETER 60"
P#E6	STMH#E3	INT#E3	84.60	18	1.03	RM-941.54 RIM-948.15 FLW-936.35
P#E7	INT#E3	INT#E4	24.00	15	9.92	
P#E8	INT#E2	INT#E5	48.96	12	4.45	FLN-936.35 FLN-943.10 FLW-936.00
P#B2	INT#B	STMH#B1	114.00	15	5.26	
P#B1	STMH#B1	FES#5	57.33	15	7.50	
P#C2	INT#C1	STMH#C1	115.00	15	4.35	INSTALL STMH#E3 DIAMETER 60"
P#C3	INT#C1	INT#C2	27.20	12	2.57	RM-941.33 RIM-952.15 FLW-947.00
P#C4	INT#B1	INT#E2	27.20	12	1.84	FLN-936.35 FLW-947.00 FLE-947.00
P#C1	STMH#C1	FES#6	86.89	15	8.06	
P2	FES#8	FES#9	297.25	24	1.51	INSTALL STMH#B1 DIAMETER 60"
P#A3	INT#A2	INT#A1	60.00	18	1.00	RM-940.00 FLE-935.00 FLE-930.10
P#A4	INT#A1	STMH#A2	10.00	24	1.36	
P#A2	INT#A1	STMH#A1	93.00	30	2.58	
P#A1	FES#10	STMH#A1	30.12	30	8.63	

DOWNSPOUT DRAINAGE

INTAKE	TYPE	RIM	INV	FROM	TO	DIA	LENGTH	SLOPE(%)
INT#DS1	HARCO 12"	DIA	945.70	942.70	INT#DS1	INT#DS2	12"	40.00 0.51
INT#DS2	HARCO 12"	DIA	945.70	942.49	INT#DS2	INT#DS3	12"	40.00 0.51
INT#DS3	HARCO 12"	DIA	945.70	942.28	INT#DS3	INT#DS4	12"	40.00 0.51
INT#DS4	HARCO 12"	DIA	945.70	942.08	INT#DS4	INT#B2	12"	77.50 0.51
INT#DS5	HARCO 12"	DIA	944.70	941.70	INT#DS5	INT#DS6	12"	40.00 0.51
INT#DS6	HARCO 12"	DIA	944.70	941.49	INT#DS6	INT#DS7	12"	40.00 0.51
INT#DS7	HARCO 12"	DIA	944.70	941.29	INT#DS7	INT#DS8	12"	40.00 0.51
INT#DS8	HARCO 12"	DIA	944.70	941.09	INT#DS8	INT#C2	12"	78.00 0.51
INT#DS9	HARCO 12"	DIA	944.70	941.09	INT#DS9	INT#DS10	12"	40.00 0.51
INT#DS10	HARCO 12"	DIA	944.70	941.30	INT#DS10	INT#DS9	12"	40.00 0.51
INT#DS11	HARCO 12"	DIA	944.70	941.50	INT#DS11	INT#C2	12"	76.70 0.51
INT#DS12	HARCO 12"	DIA	944.70	941.70	INT#DS12	INT#C2	12"	76.70 0.51

SANITARY SEWER TABULATIONS

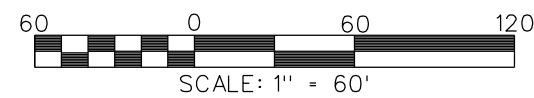
SANITARY SEWER MANHOLES			PIPES	FROM	TO	LENGTH	DIA	SLOPE(%)
INSTALL SSMH#1	INSTALL SSMH#6	INSTALL SSMH#10	PSS-1	SSMH#1	SSMH#2	321.34	8	2.94
RM-955.08	RM-938.46	RM-954.62	PSS-2	SSMH#2	SSMH#3	321.34	8	1.32
FLW-947.08	FLN-930.46	FLN-946.52	PSS-3	SSMH#3	SSMH#4	148.78	8	3.74
		FLS-946.62	PSS-4	SSMH#4	SSMH#5	192.58	8	3.76
INSTALL SSMH#2			PSS-5	SSMH#11	SSMH#10	150.50	8	0.55
RM-945.75	INSTALL SSMH#7	INSTALL SSMH#11	PSS-6	SSMH#10	SSMH#9	144.66	8	1.25
FLE-937.75	RM-944.47	RM-955.45	PSS-7	SSMH#9	SSMH#8	120.57	8	1.997
FLW-937.65	FLN-936.47	FLN-947.45	PSS-8	SSMH#8	SSMH#7	218.76	8	2.62
			PSS-9	SSMH#7	SSMH#6	183.37	8	3.22
INSTALL SSMH#3	FLW-936.37	INSTALL SSMH#12	PSS-10	SSMH#6	SSMH#5	149.55	8	6.65
RM-941.64		RM-948.85	PSS-11	SSMH#13	SSMH#12	148.295	8	0.5
FLE-933.42	INSTALL SSMH#8	RM-938.25	PSS-12	SSMH#12	SSMH#11	317.25	8	0.5
FLS-933.32	RM-950.30	FLN-938.15	PSS-13	SSMH#15	SSMH#14	150.91	8	1.22
	FLN-942.20		PSS-14	SSMH#14	SSMH#8	300.27	8	1.22
INSTALL SSMH#4	FLW-942.20	INSTALL SSMH#13	PSS-15	SSMH#5	EXISTING	143.35	10	0.5
RM-935.76		RM-946.85						
FLS-927.76		FLS-939.00						
FLS-927.66	INSTALL SSMH#9							
	RM-952.85	INSTALL SSMH#14						
INSTALL SSMH#5	FLS-944.71	RM-954.13						
RM-934.60	FLN-940.61	FLN-946.07						
FLN-920.42		FLS-945.97						
FLS-920.42								
FLW-920.32		INSTALL SSMH#15						
		RM-954.83						
		FLS-946.83						
		EXISTING SSMH#						
		RM-930.54						
		NV-919.80						
		FLE-919.80						

SANITARY NOTES

- ONE WEEK PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - CITY OF INDIANOLA
 - ALL UTILITY COMPANIES
 - Developer
 - Engineer
- ALL MATERIALS AND CONSTRUCTION ARE TO BE IN STRICT COMPLIANCE WITH THE INDIANOLA SPECIFICATIONS FOR SUBDIVISIONS INCLUDING THE LATEST REVISIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES AND WHETHER ADDITIONAL UTILITIES OR STRUCTURES EXIST AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL EITHER RECONNECT OR CONNECT TO STORM SEWER, ANY FIELD TILE INTERCEPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE CITY OF INDIANOLA WHEN FIELD TILE IS ENCOUNTERED.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING "AS-BUILT" INFORMATION FOR ALL NEW CONSTRUCTION. RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT UP TO DATE AS THE WORK PROGRESSES. THE ORIGINAL RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- ALL FILL AREAS, TRENCH BACKFILL AND PAVING SUBGRADE ARE TO BE COMPACTED TO A MINUM OF 95% STANDARD PROCTOR WITH A MOISTURE CONTENT BETWEEN OPTIMUM AND +4%.
- ALL DEBRIS SPILLED ON PUBLIC STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY ESTIMATE AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- ALL SANITARY SERVICES AND STUB OUTS FROM MANHOLES SHALL BE CAPPED
- ALL SANITARY SEWER MANHOLES SHALL HAVE TYPE "A" CASTINGS UNLESS OTHERWISE SPECIFIED
- PROVIDE SANITARY SEWER SERVICE RISER AS REQUIRED BY THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL MARK SANITARY SEWER MANHOLES AND SANITARY SEWER SERVICES WITH STEEL FENCE POSTS. TOP ONE FOOT OF POSTS MARKING SERVICES IS TO BE PAINTED GREEN. POSTS MARKING SANITARY MANHOLES ARE TO BE PAINTED GREEN FROM TOP OF POST TO GRADE.
- SANITARY MANHOLES ARE TO BE FURNISHED WITHOUT STEPS.
- SANITARY MANHOLE TYPE "A" CASTINGS ARE TO BE BOLTED TO THE TOP OF THE MANHOLE USING A MINIMUM OF TWO (2) 1/2" STEEL ANCHOR RODS.
- CRETEX PRO-RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO GRADE. NO MORE THAN 12" OF RINGS TO BE USED.
- ALL SANITARY SEWERS SHALL BE CLEANED AND TELEVIEWED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- ALL SANITARY SEWERS SHALL BE MANDREL TESTED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- ALL SANITARY SEWER MANHOLES SHALL BE AIR TESTED AT CONTRACTOR'S EXPENSE PRIOR TO FINAL APPROVAL.
- A CITY REPRESENTATIVE SHALL BE ONSITE WHEN MANDREL AND AIR TESTING IS PERFORMED.
- CONTRACTOR SHALL MAINTAIN 12% SLOPES ON ALL SANITARY SERVICES TO PROVIDE MAXIMUM DEPTH AT SERVICE END.
- ALL MANHOLES SHALL CONTAIN A CONCRETE ADMIXTURE (CONIMIC) SHIELD ANTI-BACTERIAL ADMIXTURE AS MANUFACTURED BY CONSHIELD TECHNOLOGIES, INC., OR APPROVED EQUAL.
- TRACER WIRE SHALL BE INSTALLED FOR ALL SANITARY SEWER FORCE MAINS.

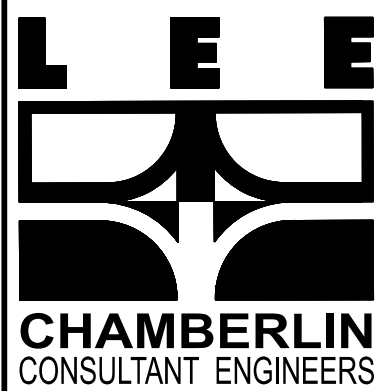
NOTES:

- TRAIL EASEMENT TO BE CONVEYED AT THE TIME OF SITE PLAN APPROVAL BY CITY COUNCIL.
- THE CAVITT CREEK PROJECT HAS EXCESS DIRT MATERIAL AND WILL BE HAULED ACROSS NORTH NINTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STREET AND CLEAN UP.
- ALL DRIVEWAYS/PARKING IN FRONT OF UNITS SHALL BE 7" THICK PCC BUILT TO SUDAS SPECIFICATION



DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA



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mlee@leeengineers.com

DRAWING TITLE:

SITE PLAN

DRAWN BY:	JCP
CHECKED BY:	MJL
DATE:	08-23-19
JOB NO.	19017
SHEET	C02



DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
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CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA

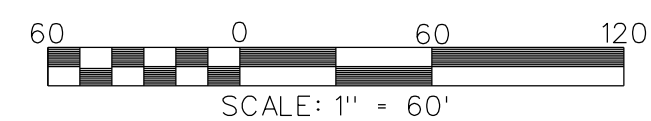
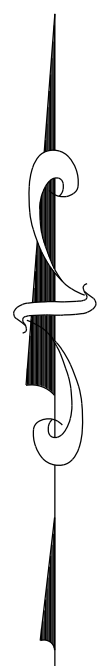
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mlcoe@leechamberlinengineers.com

DRAWING TITLE:

GRADING
PLAN

DRAWN BY:	JGP
CHECKED BY:	MLL
DATE:	08-23-19
JOB NO.	19017
SHEET	C03

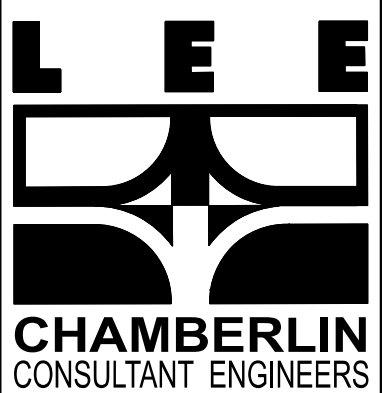


PLANT MATERIAL SCHEDULE							
KEY	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	HGT & SPREAD	GROWTH	REMARKS
OVERSTORY – DECIDUOUS							
D1	0	ACER NIRMAL	BLACK MAPLE	2' CAL	75x60	MODERATE	
D3	0	CELTIS OCCIDENTALIS	HAWTHORN	2' CAL	75x50	MODERATE	
D3	0	BETULA NUBA	RIVER BIRCH	2' CAL	65x40	FAST	
D4	0	QUERCUS RUBRA	RED OAK	2' CAL	75x60	MODERATE	
D5	32	ACER RUBRA	RED SWEET MAPLE	2' CAL	75x50	FAST	
D6	36	QUERCUS BICOLOR	SWAMP WHITE OAK	2' CAL	65x45	FAST	
D7	9	TILIA CORDATA	LITTLE LEAF LINDEN	2' CAL	60x40	MODERATE	
OVERSTORY – EVERGREEN							
E1	0	PRUNUS SP. SYMBIO	SCOTCH PINE	6' TALL	65x50	FAST	
E2	0	PICEA PRAENSIS ALABICA	COLORADO BLUE SPRUCE	6' TALL	40x25	SLOW	
E3	0	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	6' TALL	25x10	SLOW	
E4	0	PICEA ABIES	NORWAY SPRUCE	6' TALL	40x25	SLOW	
ORNAMENTAL – DECIDUOUS							
D01	44	CERCIS CANADENSIS	REDBUD	1' CAL	30x20	MODERATE	
D02	94	MALUS SP	SPRING SNOW CRAB	1' CAL	25x20	MODERATE	
D03	40	ACER PLATANOIDES "COLONNARE"	COLONNAR NORWAY MAPLE	1' CAL	40x10	MODERATE	
SHRUBBERY							
S1	29	CHAMAECYSTIS AQUILIFOLIA	KARL FOEBSTER	3 GAL	4"x2"		
S2	146	BURNING SPERBERGII	BORWICK	15" TALL	5"x3"		
S3	121	PRUNUS ARMATA "GRO-LOW"	FRAGRANT YUWING	1 GAL	1"x6"		
S4	72	SPREA JAPONICA	JAPANESE MEADOWSWEET	1 GAL	4"x6"		
S5	31	PRUNUS CISTEA	FLOWERING PLUM	3" TALL	8"x6"		
S6	16	ELONVIGIA ALATA "COMPACTUS"	DWARF-WINGED BURNING BUSH	1 GAL	6"x6"		
TURF							
SOIL: MIXTURE OF BLUEGRASS/RYE; 5 FOOT BORDER AROUND ALL NEW PAVED AREAS; 10' BORDER AROUND BUILDING							
SEED: MIXTURE OF BLUEGRASS/RYE TO BE APPLIED TO ALL DISTURBED LAWN AREAS NOT RECEIVING SOIL.							
NOTE: MULCH AROUND ALL TREES AND SHRUBS AND IN PLANTING BEDS.							
STORM WATER DETENTION AREA.							
PLANT MATERIALS TO INCLUDE A MIX MOISTURE TOLERANT FLOWERS AND GRASSES AND TURF GRASSES.							

*OPEN SPACE:
SITE AREA(669,250 SF) x REQUIRED OPEN 10% = REQUIRED OPEN AREA(66,925 SF)
OPEN SPACE 275,198 S.F.(41.1%), IMPERVIOUS SPACE 394,052 S.F.(58.9%)

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
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3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:

LANDSCAPE

DRAWN BY:
JGP

CHECKED BY:
MLL

DATE:
08-23-19

JOB NO.

19017

SHEET

CO4

CAVITT CREEK CONDOMINIUMS II
INDIANOLA, WARREN COUNTY, IOWA

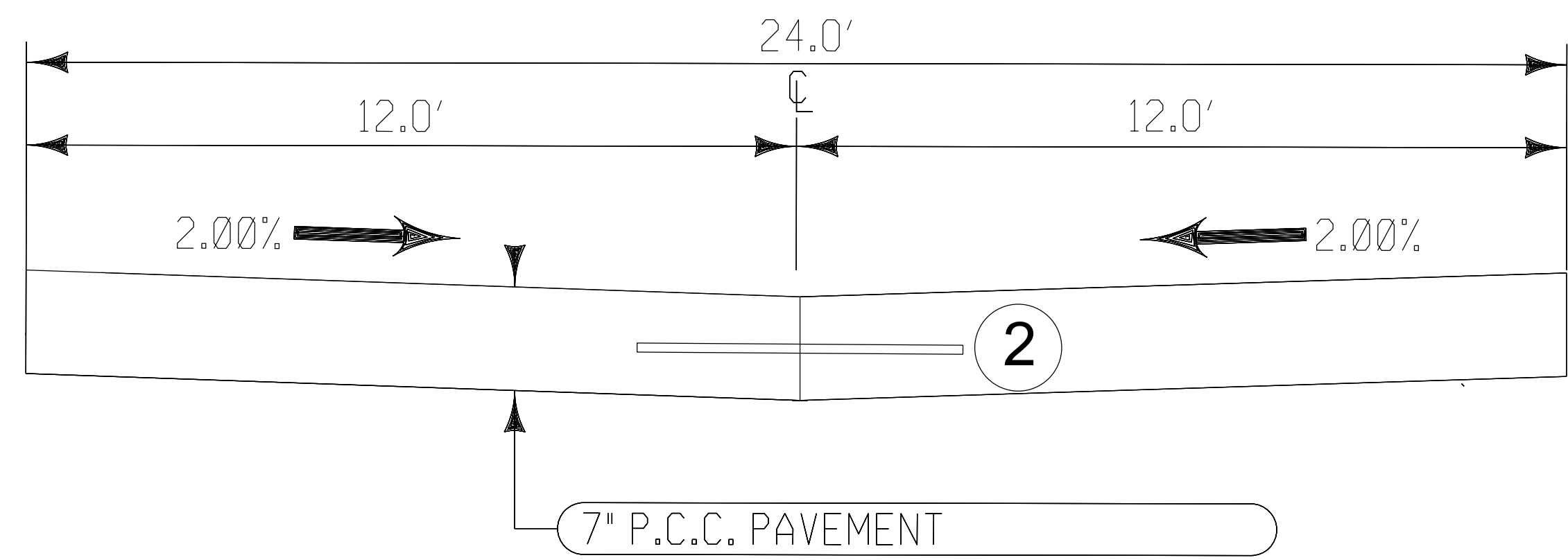
L E E
CHAMBERLIN
CONSULTANT ENGINEERS
3117 115TH STREET
VAN METER, IOWA 50261
TELE: (515) 669-4188
EMAIL ADDRESS:
mlee@leechamberlinengineers.com

DRAWING TITLE:

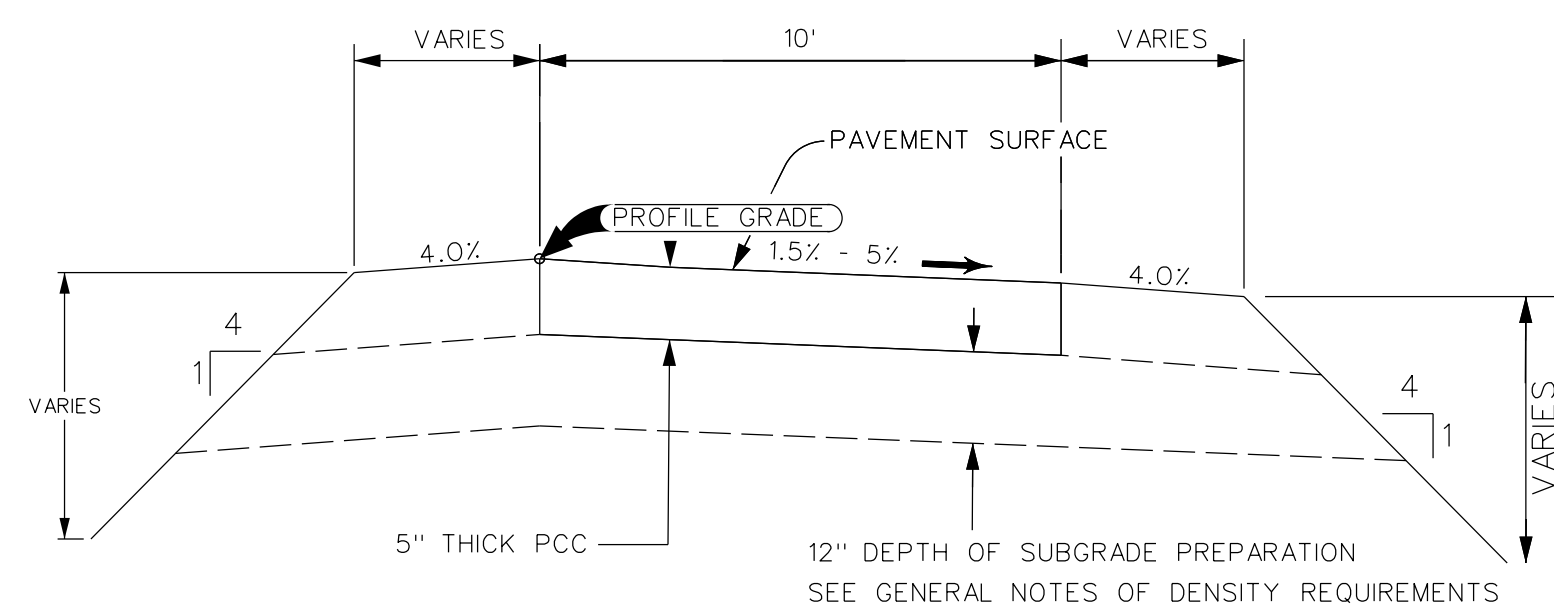
EROSION

DRAWN BY:
JGP
CHECKED BY:
MLL
DATE:
08-23-19
JOB NO.
19017
SHEET
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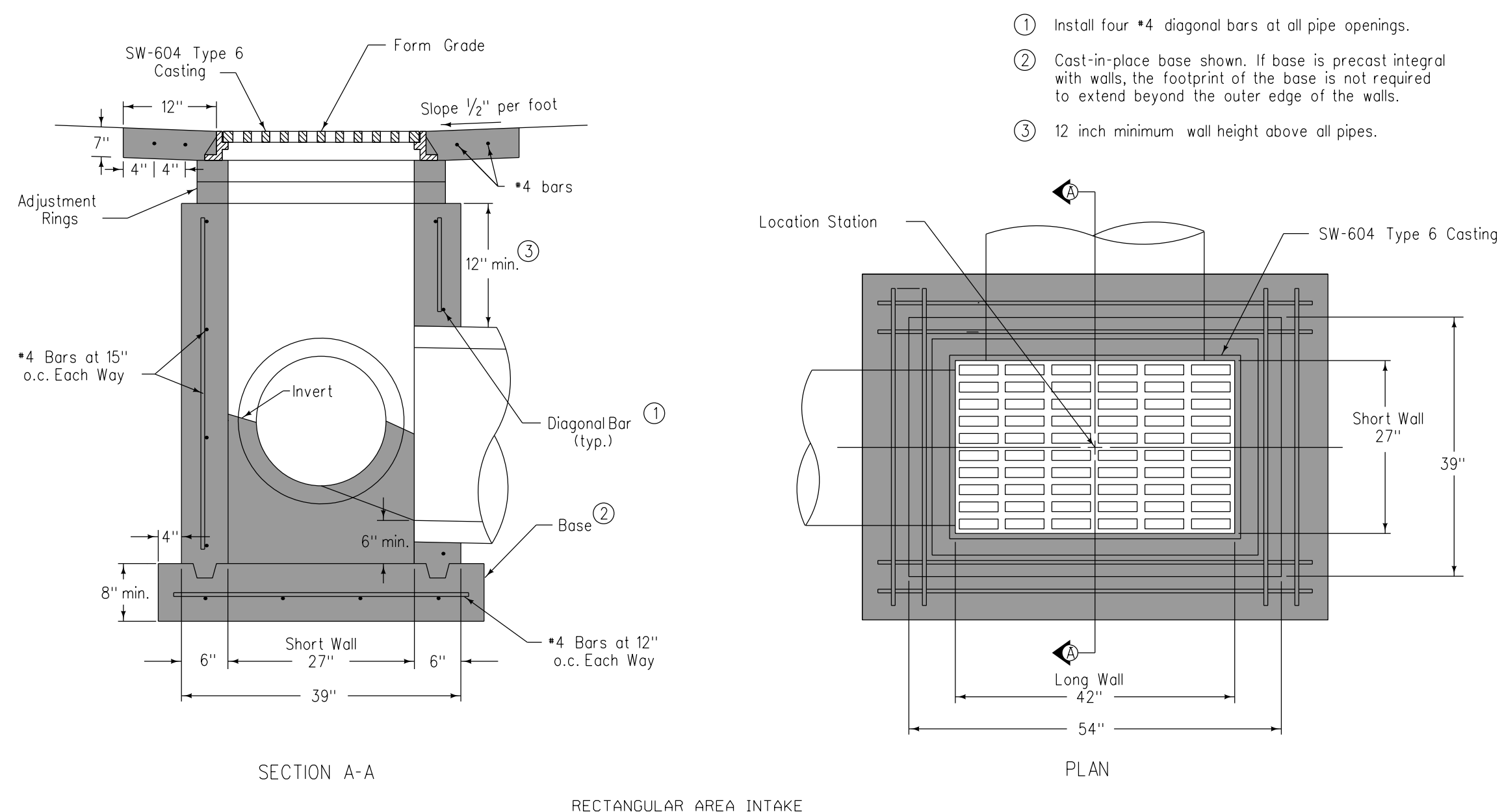
TYPICAL CROSS SECTION - PRIVATE DRIVE
 7" P.C.C. INVERTED CROWN PAVEMENT DETAIL
 2, BT, KT, OR L JOINT DEPENDING UPON CONSTRUCTION SEQUENCE.



TYPICAL TRAIL CROSS SECTION

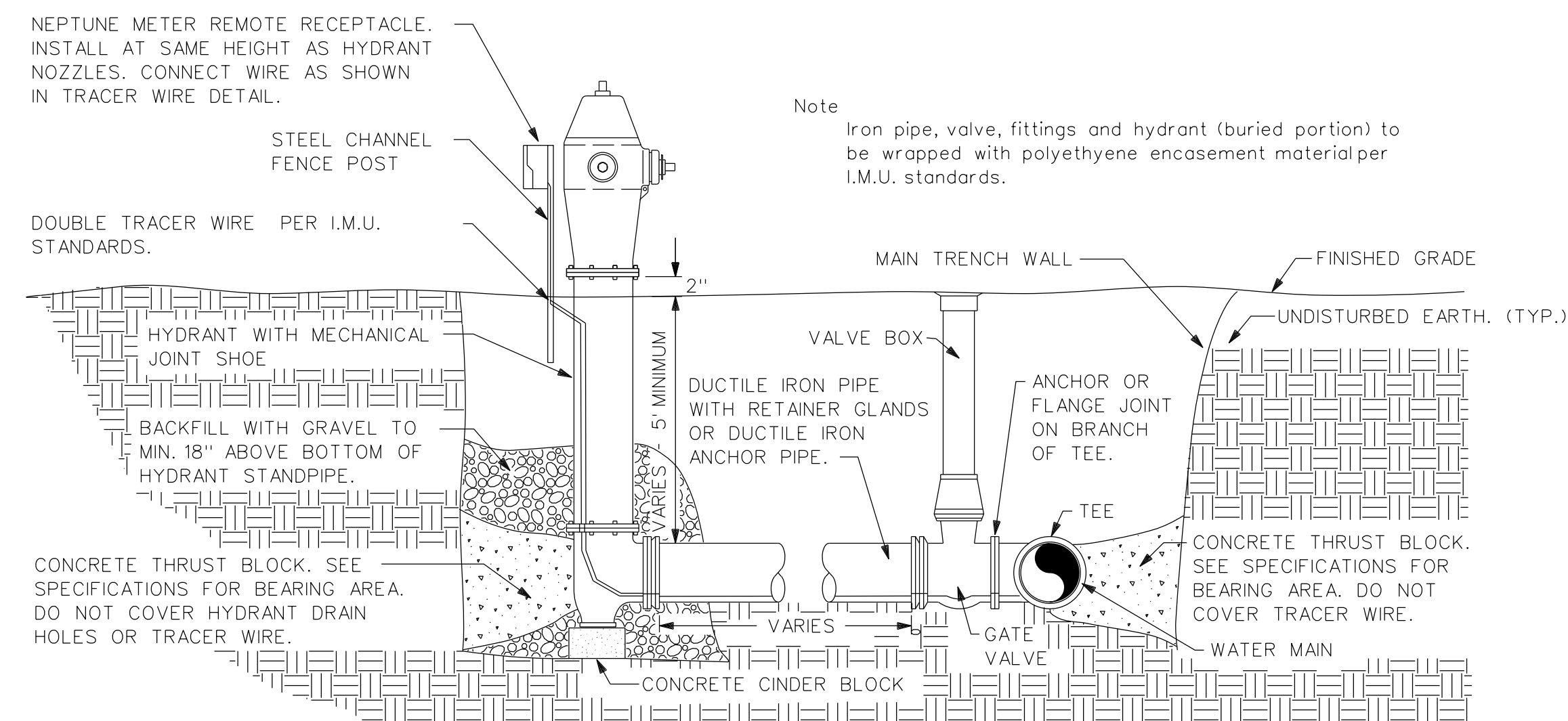
JOINTS SHALL BE 1' JOINTS FOR PAVEMENT THICKNESS LESS THAN 8"
 JOINT SPACING 12' TRANSVERSE JOINT SPACING FOR PAVEMENT THICKNESS LESS THAN OR EQUAL TO 8".

NEENAH R-3396 OR EQUAL



MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

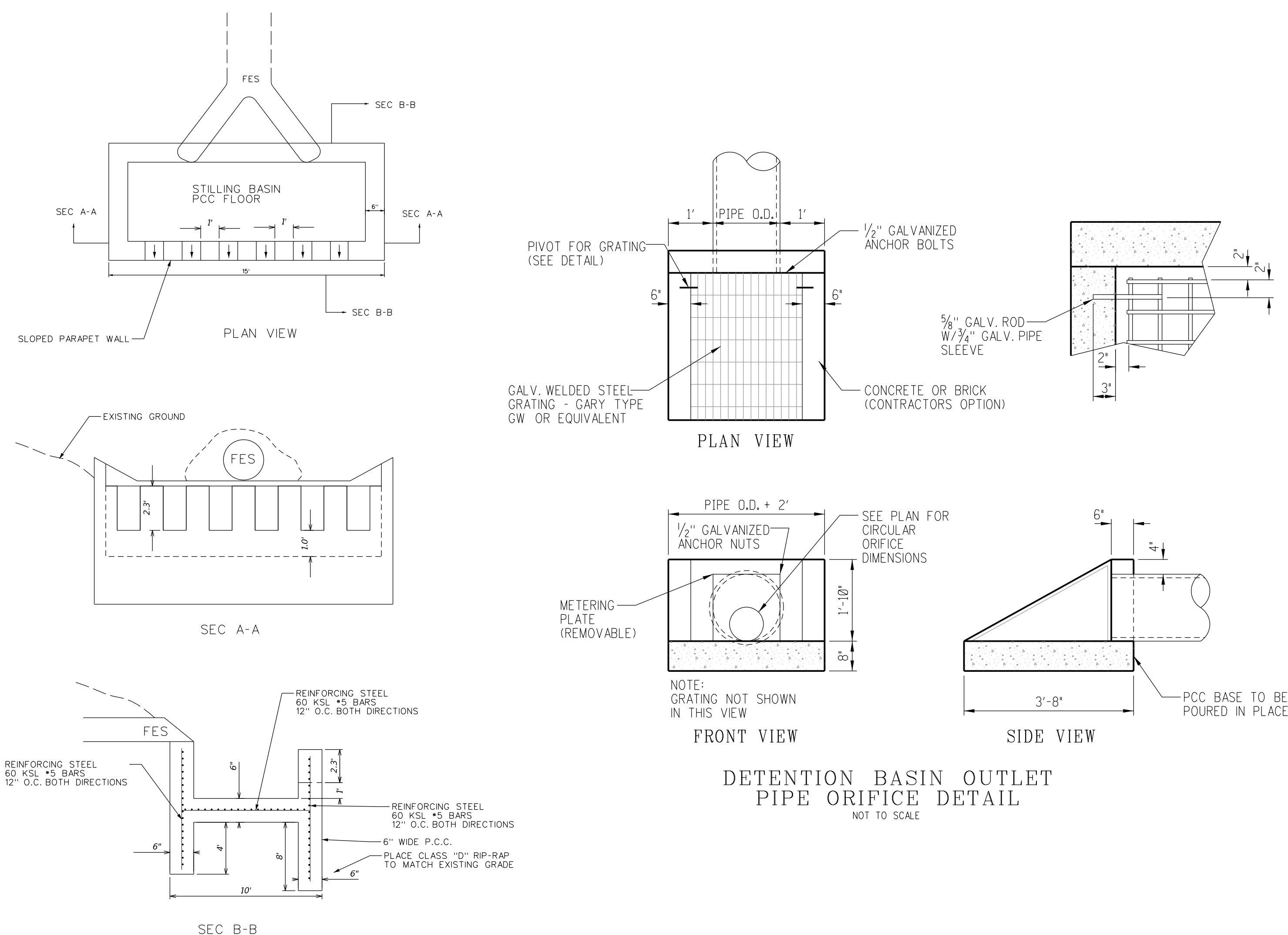
Type "M-H" Intake, SW-511 - MOD. (12-11-17)



FIRE HYDRANT STANDARD
 Not to Scale

STILLING BASIN

Not to Scale



DETENTION BASIN OUTLET PIPE ORIFICE DETAIL

NOT TO SCALE

DESIGN START DATE:	01-01-18
DATE PLOTTED:	04-11-18
PRELIMINARY FIELD WORK COMPLETED:	04-09-18
FIELD BOOK NO.	1018-01

CAVITT CREEK CONDOMINIUMS II
 INDIANOLA, WARREN COUNTY, IOWA



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SHEET	

C06



August 30, 2019

COMMUNITY DEVELOPMENT

«DEEDHOLD»
«DEEDADDR1»
«DEEDADDR3»

Dear Property Owner:

YOU ARE HERBY NOTIFIED that Kading Properties LLC, has requested approval of the site plan and a final subdivision plat for Cavitt Creek Condominiums II, located on Outlot Y of Lincoln Ridge Plat 6. As you are a property owner within 200 feet of a proposed preliminary plat, you are being notified.

The Commission shall examine the site plan and the plat as to its compliance with City Code and the Comprehensive Plan of the City and submit a recommendation to the Council. The Council, upon receipt of the Commission's recommendation, shall by resolution grant approval or reject the site plan and plat.

The site plan and the final plat will be considered by the Planning and Zoning Commission at its meeting at 6:00 P.M. on September 10th, 2019, held in the Council Chambers of the Municipal Building of the City of Indianola, Iowa, located at 110 North 1st Street.

If you have any questions regarding this notification, please contact the Department of Community Development at (515) 961-9430 or by email at ComDev@indianolaiowa.gov.

Regards,

Charlie E. Dissell, AICP
Director of Community & Economic Development
City of Indianola



DEEDHOLD

ALBAUGH, GRAHAM M/KARI A
BANTZ, JULIE/JOHN
BERGGREN, JASON L/MARGARET
BLOOMFIELD ACRES LLC
CUNNINGHAM, ANTHONY/CHELSIE
DAVIDSON, KELLY/ELIZABETH
DITTMER, TRAVIS J
DOWNARD, ROBERT L/JENNIFER D
FREESE, ROBERT L REV TST/ FREESE, ELIZABETH H REV TST
GEIGER, DAVID/STACEY
GOERING PROPERTIES LLC
HOTCHKISS, DAVID S/JESSICA A
JAURON, JASON A/ANNETTE M
JOHANSEN ENTERPRISES LLC
JORDAN, CARY M/KATRINA L
KADING PROPERTIES LLC
LINCOLN RIDGE ESTATES LLC
LOVAN, VINCENT/MERISSA
MEADOR, MEREDITH/TYLER
MEHMEN, SHANE/MICHELLE
MEYER, APRIL/STEVEN
MYHRE, CHARLES E/LINDA L
OFFENBURGER, LINDSEY M/TYLER E
ORTON HOMES LLC
PINNACLE AGRICULTURE DIST INC
RICHARDSON, MICHAEL W/SARA E
SANTI, STEPHANIE D/BRIAN L
SIEBERSMA, TAMI J/JEFFREY R
WERLING, RYAN C/JULIE A
WILHELMI, MELISSA M/JAMES

DEEDADDR1

1308 N 9TH ST
1010 E MADISON AVE
1006 E MADISON AVE
7008 MADISON AVE
1002 E LINCOLN AVE
1004 E LINCOLN AVE
1007 E MADISON AVE
1102 MADISON AVE
603 E HILLCREST AVE
1000 E MADISON AVE
122 G76 HWY
1202 E MADISON AVE
1000 E LINCOLN
2929 WESTOWN PKWY STE 100
1002 E MADISON AVE
7008 MADISON AVE
7008 MADISON AVE
1008 E MADISON AVE
1101 E MADISON AVE
1104 E MADISON AVE
1103 E MADISON AVE
1402 N 9TH ST
1003 E MADISON AVE
2208 WOODLAND PKWY
1880 FALL RIVER DRIVE SUITE 100
1105 E MADISON AVE
1005 E MADISON AVE
1004 MADISON AVE
1001 E MADISON AVE
1404 N 9TH ST

DEEDADDR3

INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
URBANDALE IA 50322
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
LACONA IA 50139
INDIANOLA IA 50125
INDIANOLA IA 50125
WEST DES MOINES IA 50266
INDIANOLA IA 50125
URBANDALE IA 50322
URBANDALE IA 50322
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
CLIVE IA 50325
LOVELAND CO 80538
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125
INDIANOLA IA 50125