



PLANNING AND ZONING COMMISSION MEETING

June 10, 2025

6:00 PM

City Council Chambers

Agenda

- 1. Call to Order**
- 2. Roll Call**
- 3. Agenda Approval**
 - A. Approval of the June 10, 2025 agenda.
- 4. Minutes Approval**
 - A. Approval of the April 22, 2025 meeting minutes.
- 5. Public Comment**
- 6. New Business**
 - A. Approval of a final plat for Pickard Commerce Park Plat 1.
 - B. Approval of a site plan for New Era Homes (304 South 21st St).
 - C. Approval of a site plan for Lot 12 of Pickard Commerce Park Plat 1.
- 7. Comments**
 - A. Building Permit Report
 - B. Current Projects
- 8. Adjourn**



PLANNING AND ZONING COMMISSION MEETING

April 22, 2025

6:00 PM

City Council Chambers

Minutes

1. Call to Order

The meeting was called to order at 6:00 PM.

2. Roll Call

Members present: Cortney Marmon, Sarah Ritchie, Al Farris, Carrie Woerdeman, Jake Vice, Rich Piper.

Members not present: Misty Darling, Lin Stecker, Justin Noethe.

Staff members present: Bill Mettee, Tara Bosteder.

3. Agenda Approval

A. Approval of the April 22, 2025 agenda.

Woerdeman made a motion to approve the agenda.

Vice seconded the motion.

Motion was passed.

4. Minutes Approval

A. Approval of the March 25, 2025 meeting minutes.

Farris made a motion to approve the meeting minutes.

Marmon seconded the motion.

Motion was passed.

5. Public Comment

There were no public comments.

6. New Business

A. Approval of Plat of Survey for Parcel B of Parcel A of Indianola Industrial Park Lot 11.

Mettee presented the plat of survey and the related staff report.

Farris made a motion to approve the plat of survey as presented.

Vice seconded the motion.

Motion was passed by a unanimous vote.

B. Approval of Vacation of Storm Sewer Easement in Emerald Bay Plat 1.

Mettee presented the vacation request and the related staff report.

The new lot is commercial retail use. Formerly, part of the parcel was for parks. The park area has been shifted and increased in size. A few row homes have been removed to do so. Trails have remained the same. The storm sewer easement has been shifted to the West. The new commercial lot is being stretched to accommodate a customer. This area does not need to be rezoned for this as it is already zoned as Planned Unit Development (PUD), which allows for the mixed use. No notifications were sent or required as this is just a change to the final plat and not a change to the zoning. If a drastic change to the concept plan would have occurred, a review would have to be completed by staff and the plan presented to this Commission.

Vice made a motion to approve the vacation of storm sewer easement as presented.

Marmon seconded the motion.

Motion was passed by a unanimous vote.

C. Approval of a Final Plat for Emerald Bay Plat 2.

Mettee presented the final plat and the related staff report.

Marmon made a motion to approve the final plat as presented.

Ritchie seconded the motion.

Motion was passed by a unanimous vote.

D. Approval of a Final Plat for Simpson Athletics Plat 1.

Mettee presented the final plat and the related staff report.

The storm water basin is not right next to the trail. It is up the hill from the trail.

Exterior building materials will be similar to the structure proposed on Summercrest. Glass is currently only proposed on one side. The setback requirement for this building from the road is a minimum of 35 feet and it currently exceeds that requirement.

The maximum building height in this district is 40 feet. There is 15 feet of elevation from the road to this building, and the building itself is 29 foot tall.

Vice made a motion to approve the final plat as presented.

Farris seconded the motion.

Motion was passed by a unanimous vote.

E. Approval of a Site Plan for Simpson Athletics Training / Competition Facility.

Mettee presented the site plan and the related staff report.

Ritchie made a motion to approve the site plan as presented.

Vice seconded the motion.

Motion was passed by a unanimous vote.

F. Consider and possible approval of amendments to Code of Ordinances of Indianola, Iowa.

Mettee presented the proposed code amendments.

With the proposed code amendment to code section 170.05(1)(B) - Preliminary Plat Procedures, the Commission agrees to strike the mailing, but would like to see the addition of

an on-site notice.

All other amendments were discussed and agreed to by the Commission.

Vice made a motion to approve the code amendments with changes as discussed by the Commission.

Ritchie seconded the motion.

Motion was passed by a unanimous vote.

7. Comments

A. Building Permit Report

There were no comments on the building report.

B. Current Projects

There were no updates to any current projects.

Commissioner Farris asked staff to review the ordinance(s) as related to the inclusion of parks within new developments, or a fee in lieu of, and ensure that those fees or plans are applied to new parks and not towards the maintenance of existing parks.

The Commission also added that a park area ratio and addition of verbiage to include playground equipment should be considered.

Mettee included that the City of Indianola's current parkland dedication ordinance does allow fees in lieu of parkland dedication to acquire parkland within a half mile of the proposed development.

From 171.06(3): In lieu of dedicating parkland, the developer may request the ability to make a cash payment into a fund to be used for future park improvements or park land acquisition for a park facility that is within ½ mile of the proposed development. The City Council shall evaluate this request giving due consideration to all of the factors listed in Section 171.05. The donation shall be no less than the minimum number of acres required. A mutually appointed Appraiser will determine parkland Fair Market Value. The Developer shall pay any expenses accrued in the determination of the payment amount. Payment in lieu shall be completed prior to development recording or issuance of building permits.

8. Adjourn

Farris made a motion to adjourn.

Ritchie seconded the motion.

The meeting was adjourned at 7:26 PM.



LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant / Undeveloped	Community Mixed Use / Industrial	C-2 (Highway Commercial District) and M-2 (General Industrial District)
North	Single-Family and Two-Family Residential	Low / Medium-Density Residential	R-2 (Single-Family Residential Attached District)
South	Agricultural	Community Mixed Use	A-1 (Agricultural / Open Space District)
East	Pickard Park	Parks and Recreation	A-1 (Agricultural / Open Space District)
West	Vacant / Undeveloped	Community Mixed Use	R-2 (Single-Family Residential Attached District)

PROJECT DESCRIPTION AND BACKGROUND

This parcel was recently rezoned from C-2 Highway Commercial to C-2 Highway Commercial and M-2 General Industrial. The original preliminary plat with eight lots was approved at the November 26, 2024 Planning and Zoning Commission meeting. The applicant submitted a revised preliminary plat showing an increase to 12 lots. This revised preliminary plat was approved at the February 25, 2025 Planning Commission meeting and the March 3, 2025 City Council meeting.

LOTS

The final plat identifies a total of 12 lots for commercial and industrial development and one outlot (Outlot X) to be used for stormwater detention. The four lots at the north end of the site are commercial and the eight lots at the south end of the site are industrial. The lots range in size from 1.00-acres to 1.86-acres in area. Outlot X is 1.77-acres in area. Street Lots A and B will be deeded to the City of Indianola for public right-of-way. All proposed lots meet or exceed the bulk regulations of their respective zoning districts.

Site plans have been submitted and are currently under review for Lot 2 and Lot 12 and are on this agenda for the Commission's consideration.

Table I below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table I: Bulk Regulations for the C-2 / M-2 Districts

Category	C-2 / M-2 (minimum)
Front Yard Setback	40 feet 35 feet
Rear Yard Setback	10 feet 35 feet
Side Yard Setback	10 feet 20 feet
Maximum Height Stories	50 feet

ACCESS AND STREETS

Access into the development will be provided off of Highway 92 on South 20th Street. The street extension aligns with the existing street to the north, per IDOT requirements and the signed MOU.

SIDEWALKS/TRAILS

A 5-foot-wide sidewalk will be constructed on each lot as they are developed. No trails are proposed. All pedestrian crossings will be installed with the plat improvements.

UTILITIES

The site will be serviced with all public utilities, Utilities will be extended as required to service the lots. Stormwater detention will be provided with a detention basin located at the sound end of the site. The detention basin will be privately owned and maintained by the association.

EASEMENTS

All easements have been shown and labeled on the plat. These include PUEs, Ingress/Egress, Sanitary Sewer, Storm Sewer and Snow Storage Easements. Landscape Buffer Easements are shown separating the commercial from industrial districts and from the adjacent agricultural districts to the east and west.

STAFF RECOMMENDATION

The final plat is in general conformance with the Zoning Ordinance, Subdivision Ordinance and Comprehensive Plan. Staff recommends approval of the final plat for Pickard Commerce Park Plat I subject to remaining staff comments.

PICKARD COMMERCE PARK PLAT 1

FINAL PLAT

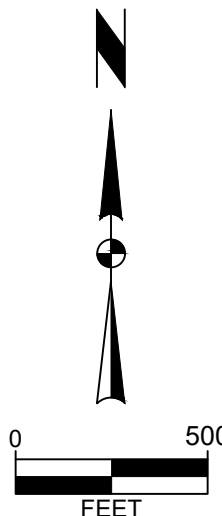
AREA ABOVE RESERVED FOR RECORDER

INDEX LEGEND

SURVEYOR'S NAME / RETURN TO:
ERIN D. GRIFFIN
SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020
E:GRIFFIN@SNYDER-ASSOCIATES.COM
SERVICE PROVIDED BY:
SNYDER & ASSOCIATES, INC.
SURVEY LOCATED:
PT. E1/2&W1/2 NE1/4, SW1/4
SEC. 26-76-23
REQUESTED BY:
I TOWN INVESTMENT GROUP LLC

NOTES

- STREET LOT 'A' AND 'B' TO BE DEDICATED TO THE CITY OF INDIANOLA AT THE TIME OF THE FINAL PLAT BEING RECORDED.
- UTILITY EASEMENTS SHALL CONVEY TO THE CITY, ITS SUCCESSORS AND ASSIGNS, THE PERPETUAL RIGHT WITHIN THE AREAS SHOWN ON THE PLAT AND DESCRIBED IN THE EASEMENT, TO CONSTRUCT, RECONSTRUCT, OPERATE AND MAINTAIN ELECTRIC LINES CONSISTING OF POLES, WIRES, CABLES, CONDUITS, FIXTURES, ANCHORS AND OTHER SIMILAR EQUIPMENT, INCLUDING THE RIGHT TO TRIM OR REMOVE TREES WITHIN SUCH AREAS WHERE NECESSARY TO SECURE A CLEARANCE OF 4 FEET FROM WIRES OR POLES, TOGETHER WITH THE RIGHT TO EXTEND TO ANY TELEPHONE, TELEGRAPH, ELECTRIC OR POWER COMPANY, THE RIGHT TO USE SEPARATELY OR JOINTLY WITH THE CITY, THE AREAS INCLUDED IN THE EASEMENT FOR THE PURPOSES ABOVE ENUMERATED.
- 5 FOOT SIDEWALKS ARE TO BE INSTALLED WITH INDIVIDUAL LOT DEVELOPMENT.
- OUTLOT X TO BE OWNED AND MAINTAINED BY HOMEOWNER ASSOCIATION. LANDSCAPE BUFFERS TO BE MAINTAINED BY HOMEOWNER ASSOCIATION.



VICINITY MAP

INDIANOLA, IOWA

PROPERTY DESCRIPTION

THE EAST HALF OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 AND A PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 76 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF INDIANOLA, WARREN COUNTY, IOWA DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF SAID SECTION 29; THENCE SOUTH 00°07'12" EAST ALONG THE EAST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 66.60 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EAST 2ND AVENUE AND TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°07'12" EAST ALONG SAID EAST LINE, 1,252.54 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 88°49'05" WEST ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 666.87 FEET TO THE SOUTHWEST CORNER OF SAID EAST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 00°08'56" WEST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 733.52 FEET; THENCE SOUTH 89°52'48" WEST, 68.03 FEET; THENCE NORTH 00°07'12" WEST, 60.00 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 8.00 FEET, WHOSE ARC LENGTH IS 12.57 FEET, AND WHOSE CHORD BEARS NORTH 44°51'56" EAST, 11.32 FEET; THENCE NORTH 00°08'56" WEST, 143.08 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 330.00 FEET, WHOSE ARC LENGTH IS 115.27 FEET, AND WHOSE CHORD BEARS NORTH 09°51'29" EAST, 114.68 FEET; THENCE NORTH 19°51'53" EAST, 99.33 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 270.00 FEET, WHOSE ARC LENGTH IS 19.76 FEET, AND WHOSE CHORD BEARS NORTH 17°46'05" EAST, 19.75 FEET TO SAID WEST LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 00°08'56" WEST ALONG SAID WEST LINE, 71.42 FEET TO SAID SOUTH RIGHT-OF-WAY LINE OF EAST 2ND AVENUE; THENCE NORTH 85°09'49" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 76.14 FEET; THENCE SOUTH 89°09'09" EAST CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, 591.52 FEET TO THE POINT OF BEGINNING AND CONTAINING 19.63 ACRES (855,276 S.F.).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

DATE OF SURVEY

04-15-2025

PROPERTY ADDRESS

2103 E 2ND AVENUE
INDIANOLA, IA 50125

PROPERTY OWNER

I TOWN INVESTMENT GROUP LLC
2103 E 2ND AVE
INDIANOLA, IA 50125

AREA SUMMARY

19.63 ACRES (855,276 SF)

ZONING

C-2: HIGHWAY COMMERCIAL DISTRICT
M-2: GENERAL INDUSTRIAL DISTRICT

BULK REGULATIONS

C-2 (LOTS 1-2, 11-12):
MINIMUM STREET FRONTAGE = 40'
FRONT YARD SETBACK = 40'
REAR YARD SETBACK = 10'
MINIMUM SIDE YARD SETBACK = 10'
MINIMUM BUILDING SEPARATION = 20'
MAXIMUM BUILDING HEIGHT = 50'
MINIMUM OPEN SPACE = 20%

M-2 (LOTS 3-10):
MINIMUM STREET FRONTAGE = 40'
FRONT YARD SETBACK = 35'
REAR YARD SETBACK = 35'
MINIMUM SIDE YARD SETBACK = 20'
MINIMUM BUILDING SEPARATION = 20'
MAXIMUM BUILDING HEIGHT = 50'
MINIMUM OPEN SPACE = 15%

FLOODPLAIN

THE FLOOD ZONE DESIGNATION FOR THE SUBJECT PROPERTY IS ZONE X, BEING AREA OF MINIMAL FLOOD HAZARD, AS PER THE FLOOD INSURANCE RATE MAP FOR THE CITY OF INDIANOLA, IOWA, PANEL NUMBER 19181C0285F, EFFECTIVE DATE NOVEMBER 16, 2018.

LEGEND

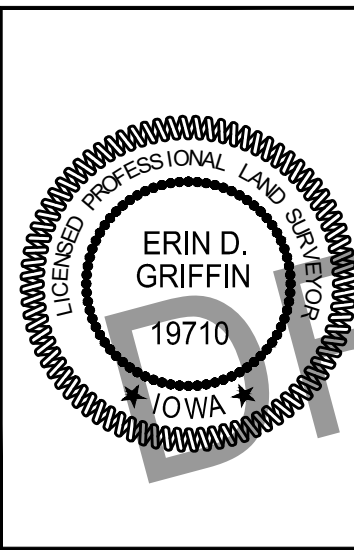
FEATURES

Section Corner
1/2" Rebar, Yellow Plastic Cap # 19710
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Yellow Plastic Cap
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

FOUND SET
● ○
H H
OCP
P
M
R
D
C
YPC

CURVE TABLE					
CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/LENGTH
C1	90°01'44"	8.00'	12.57'	8.00'	N44°51'56"E 11.32'
C2	20°00'48"	330.00'	115.27'	58.23'	N9°51'29"E 114.68'
C3	4°11'35"	270.00'	19.76'	9.88'	N17°46'05"E 19.75'
C4	19°46'55"	330.00'	113.94'	57.54'	S9°58'25"W 113.37'
C5	19°33'45"	270.00'	92.19'	46.55'	S10°05'03"W 91.74'
C6	90°00'00"	8.00'	12.57'	8.00'	N45°07'12"W 11.31'
C7	36°58'48"	62.00'	40.02'	20.73'	N18°36'33"W 39.33'
C8	53°01'14"	62.00'	57.37'	30.93'	N63°36'35"W 55.35'
C9	49°12'34"	62.00'	53.25'	28.39'	S65°16'31"W 51.63'
C10	111°44'42"	62.00'	120.92'	91.48'	S15°12'07"E 102.65'
C11	70°57'17"	33.00'	40.87'	23.52'	S35°35'50"E 38.31'
C12	19°35'08"	300.00'	102.55'	51.78'	S10°04'21"W 102.05'
C13	20°04'35"	296.32'	103.83'	52.45'	S9°52'57"W 103.30'

LINE TABLE		
LINE #	LENGTH (FT)	DIRECTION
L1	68.03	S89° 52' 48"W
L2	60.00	N00° 07' 12"W
L3	71.42	N00° 08' 56"W
L4	76.14	N85° 09' 49"E



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Erin D. Griffin, PLS Date
License Number 19710
My License Renewal Date is December 31, 2025
Pages or sheets covered by this seal:
Sheets 1 and 2, of 2

PICKARD COMMERCE PARK PLAT 1

FINAL PLAT

INDIANOLA, IA

SNYDER & ASSOCIATES, INC. I



Project No: 123.1125.01

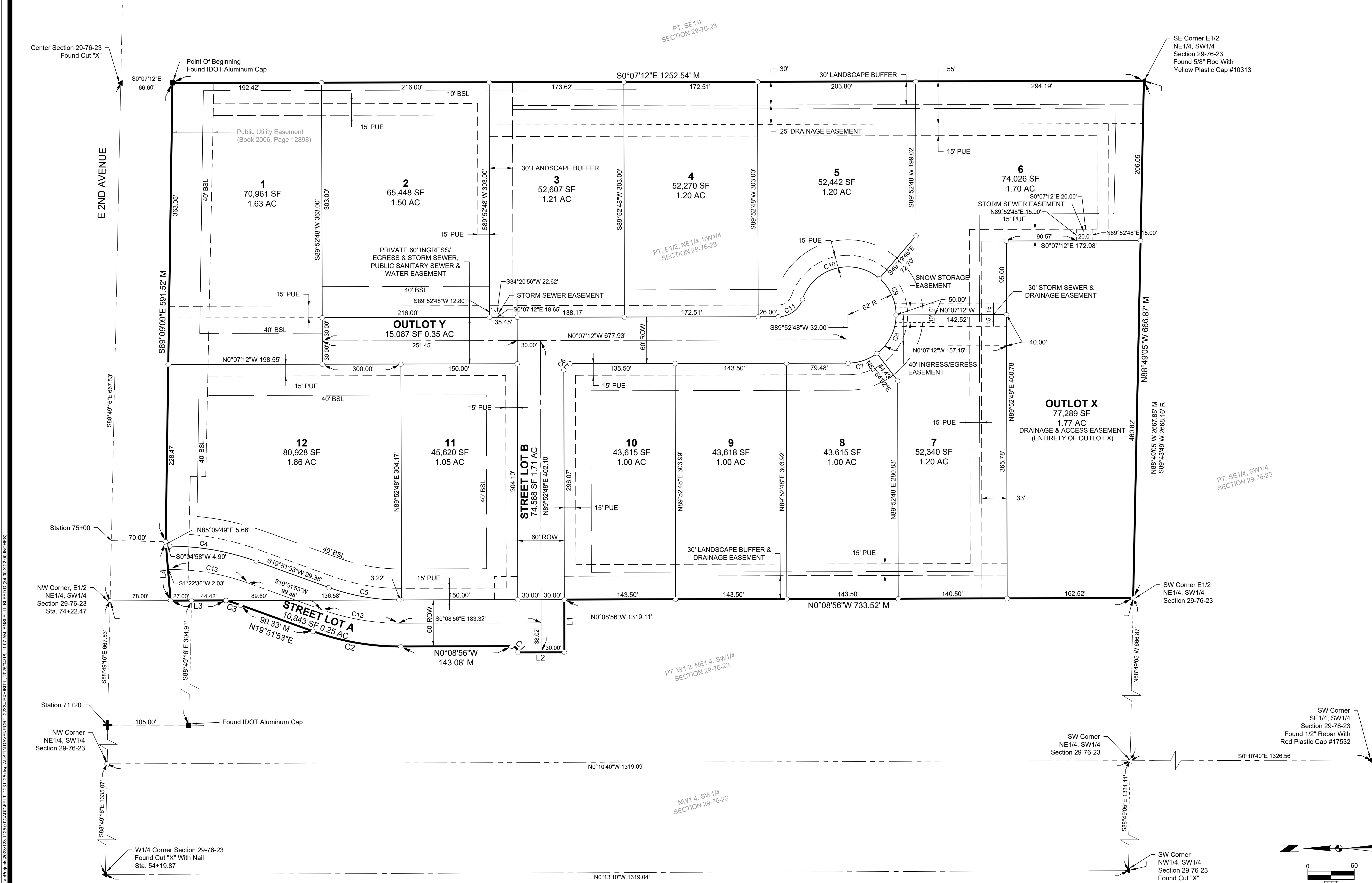
Sheet 1 of 2

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 123.1125.01

Sheet 1 of 2

PICKARD COMMERCE PARK PLAT 1
FINAL PLAT



PICKARD COMMERCE PARK PLAT 1		INDIANOLA, IA	
FINAL PLAT		SNYDER & ASSOCIATES, INC. I	
Project No: 123.1125.01		Sheet 2 of 2	
2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com		2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com	

SNYDER & ASSOCIATES

Project No: 123.1125.01

Sheet 2 of 2

1/10/2023 12:12:50 PM C:\PROJECTS\123.1125.01\DRAWING\PLAT 1.DWG ALISTIN DAVENPORT, 2/23/24 EXHIBIT L, 2025/04/18, 11:07 AM, ANSI FULL BLEED, 0.3400 X 22.00 INCHES



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: New Era Homes - Site Plan

PREPARED BY: Bill Mettee – Senior Planner

REPORT DATE: June 6, 2025

MEETING DATE: June 10, 2025

GENERAL INFORMATION

Applicant / Owner:

Cody Sinclair, New Era Homes

Owner's Representative:

Jason Ledden, PE, Snyder & Associates

Request:

The applicant is requesting approval of a site plan for a commercial development.

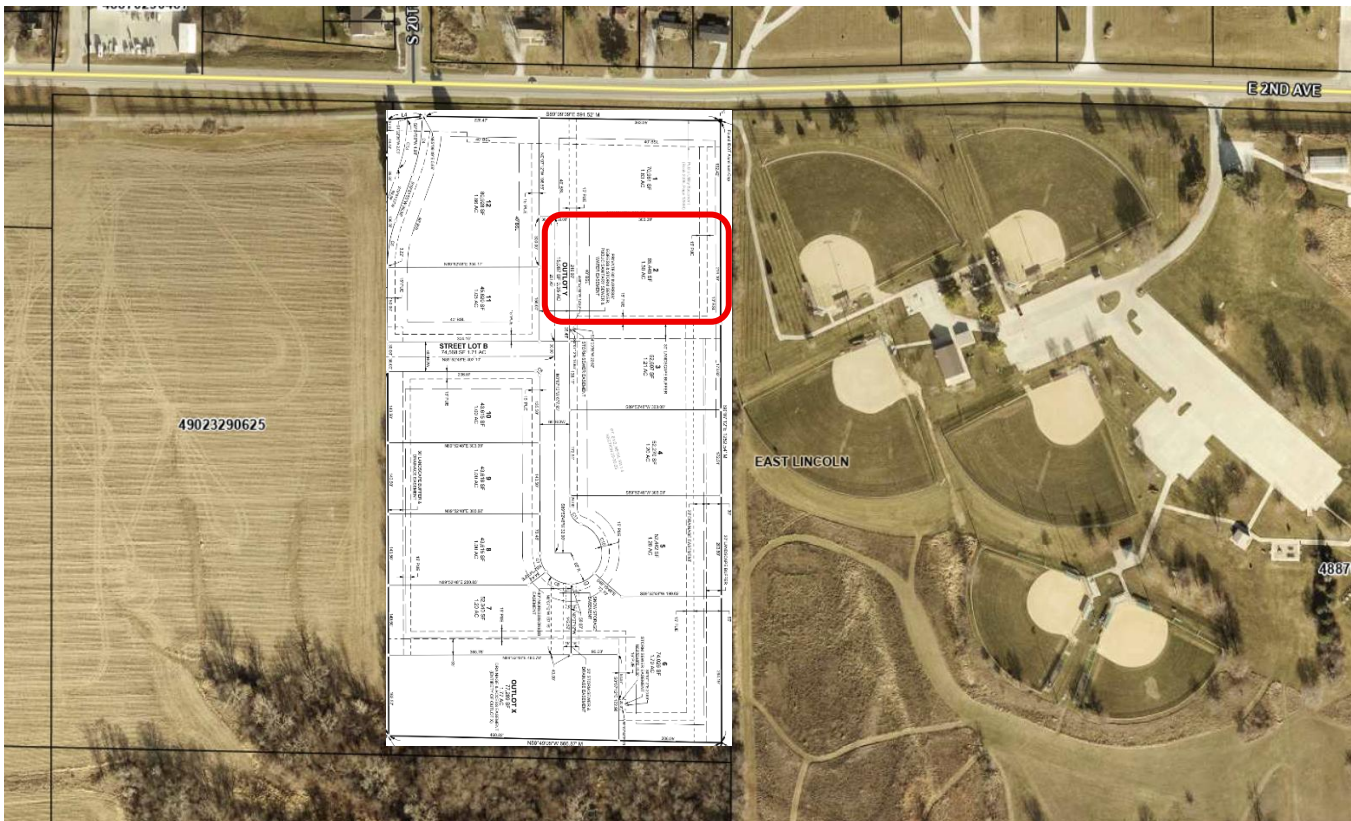
Location and Size:

Property is located south of Highway 92 and east of South 15th Street, containing approximately 1.50 acres.

Property Address:

304 South 21st Street

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant / Undeveloped	Community Mixed Use / Industrial	C-2 (Highway Commercial District) and M-2 (General Industrial District)
North	Single-Family and Two-Family Residential	Low / Medium-Density Residential	R-2 (Single-Family Residential Attached District)
South	Agricultural	Community Mixed Use	A-1 (Agricultural / Open Space District)
East	Pickard Park	Parks and Recreation	A-1 (Agricultural / Open Space District)
West	Vacant / Undeveloped	Community Mixed Use	R-2 (Single-Family Residential Attached District)

PROJECT DESCRIPTION

The applicant is proposing a site plan for a commercial development. The proposed site plan for consideration is for a construction sales and warehousing building that is approximately 60' x 190' and 12,920 square feet in area. The building will be approximately 23-feet in height. The subject parcel will be platted as Lot 2 of Packard Commerce Park Plat 1.

Table 1 below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table 1: Bulk Regulations for the C-2 Zoning District

Category	C-2 (minimum)
Front Yard Setback	40 feet
Rear Yard Setback	10 feet
Side Yard Setback	10 feet
Maximum Height Stories	50'

ACCESS AND PARKING

Access into the site will be from South 21st Street via access easement as the street will not continue to the north.

A total of nine parking spaces are required (1 space per 250 sq for construction sales and 1 space per 10,000 sf of warehousing) for the property. The applicant is providing 10 spaces, including one accessible space. The proposed site plan meets the parking requirements.

SIDEWALKS / TRAILS / TRAFFIC

A 5' sidewalk will be installed north from South 21st Street into the site for pedestrian access.

UTILITIES

The site will be serviced with public utilities, which exist and will be installed in the immediate vicinity. Stormwater detention will be provided in a basin at the south end of the site.

LANDSCAPING & OPEN SPACE

A minimum of 20% of the project area is required to be open space. The total amount of open space proposed is 47.7%. The plantings shown on the landscape plan meet the minimum requirements of the Landscape & Open Space Ordinance.

ELEVATIONS

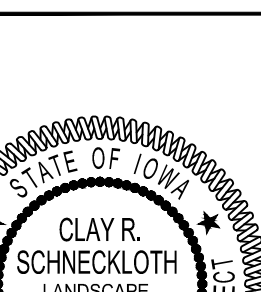
Colored building elevations are included for review. The building is proposed to be constructed of Class 3 metal panels, accent metal panels, stone veneer and windows. The elevations demonstrate compliance with the building design standards.

STAFF RECOMMENDATION

The proposed site plan is in general conformance with the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the site plan for New Era Homes subject to remaining staff comments.

SCALE: 1" = 500'

C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	DIMENSION AND UTILITY PLAN
C300	GRADING AND EROSION CONTROL PLAN
C400	PLANTING PLAN

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa. Jason A. Ledden, P.E. Date _____ License Number P24117 My License Renewal Date is December 31, 2024 Pages or sheets covered by this seal: _____ _____ _____ _____
	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa. Clay R. Schneckloth, PLA Date _____ License Number 512 Pages or sheets covered by this seal: _____ _____ _____ _____

License Expires: June 30, 2025

OWNER / DEVELOPER
NEW ERA HOMES
105 S 20TH STREET
INDIANOLA, IA 50125
CONTACT: CODY SINCLAIR
PHONE: 515-238-2877
EMAIL: CJS.NEWERAHOMES@HOTMAIL.COM

[illegible]

NEW ERA HOMES
TITLE SHEET
INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. | 2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com



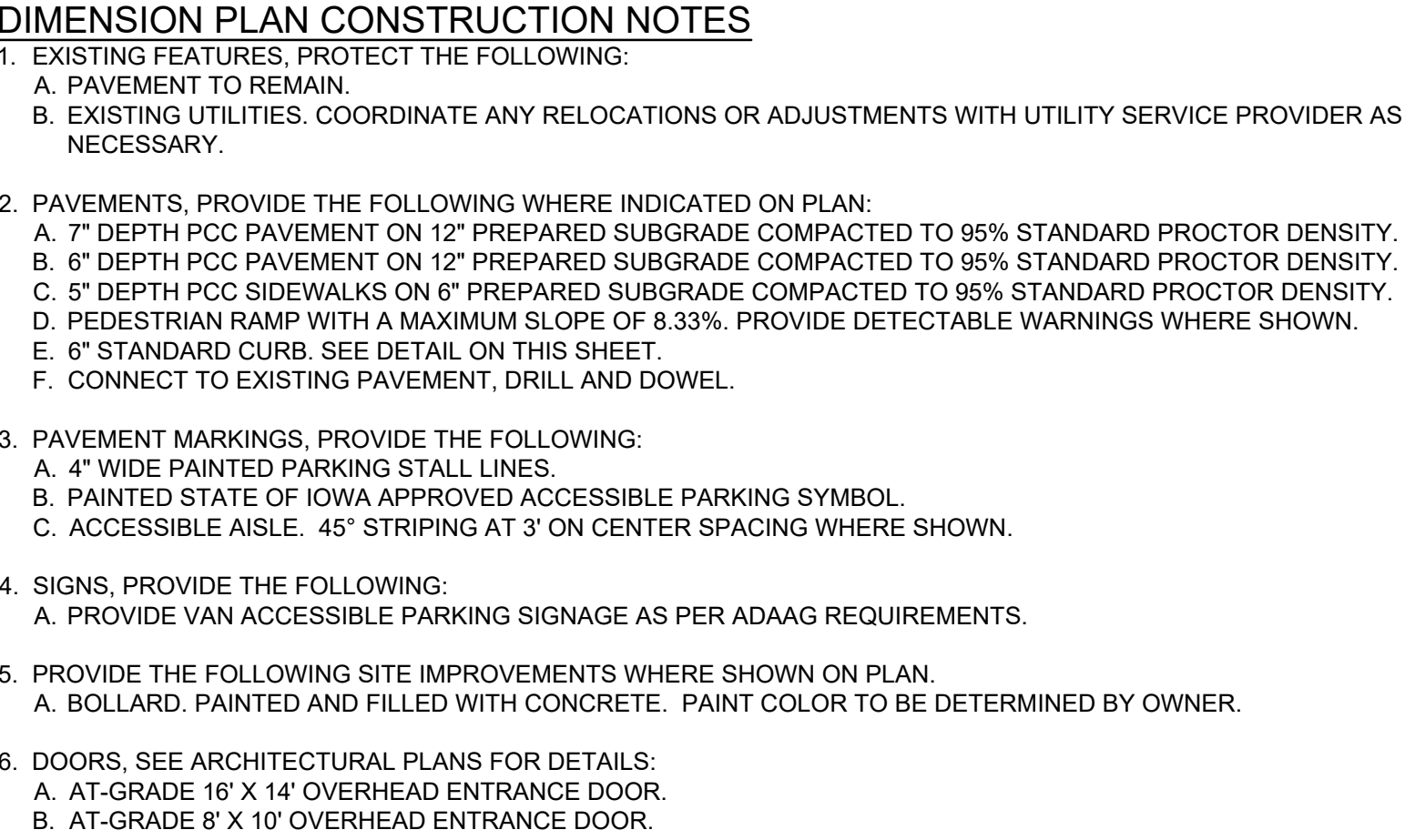
SNYDER
& ASSOCIATES

Project No:	125.0222.01
Sheet	C100

FRONT YARD SETBACK	=15
REAR YARD SETBACK	=10
SIDE YARD SETBACK	=10

k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

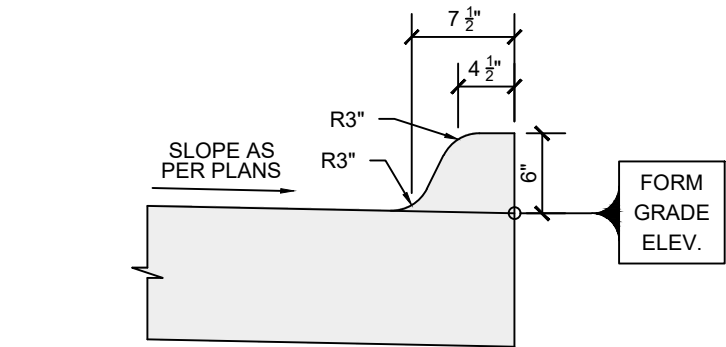
Project No:	125.0222.01
Sheet	C101



5" PCC SIDEWALK

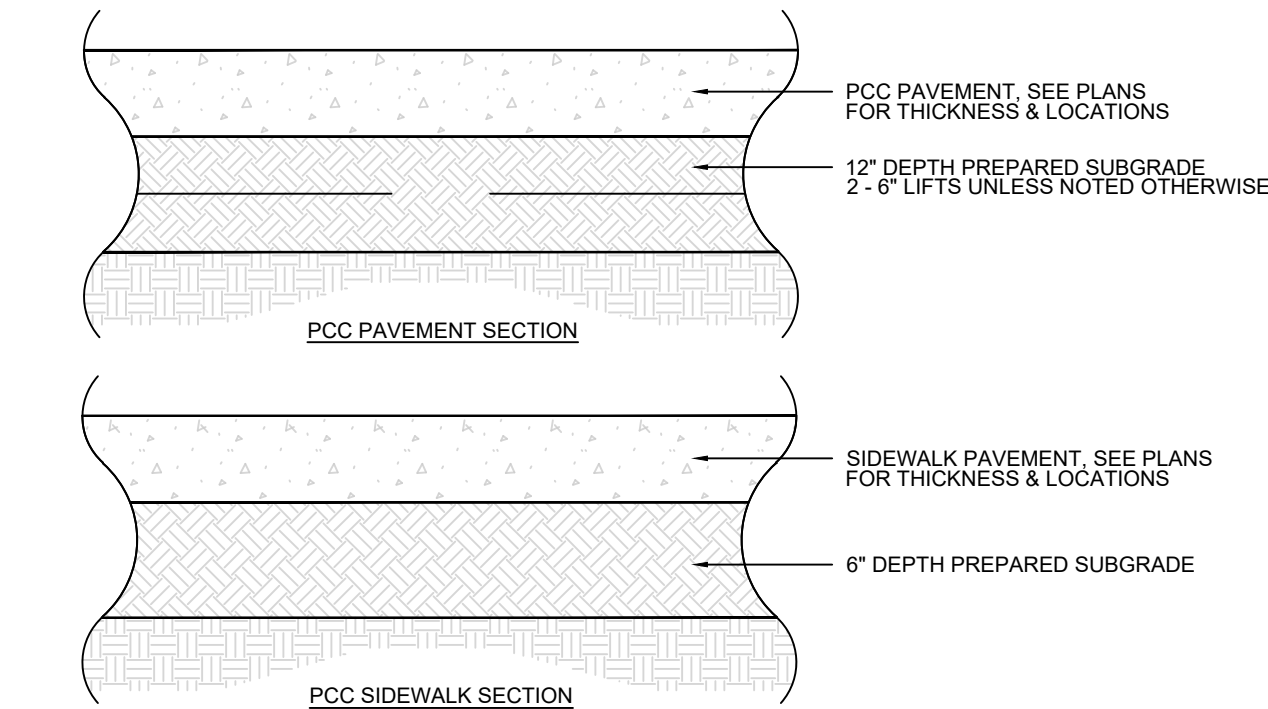
6" PCC PAVEMENT

7" PCC PAVEMENT

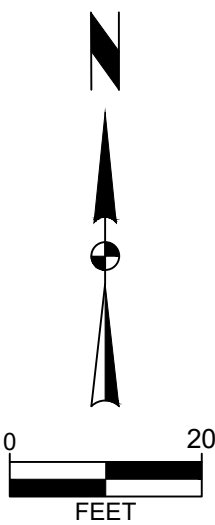


1
C200

6-INCH STANDARD CURB
NO SCALE



TYPICAL PAVEMENT CROSS SECTIONS

[illegible]

INDIANOLA, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

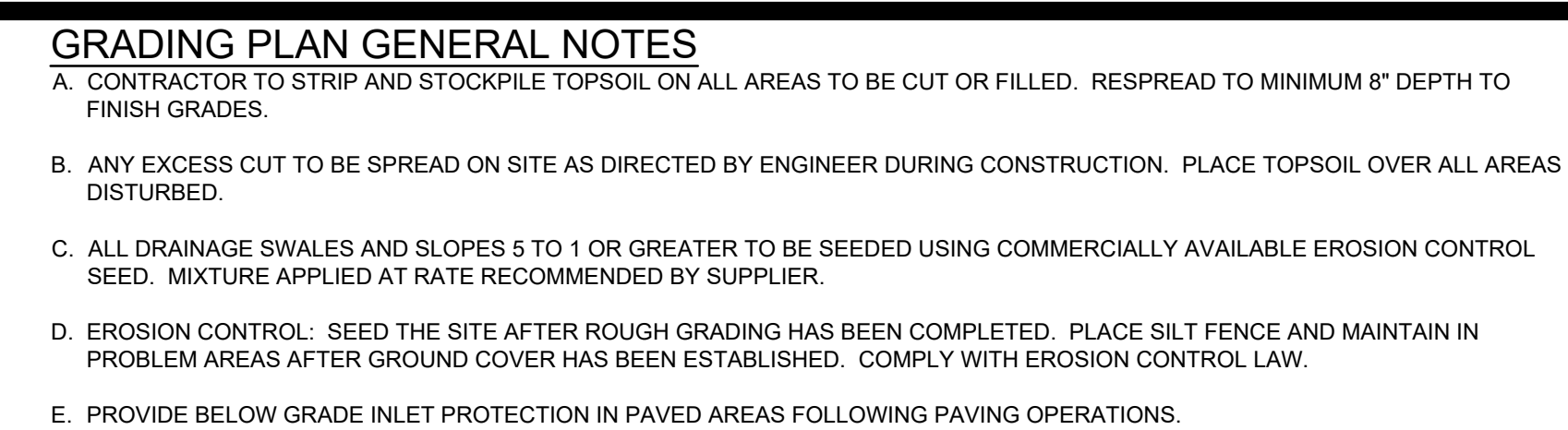
NEW ERA HOMES

DIMENSION PLAN

SNYDER & ASSOCIATES, INC.

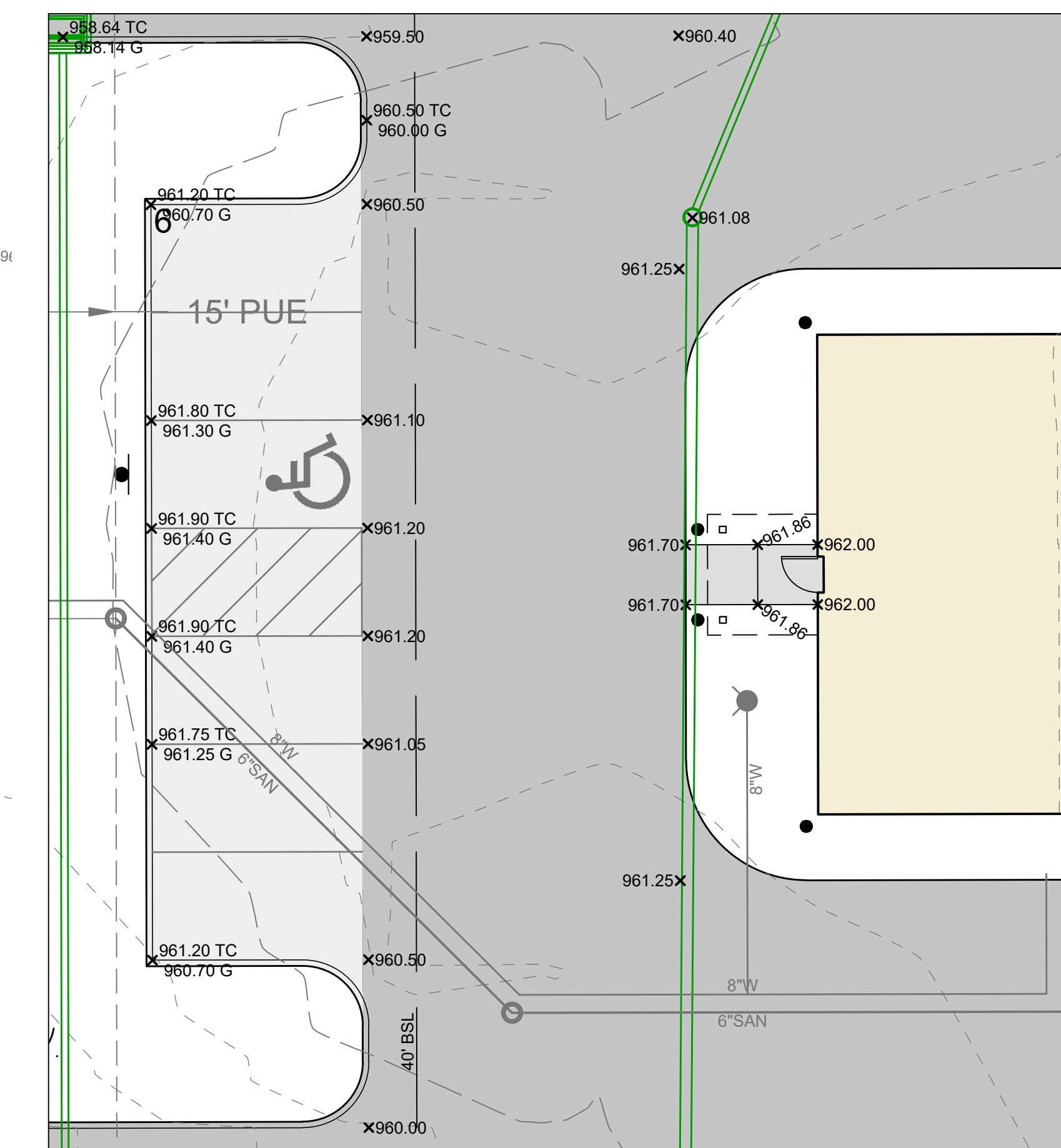


Project No:	125.0222.01
Sheet	C200

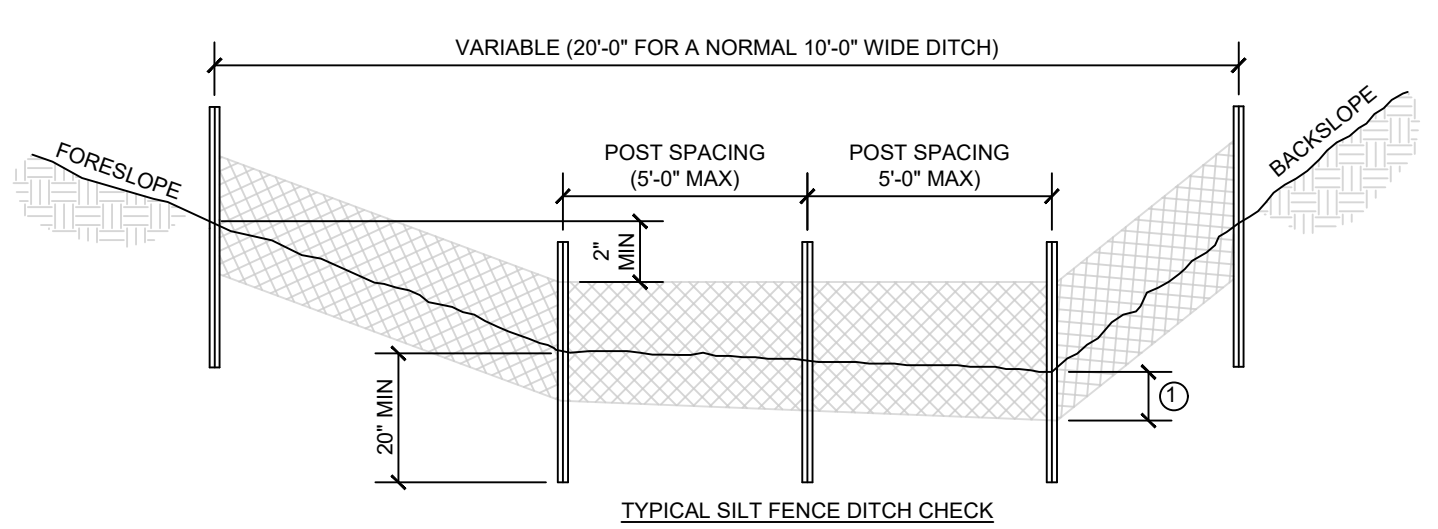
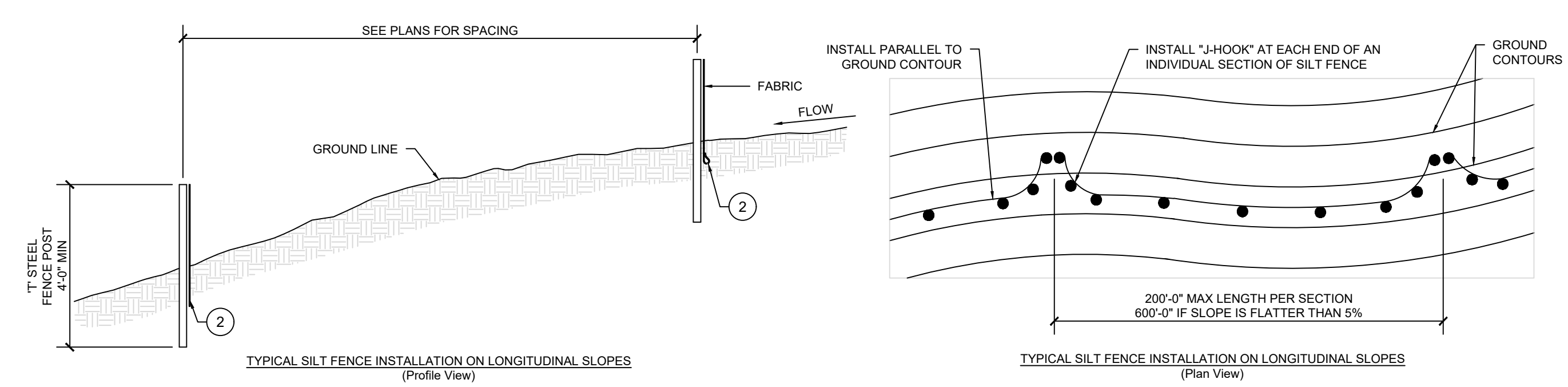
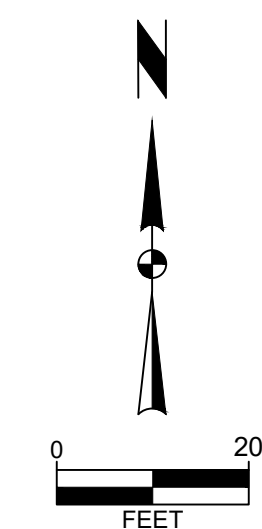
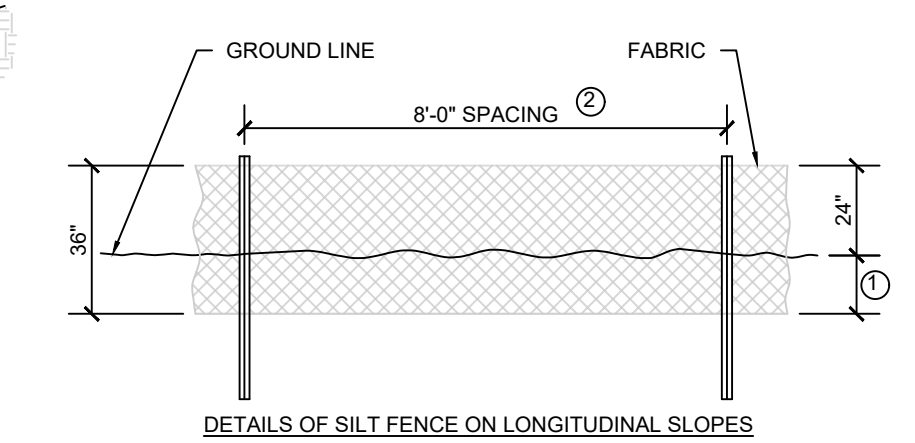
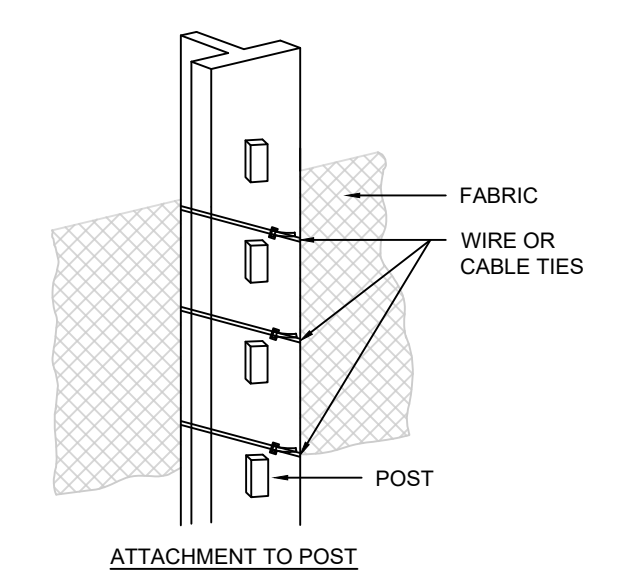


QUANTITIES	
SEEDING AND MULCHING	=1.5 AC
SILT FENCE	=300 LF

BENCHMARKS



VIEW A
SCALE: 1" = 10'



1
C300

SILT FENCE DETAIL

NO SCALE

[illegible]

NEW ERA HOMES

GRADING AND EROSION CONTROL PLAN

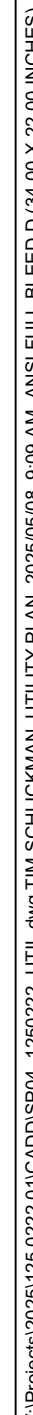
INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
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515-964-2020 | www.snyder-associates.com



Project No:	125.0222.01
Sheet	C300



1. SANITARY SEWER SERVICE, PROVIDE AND INSTALL THE FOLLOWING:
 - A. CONNECT TO EXISTING SANITARY SEWER SERVICE STUB. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - B. 6" PVC SANITARY SEWER SERVICE LINE AT 2.08% SLOPE (1/4" PER FOOT) MINIMUM. PROVIDE 1:1 RISER AS NECESSARY AT SERVICE CONNECTION TO MATCH INVERT AT CLEANOUT.
 - C. COORDINATE THE EXACT LOCATION AND DEPTH WHERE SANITARY SEWER SERVICE LINE ENTERS THE BUILDING WITH THE ARCHITECTURAL AND MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - D. ADJUST SANITARY RIM TO GRADE AS NECESSARY.
 - E. CLEANOUT.
2. WATER SERVICE, PROVIDE THE FOLLOWING AS PER CITY OF INDIANOLA REQUIREMENTS AND GUIDELINES:
 - A. CONNECTION TO EXISTING 8" WATER SERVICE.
 - B. 8" WATER SERVICE LINE.
 - C. SPLIT FIRE AND DOMESTIC SERVICE INSIDE OF BUILDING. COORDINATE THE EXACT LOCATION WHERE WATER SERVICE LINE ENTERS THE BUILDING WITH THE ARCHITECTURAL AND MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - D. HYDRANT ASSEMBLY.
3. CONTRACTOR TO MAINTAIN 18" MINIMUM SEPARATION BETWEEN UTILITIES. VERIFY SEPARATION PRIOR TO CONSTRUCTION.

[illegible]**INDIANOLA, IOWA**

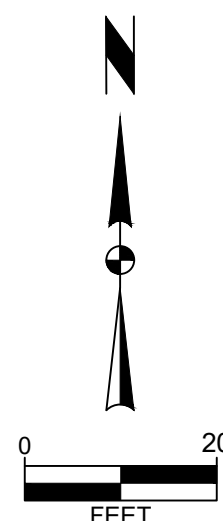
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SNYDER & ASSOCIATES, INC.



Project No: 125.0222.01

Sheet C400



NEW OFFICE BUILDING
FOR:

NEW ERA HOMES
INDIANOLA, IOWA
50125



DRAWINGS INDEX

- CS.100 - COVER SHEET
- A.100 - FOUNDATION PLAN
- A.101 - FIRST FLOOR PLAN
- A.200 - WEST | SOUTH
NORTH | EAST ELEVATIONS

LICENSED ARCHITECT

STEVEN E. GRAY

2175

IOWA

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the State of Iowa.

STEVEN E. GRAY

(Printed or Typed Name)

2175

(License No.)

(Signature)

Sheets covered by this seal: CS.100 - A.100 - A.101 - A.200

My license renewal date is: 06/30/2026

GRAYSCALE ARCHITECTURE, LLC

13762 MCGREGOR STREET

INDIANOLA, IA 50125-8118

515.423.8439

GENERAL CONTRACTOR

NEW ERA HOMES

105 S. 20th STREET

INDIANOLA, IA

50125

515.238.2877

PROJECT NAME

NEW OFFICE BUILDING
FOR:

NEW ERA HOMES

INDIANOLA, IOWA

50125

DRAWING
INFORMATION

ISSUED FOR:

REVIEW
BIDDING
CONSTRUCTION

ISSUE DATE:

02 | 04 | 2025

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PROJECT INFORMATION

PROJECT No.:

21023

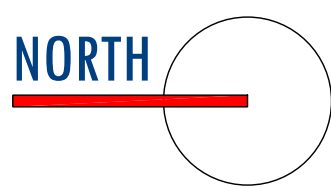
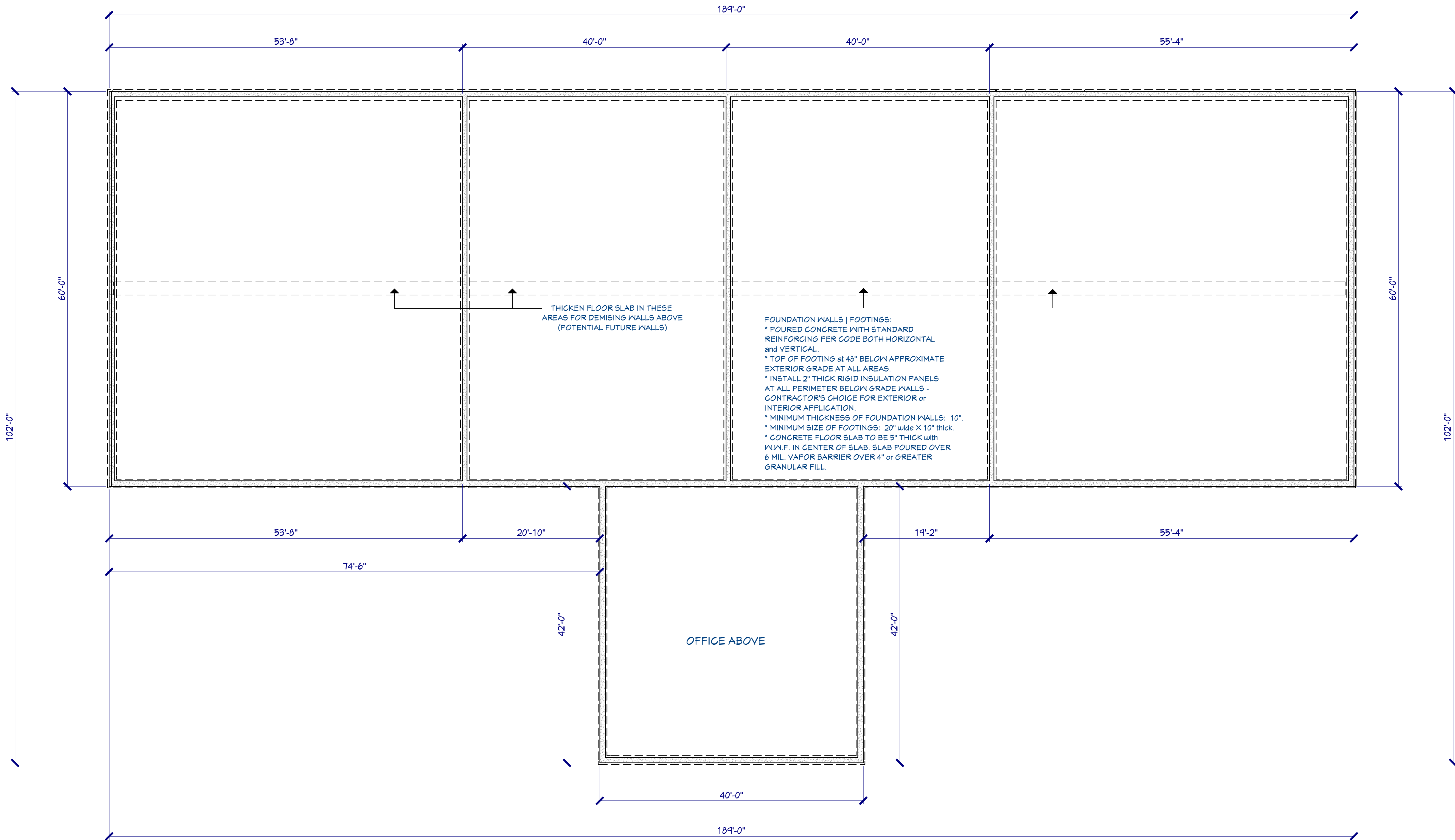
SHEET TITLE:

COVER SHEET

SHEET No.:

CS.100

Page 19 of 37



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

GRAYSCALE ARCHITECTURE, LLC

13762 MCGREGOR STREET
INDIANOLA, IA 50125-8118
515.423.8439

GENERAL CONTRACTOR
NEW ERA HOMES
105 S. 20th STREET
INDIANOLA, IA
50125
515.238.2877

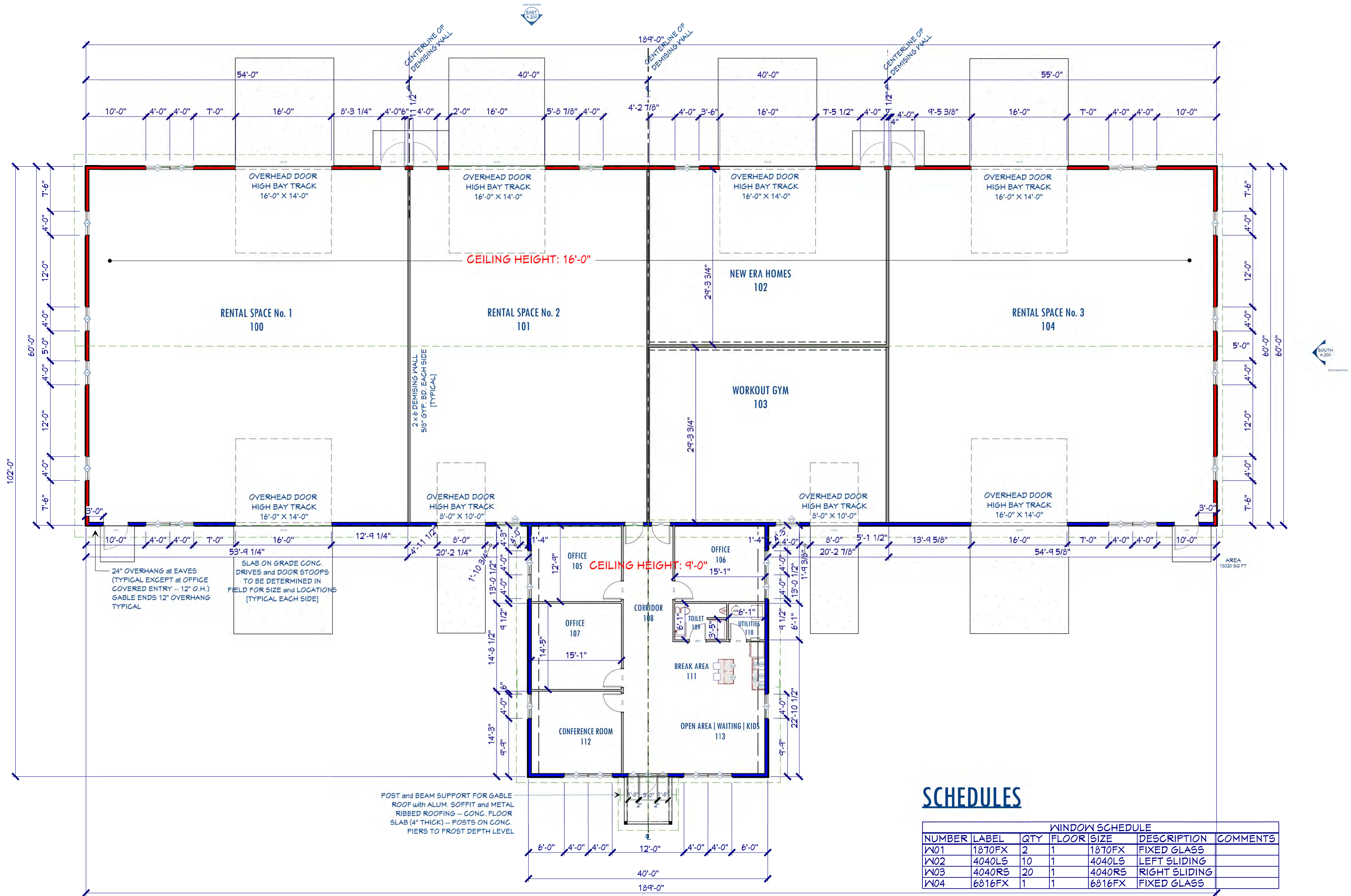
PROJECT NAME
NEW OFFICE BUILDING FOR:
NEW ERA HOMES

INDIANOLA, IOWA
50125

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ISSUED FOR:
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PROJECT INFORMATION
PROJECT No.:
21023
SHEET TITLE:
**FOUNDATION
PLAN**

SHEET No.:
A.100



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCHEDULES

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	COMMENTS
W01	1870FX	2	1	1870FX	FIXED GLASS	
W02	4040LS	10	1	4040LS	LEFT SLIDING	
W03	4040RS	20	1	4040RS	RIGHT SLIDING	
W04	6816FX	1	1	6816FX	FIXED GLASS	

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	COMMENTS
C01	B2418L	2	1	24"	18"	36"	BASE CABINET	
C02	B39	1	1	39"	24"	36"	BASE CABINET	
C03	5B24L	1	1	24"	24"	36"	BASE CABINET	
C04	W1536R	1	1	15"	12"	36"	WALL CABINET	
C05	W2424L	1	1	24"	12"	24"	WALL CABINET	
C06	W2436R	1	1	24"	12"	36"	WALL CABINET	

GRAYSCALE ARCHITECTURE, LLC

13762 MCGREGOR STREET
INDIANOLA, IA 50125-8118
515.423.8439

GENERAL CONTRACTOR
NEW ERA HOMES
105 S. 20th STREET
INDIANOLA, IA
50125
515.238.2877

PROJECT NAME

NEW OFFICE BUILDING
FOR:

NEW ERA HOMES

INDIANOLA, IOWA
50125

DRAWING
INFORMATION

ISSUED FOR:
**REVIEW
BIDDING
CONSTRUCTION**

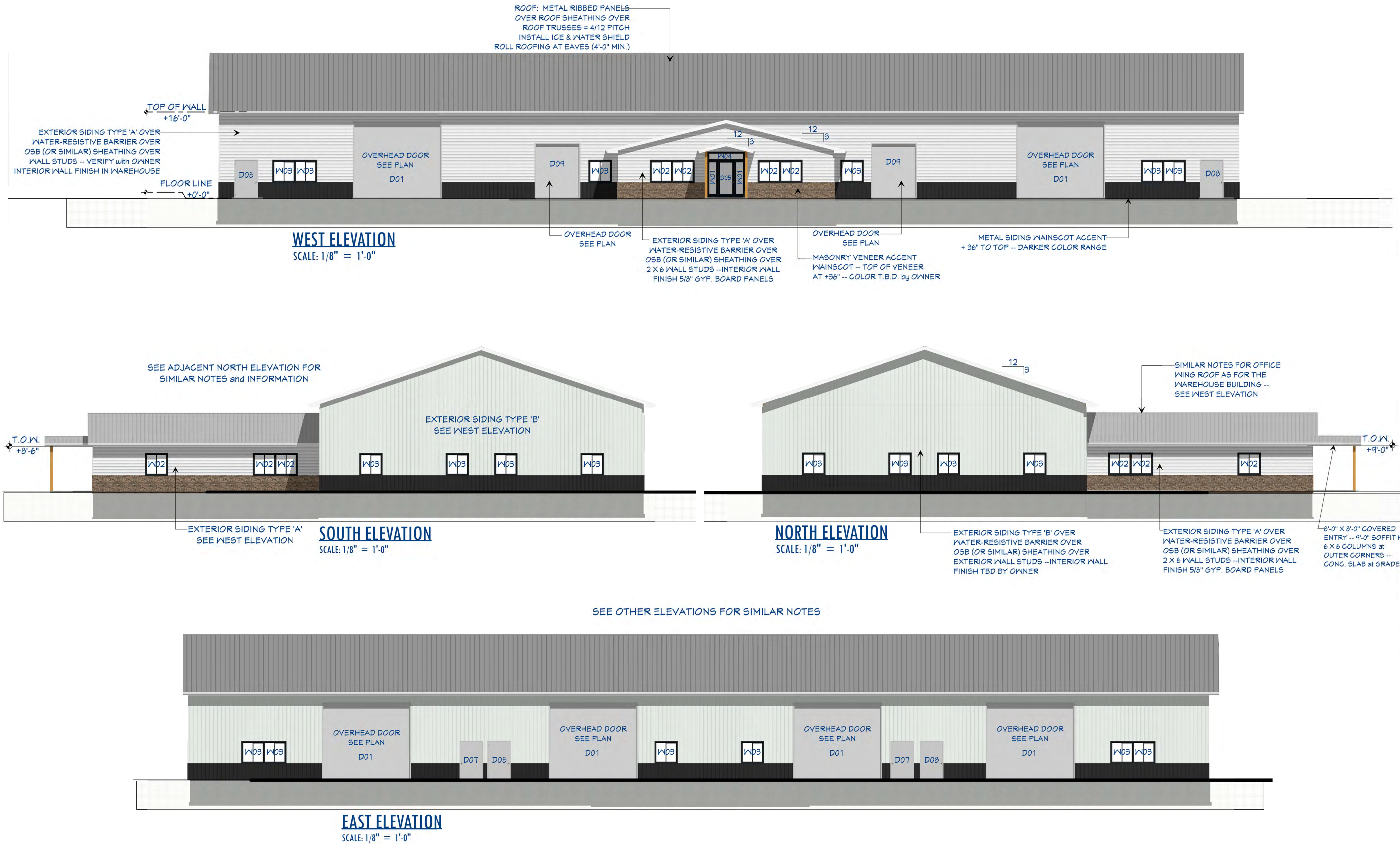
ISSUE DATE:
02 | 04 | 2025

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PROJECT INFORMATION
PROJECT No.:
21023
SHEET TITLE:

**FIRST FLOOR
PLAN**

SHEET No.:
A.101





PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Pickard Lot 12 - Site Plan

PREPARED BY: Bill Mettee – Senior Planner

REPORT DATE: June 6, 2025

MEETING DATE: June 10, 2025

GENERAL INFORMATION

Applicant / Owner:

I Town Investment Group, LLC

Owner's Representative:

Jason Ledden, PE, Snyder & Associates

Request:

The applicant is requesting approval of a site plan for a commercial development.

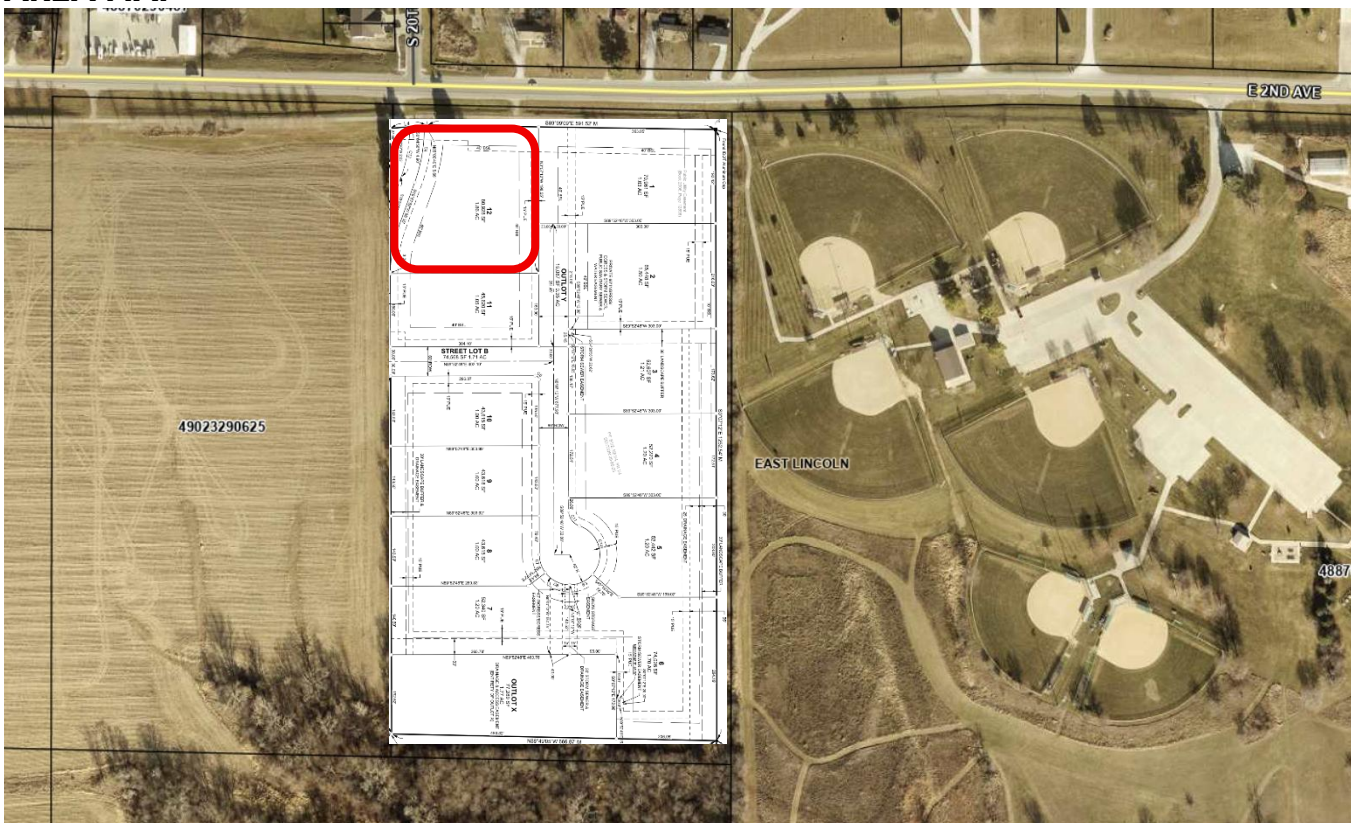
Location and Size:

Property is located south of Highway 92 and east of South 15th Street, containing approximately 1.86 acres.

Property Address:

To Be Assigned.

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant / Undeveloped	Community Mixed Use / Industrial	C-2 (Highway Commercial District) and M-2 (General Industrial District)
North	Single-Family and Two-Family Residential	Low / Medium-Density Residential	R-2 (Single-Family Residential Attached District)
South	Agricultural	Community Mixed Use	A-1 (Agricultural / Open Space District)
East	Pickard Park	Parks and Recreation	A-1 (Agricultural / Open Space District)
West	Vacant / Undeveloped	Community Mixed Use	R-2 (Single-Family Residential Attached District)

PROJECT DESCRIPTION

The applicant is proposing a site plan for a commercial development. The proposed site plan for consideration is for a sales office and warehousing building that is approximately 80' x 90' and 6,000 square feet in area. The building will be approximately 25-feet in height. The subject property will be platted as Lot 12 of Pickard Commerce Park Plat 1.

Table 1 below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table 1: Bulk Regulations for the C-2 Zoning District

Category	C-2 (minimum)
Front Yard Setback	40 feet
Rear Yard Setback	10 feet
Side Yard Setback	10 feet
Maximum Height Stories	50'

ACCESS AND PARKING

Access into the site will be from South 20th Street.

A total of six parking spaces are required (1 space per 250 sq for construction sales and 1 space per 10,000 sf of warehousing) for the property. The applicant is providing nine spaces, including one accessible space. The proposed site plan meets the parking requirements.

SIDEWALKS / TRAILS / TRAFFIC

A 5' sidewalk will be installed along the duration of the property adjacent to South 20th Street. The required 5' pedestrian walkway has not yet been shown on the site plan.

UTILITIES

The site will be serviced with public utilities, which exist and will be installed in the immediate vicinity. Stormwater detention will be provided in a basin at the south end of the site.

LANDSCAPING & OPEN SPACE

A minimum of 20% of the project area is required to be open space. The total amount of open space proposed is 86.21%. The plantings shown on the landscape plan meet the minimum requirements of the Landscape & Open Space Ordinance.

ELEVATIONS

Colored building elevations are included for review. The building is proposed to be constructed of Class 3 metal panels, accent metal panels, stone veneer and windows. The elevations demonstrate compliance with the building design standards.

STAFF RECOMMENDATION

The proposed site plan is in general conformance with the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the site plan for Pickard Lot 12 subject to remaining staff comments.

VICINITY MAP

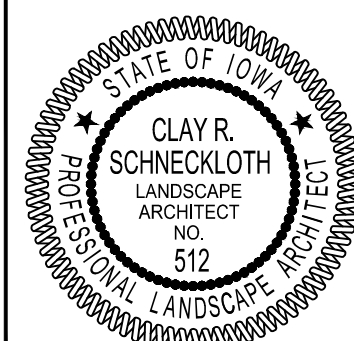
C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	DIMENSION PLAN
C300	GRADING AND EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	PLANTING PLAN



SCALE: 1" = 500'



Jason A. Ledden, P.E. Date _____
License Number P24117
My License Renewal Date is December 31, 2026
Pages or sheets covered by this seal:



License Expires:
June 30, 2025

Clay R. Schneckloth, PLA _____ Date _____
License Number 512
Pages or sheets covered by this seal:

TITLE SHEET

INDIANOLA, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



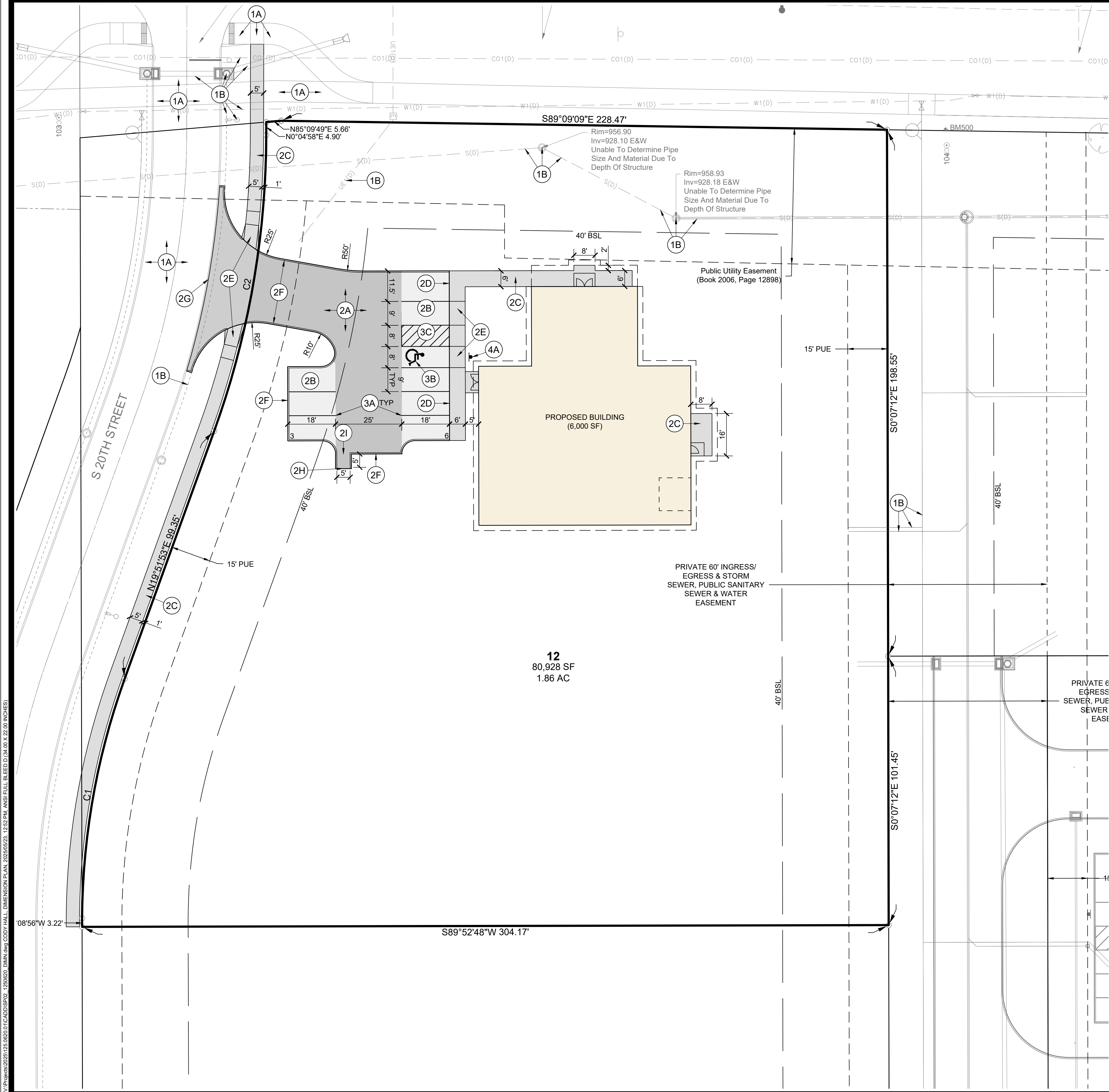
SNYDER
& ASSOCIATES

Project No: 125.0620.01

Sheet C100

	MARK	REVISION	DATE	BY
	Engineer: C/JH	Checked By: JAL	Scale: 1" = 500'	
	Techinician: TLS	Date: MM-DD-YYYY	T-R-S; TTN-RRW-SS	
Project No.: 125.0620.01				Sheet C100

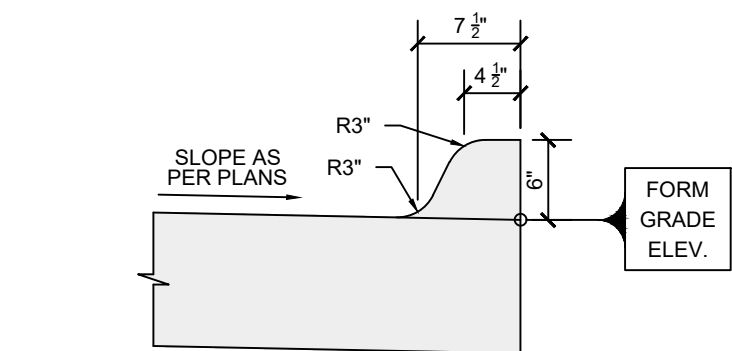
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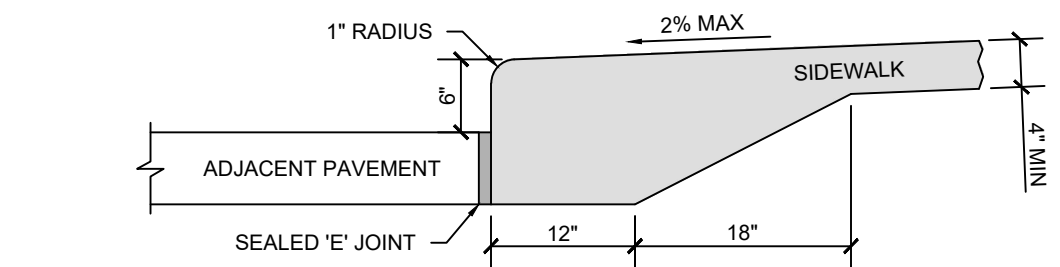
- DIMENSION PLAN CONSTRUCTION NOTES**
- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. PAVEMENT TO REMAIN.
B. EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - PAVEMENTS, PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
A. 7" DEPTH PCC PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
B. 6" DEPTH PCC PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
C. 5" DEPTH PCC SIDEWALKS ON 6" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
D. INTEGRAL SIDEWALK AND CURB. SEE DETAIL ON THIS SHEET.
E. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNINGS WHERE SHOWN.
F. 6" STANDARD CURB. SEE DETAIL ON THIS SHEET.
G. CONNECT TO EXISTING PAVEMENT WITH TYPE "A" DRIVEWAY CONNECTION (7030.101). MATCH EXISTING ELEVATIONS.
H. 5' CURB OPENING.
 - PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
A. 4" WIDE PAINTED PARKING STALL LINES.
B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
C. ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - SIGNS, PROVIDE THE FOLLOWING:
A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.

PAVEMENT LEGEND

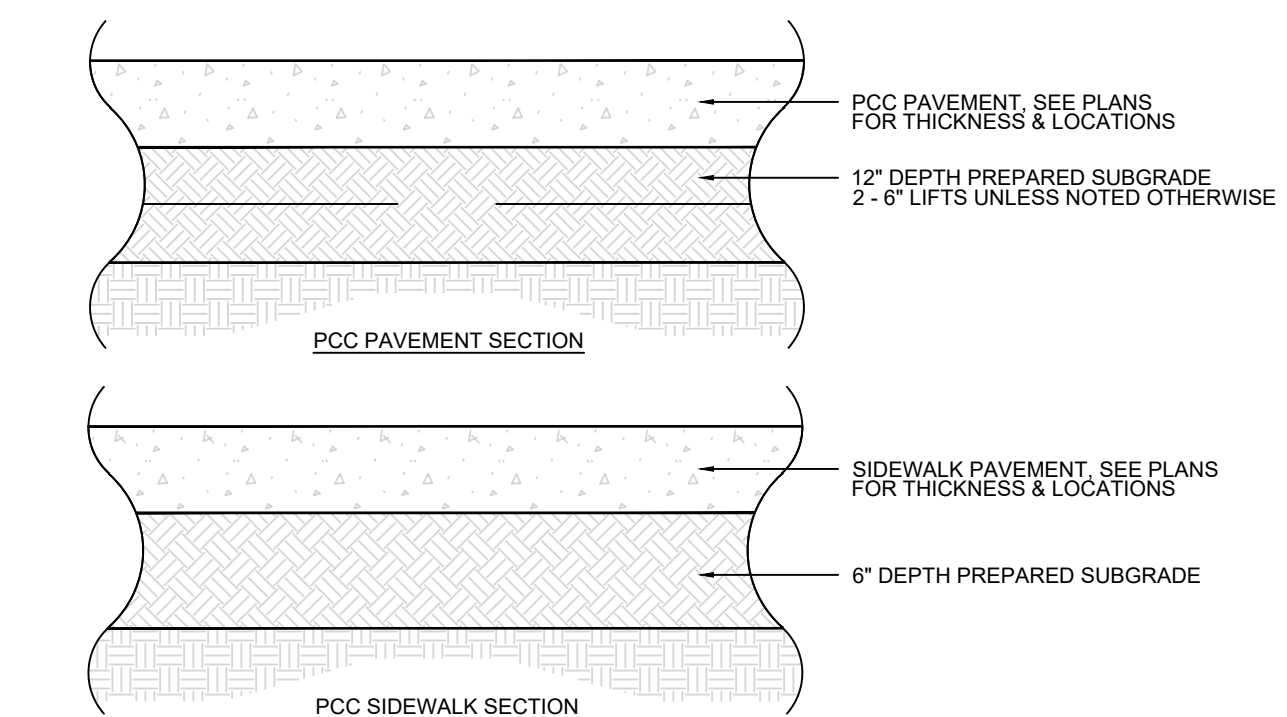
- 5" PCC SIDEWALK
- 6" PCC PAVEMENT
- 7" PCC PAVEMENT



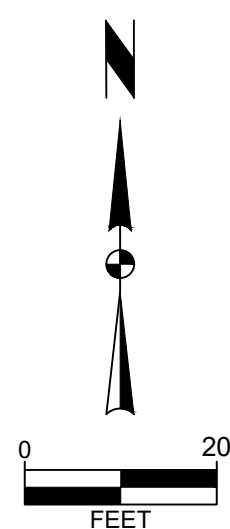
1 6-INCH STANDARD CURB
C200 NO SCALE



2 INTEGRAL SIDEWALK AND CURB DETAIL
C200 NO SCALE

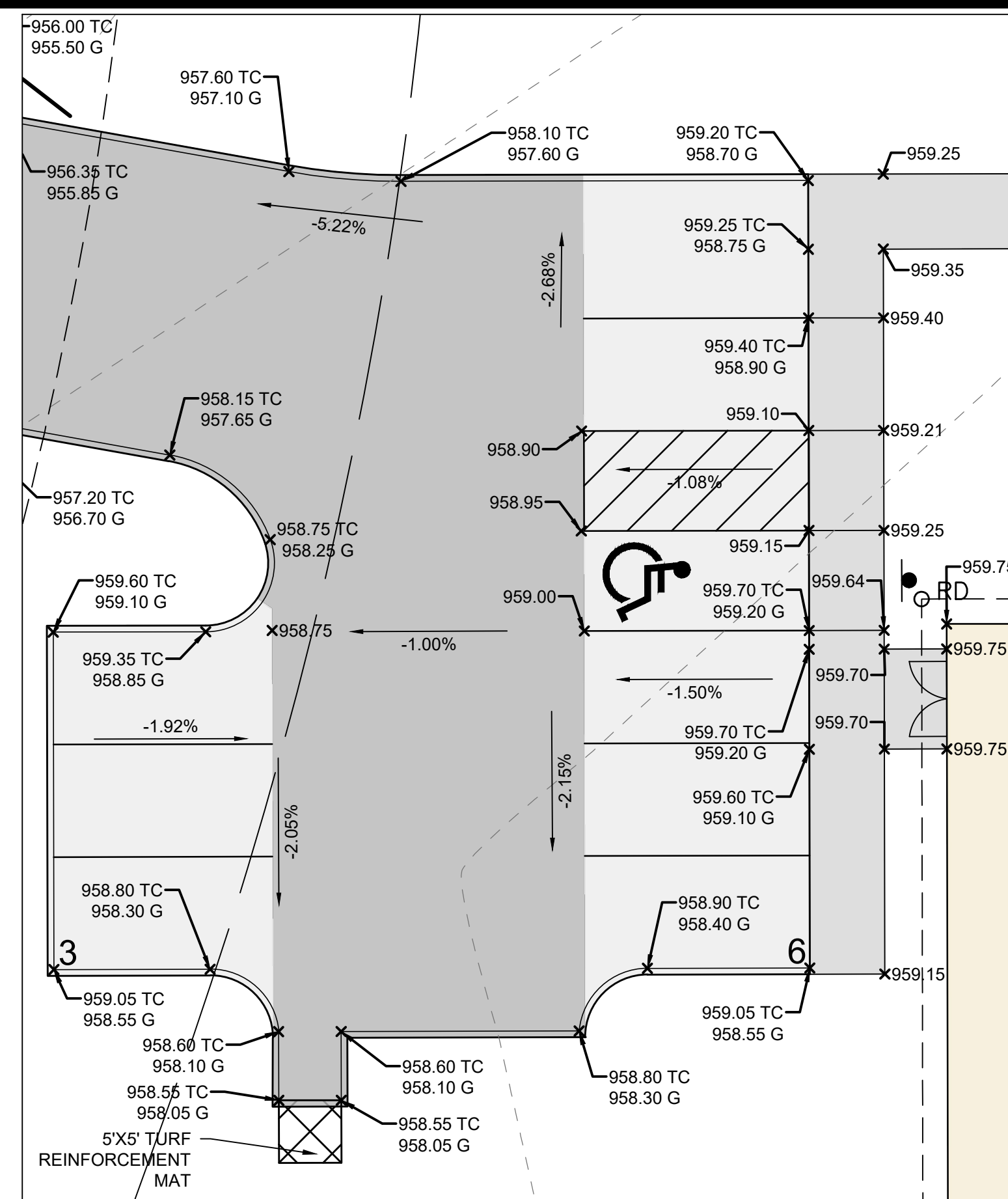
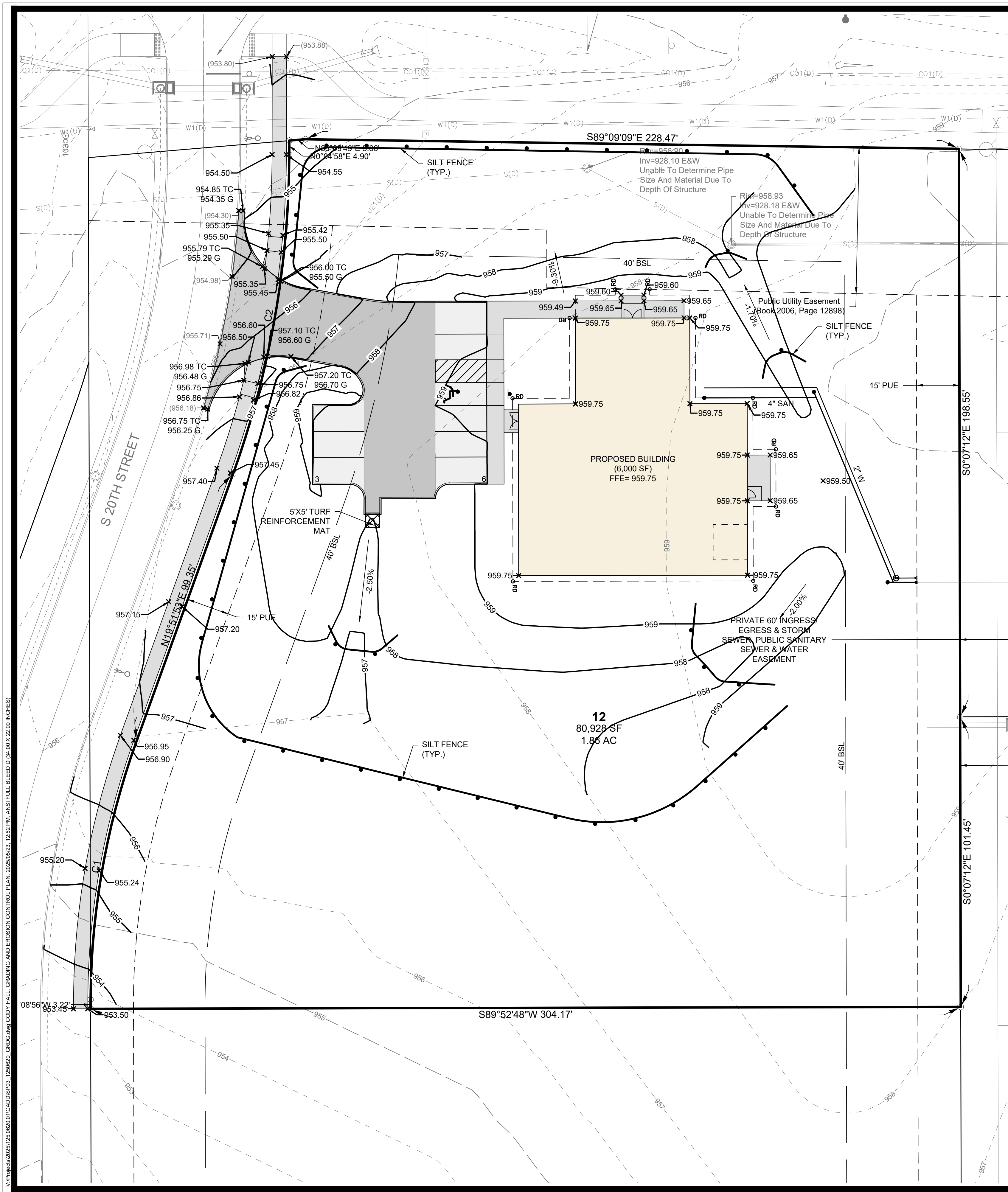


3 TYPICAL PAVEMENT CROSS SECTIONS
C200 NO SCALE



PICKARD LOT 12		INDIANOLA, IOWA	
DIMENSION PLAN		SNYDER & ASSOCIATES, INC.	
Project No: 125.0620.01		2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com	
Sheet C200		Sheet C200	

SNYDER & ASSOCIATES



GRADING PLAN GENERAL NOTES

- A. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- B. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
- C. ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED USING COMMERCIALY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
- D. EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- E. PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.

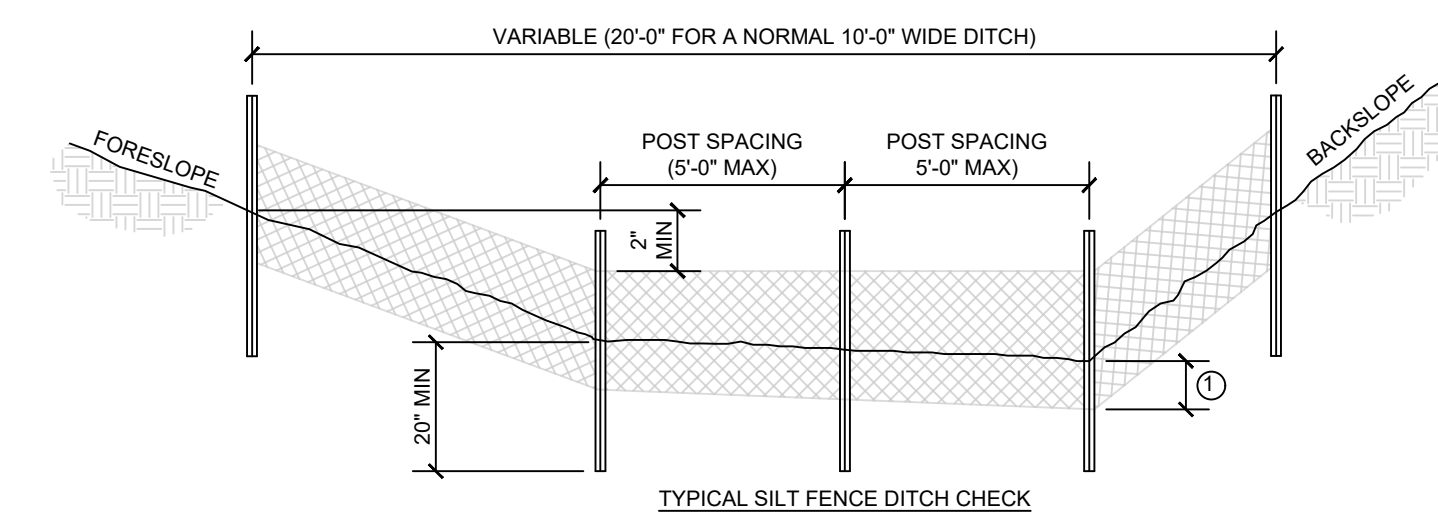
QUANTITIES

SEEDING AND MULCHING	=1.5 A
SILT FENCE	=715 L

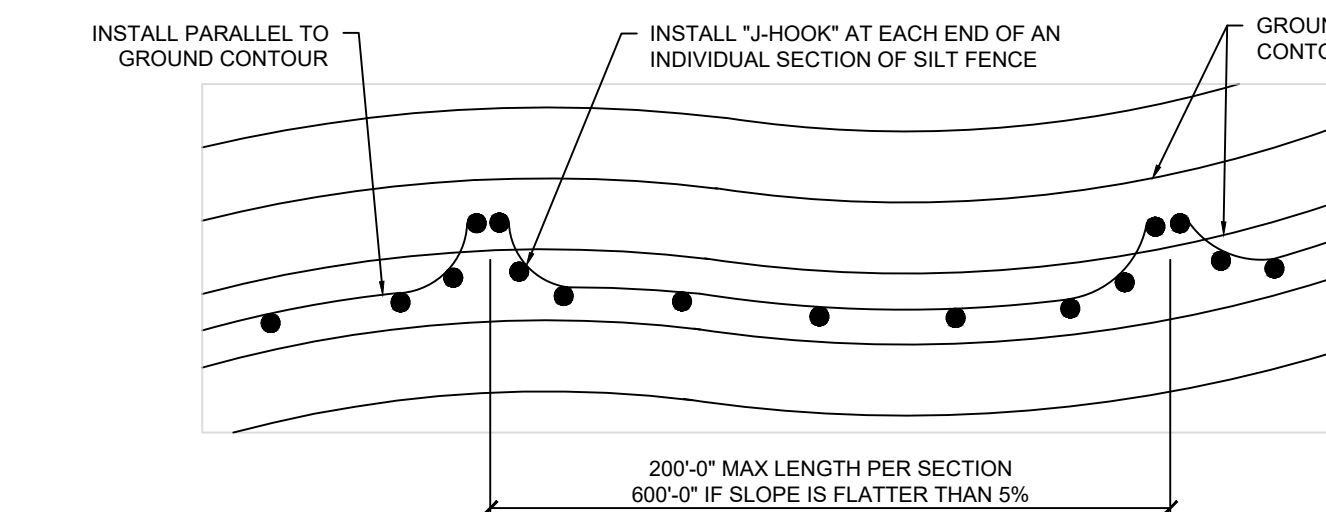
BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988
(NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

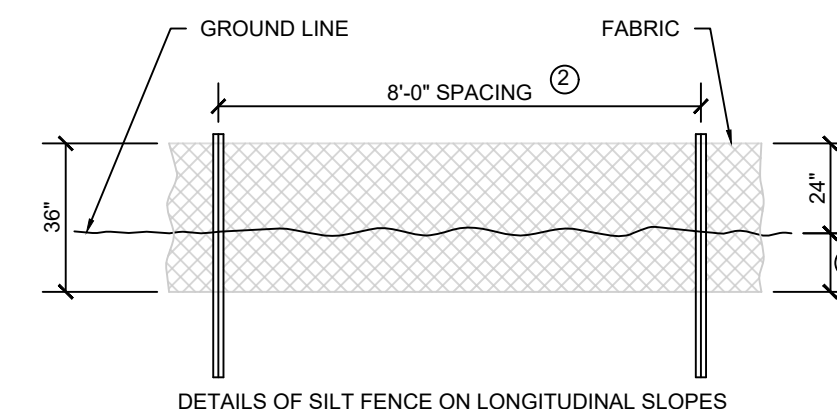
BM500	N=7413147- E=18543942- Z=953.55 SE BOLT ON HYDRANT LOCATED AT SE QUADRANT E TRAIL RIDGE AVE N 3RD LN. (AS SHOWN ON SURVEY)
BM501	N=7413921- E=18545733- Z=914.00 BURY BOLT ON HYDRANT LOCATED EAST SIDE N 8TH ST. +/-150' NORTH OF N 8TH CT. (AS SHOWN ON SURVEY)
BM502	N=7413984- E=18543983- Z=947.41 BURY BOLT ON HYDRANT LOCATED +20' SW OF SE CORNER THEISENS BUILDING. (AS SHOWN ON SURVEY)



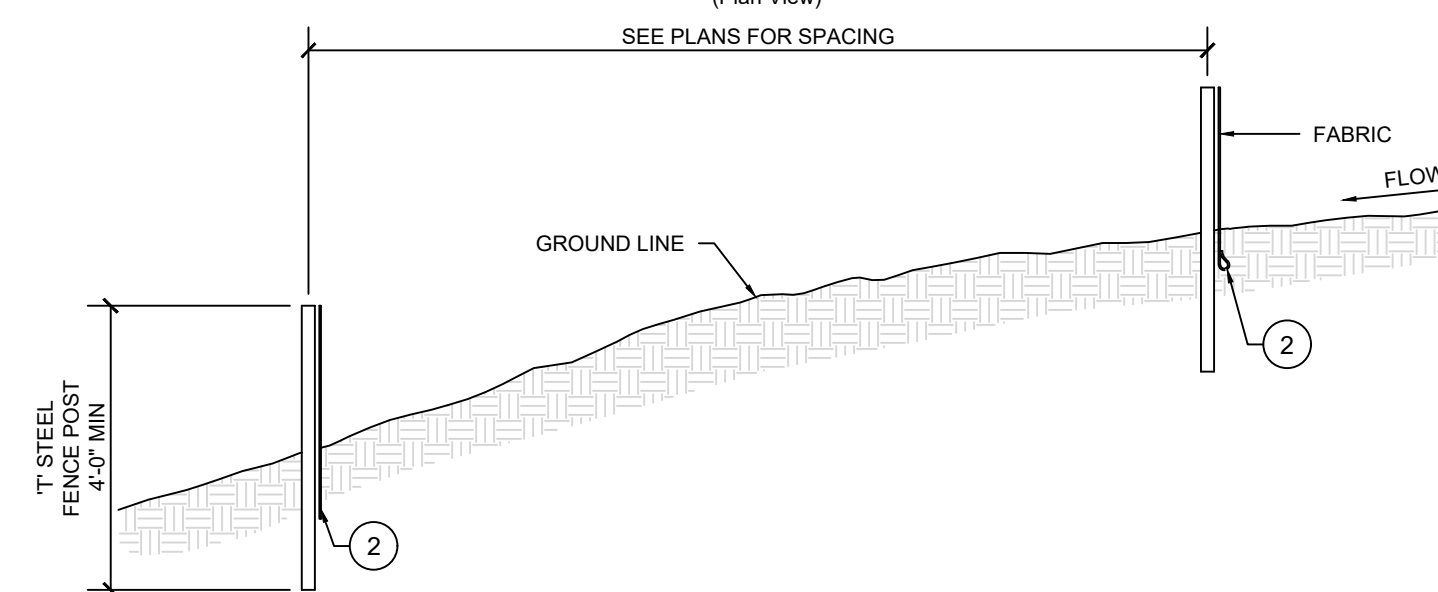
- ① INSERT 12 INCHES OF FABRIC A MINIMUM OF 6 INCHES DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE).
- ② REDUCE POST SPACING TO 5'-0" AT WATER CONCENTRATION AREAS, OR AS REQUIRED TO ADEQUATELY SUPPORT FENCE.



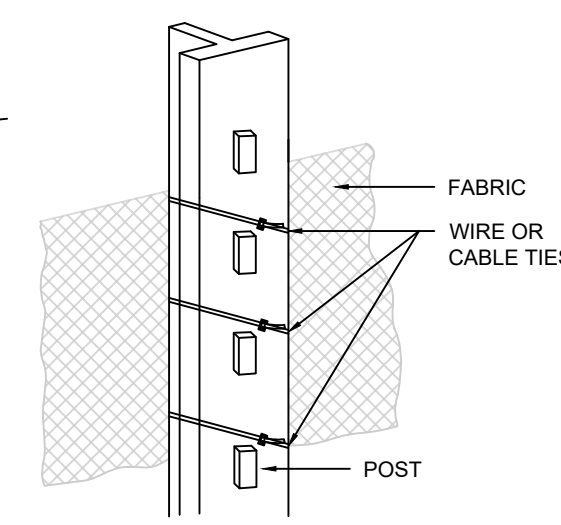
TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES
(Plan View)



DETAILS OF SILT FENCE ON LONGITUDINAL SLOPE:



TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES
(Profile View)



ATTACHMENT TO POST



SILT FENCE DETAIL

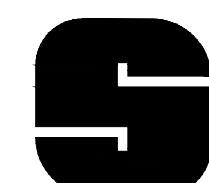
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PICKARD LOT 12

GRADING AND EROSION CONTROL PLAN

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC.



SNYDER
& ASSOCIATES

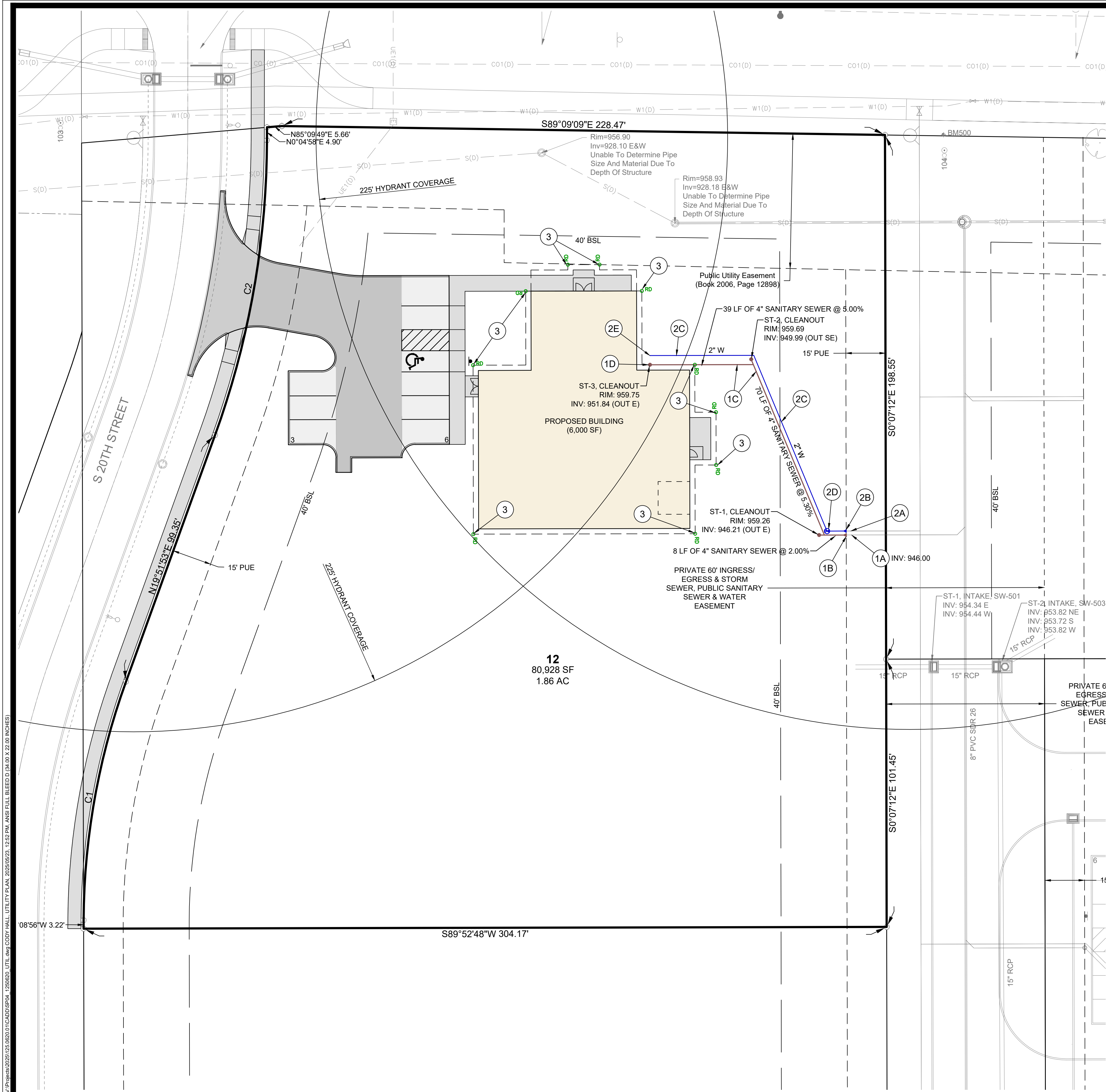
Project No: 125.0620.01

Sheet C300

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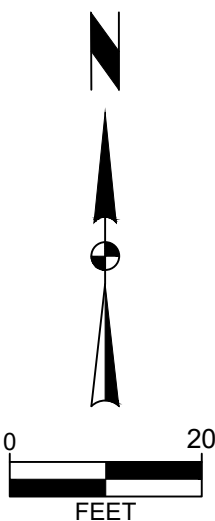
Sheet C300

V:\Projects\2025\125.0620.01\CADD\SP04_1250620 UTIL.dwg CODY HALL UTILITY PLAN_20250926_12:52 PM ANSI FULL BLEED D (34.00 X 22.00 INCHES)



UTILITY PLAN CONSTRUCTION NOTES

- SANITARY SEWER SERVICE, PROVIDE AND INSTALL THE FOLLOWING:
 - CONNECT TO EXISTING SANITARY SEWER SERVICE STUB. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - 6" X 4" REDUCER
 - 4" PVC SANITARY SEWER SERVICE LINE AT 2.00% MINIMUM SLOPE (1/4" PER FOOT). PROVIDE 1:1 RISER AS NECESSARY AT SERVICE CONNECTION TO MATCH INVERT AT CLEANOUT.
 - COORDINATE THE EXACT LOCATION AND DEPTH WHERE SANITARY SEWER SERVICE LINE ENTERS THE BUILDING WITH THE ARCHITECTURAL AND MECHANICAL PLANS PRIOR TO CONSTRUCTION.
- WATER SERVICE AT 5.5' MINIMUM BURY DEPTH. PROVIDE THE FOLLOWING AS PER CITY OF INDIANOLA REQUIREMENTS AND GUIDELINES:
 - CONNECTION TO EXISTING 8" WATER SERVICE.
 - 8" X 2" REDUCER
 - 2" WATER SERVICE LINE.
 - 2" CURB STOP
 - CONNECT TO BUILDING WATER SERVICE. COORDINATE WITH ARCHITECTURAL AND BUILDING PLANS PRIOR TO CONSTRUCTION.
- STORM SEWER ROOF DRAIN LOCATION. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT. COORDINATE EXACT LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.



PICKARD LOT 12

UTILITY PLAN



Project No: 125.0620.01

Sheet C400

INDIANOLA, IOWA

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SNYDER & ASSOCIATES, INC. |



Project No: 125.0620.01

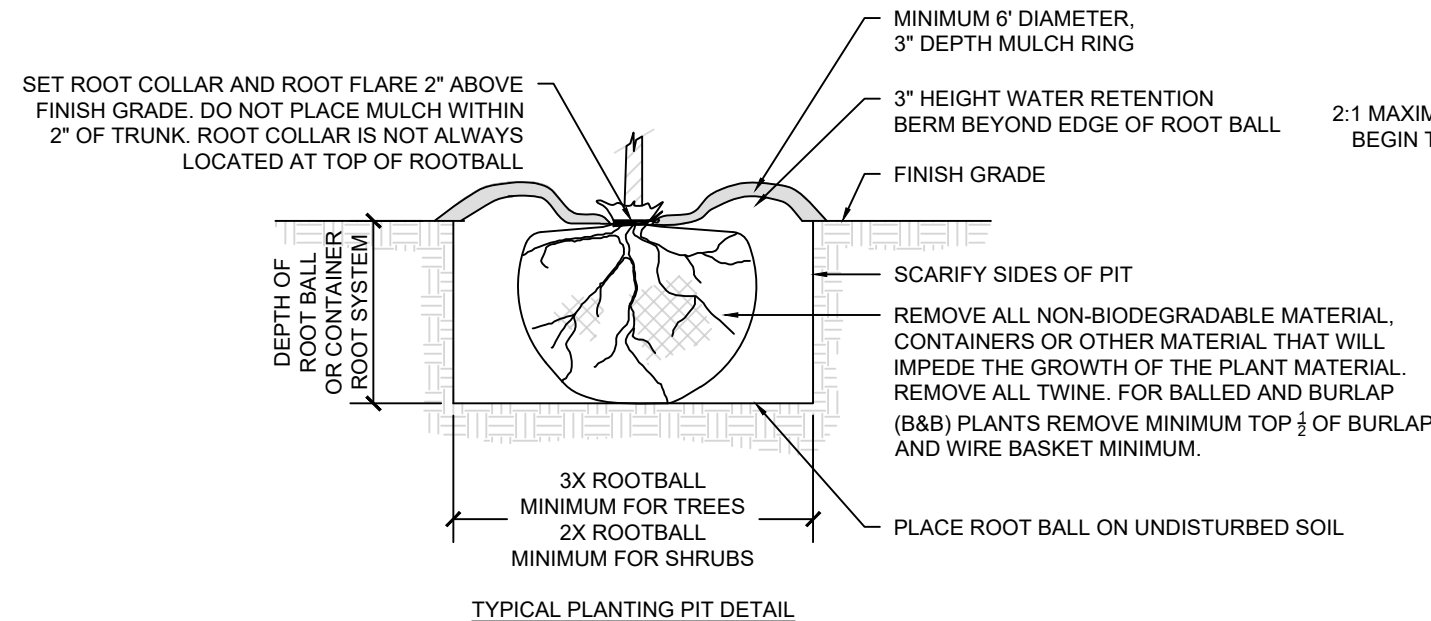
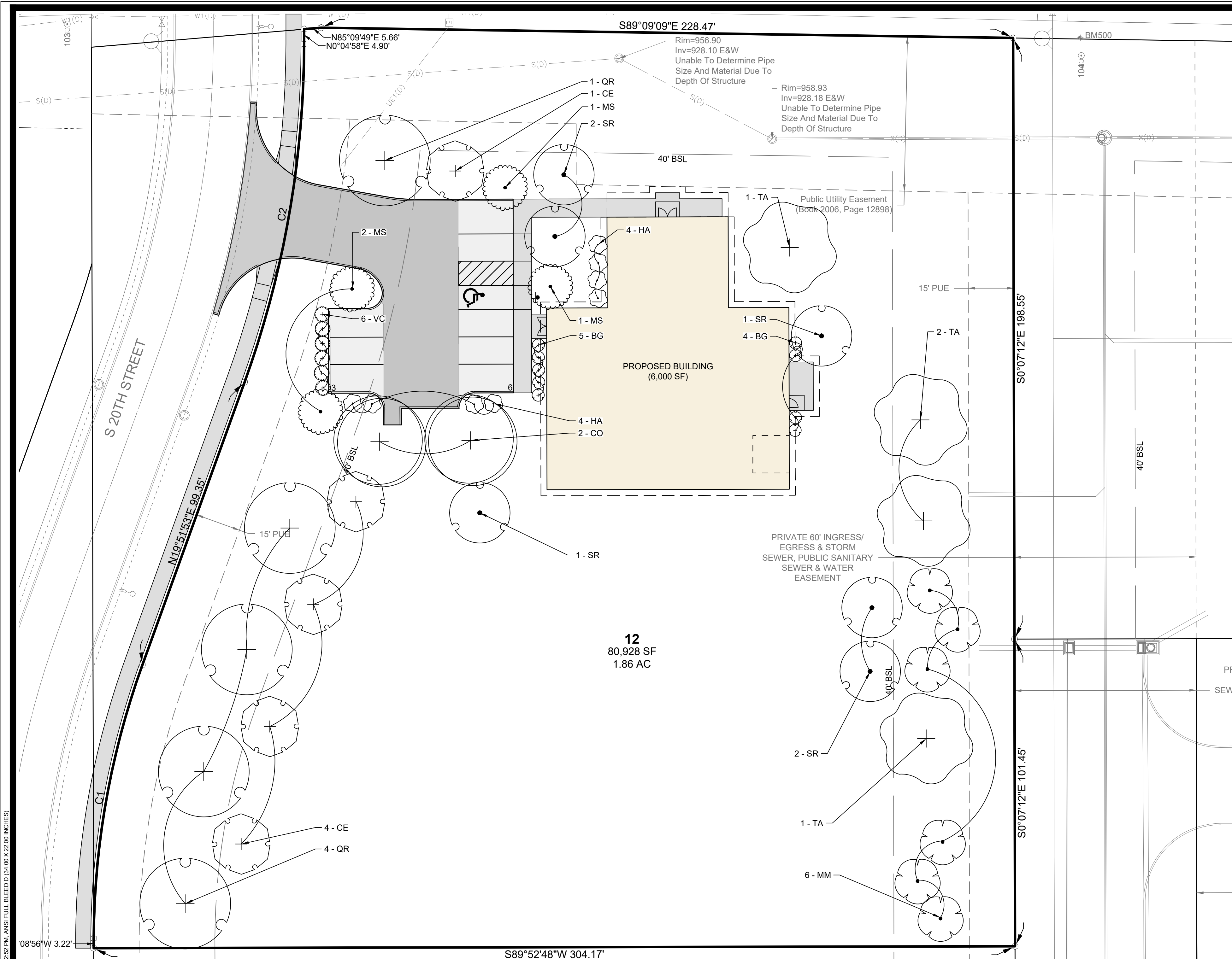
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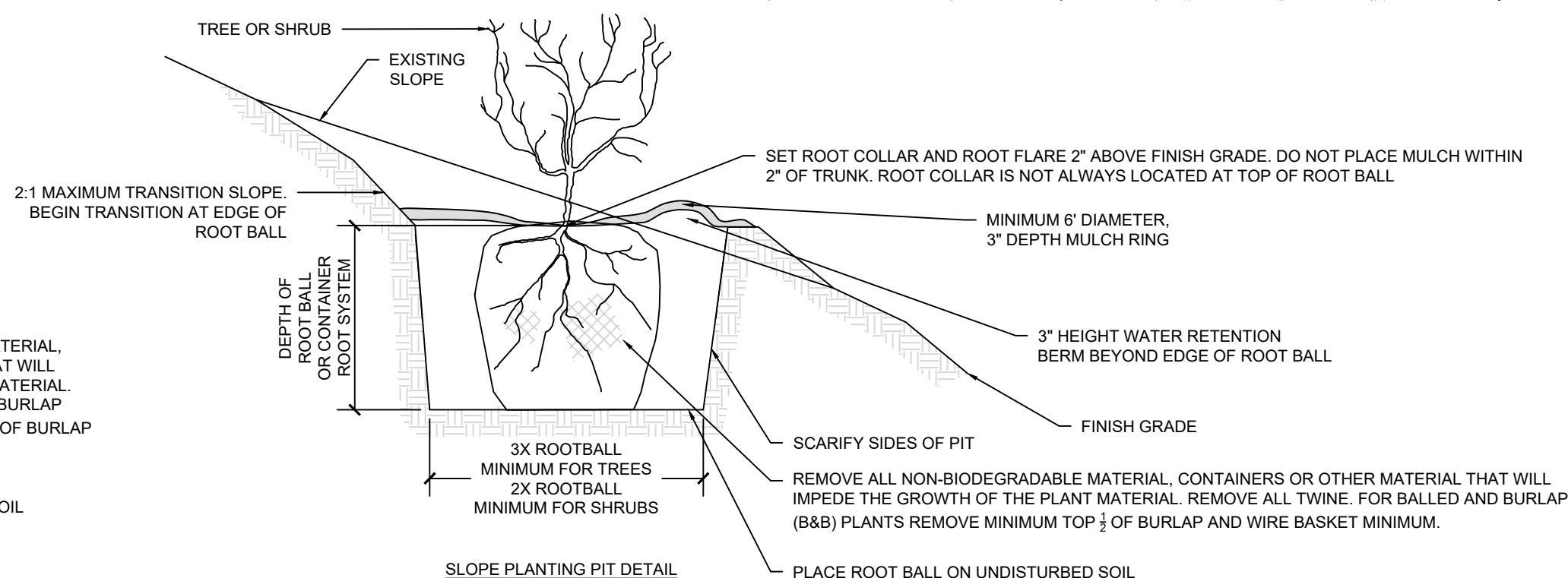
Project No: 125.0620.01

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

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1 PLANTING PIT DETAILS
C500 NO SCALE



SLOPE PLANTING PIT DETAIL

PLANTING PLAN CONSTRUCTION NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MIN 3-FOOT PERIMETER RING AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- F. PROVIDE 2-INCH RIVER GRAVEL PLACED TO A DEPTH OF 4-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT IN AREAS SHOWN ON PLAN. PROVIDE 6-INCH POWDER COATED BLACK STEEL EDGING WHEN NOT ADJACENT TO SIDEWALK.
- G. CONTRACTOR TO SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH 90/10 GREENYARD OR AN APPROVED EQUAL AT 450LBS / AC SEED RATE UNLESS NOTED OTHERWISE.

PRODUCT: GREENYARD 90 / 10 OR EQUAL.
AGRILAND FS, INC
INDIANOLA, IA 50125
WWW.AGRILANDFS.COM
CONTACT: CURT MYERS
T: (515) 961-8408

- H. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF TREES PRIOR TO PLANTING.

PLANTING PLAN REQUIREMENTS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF INDIANOLA SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

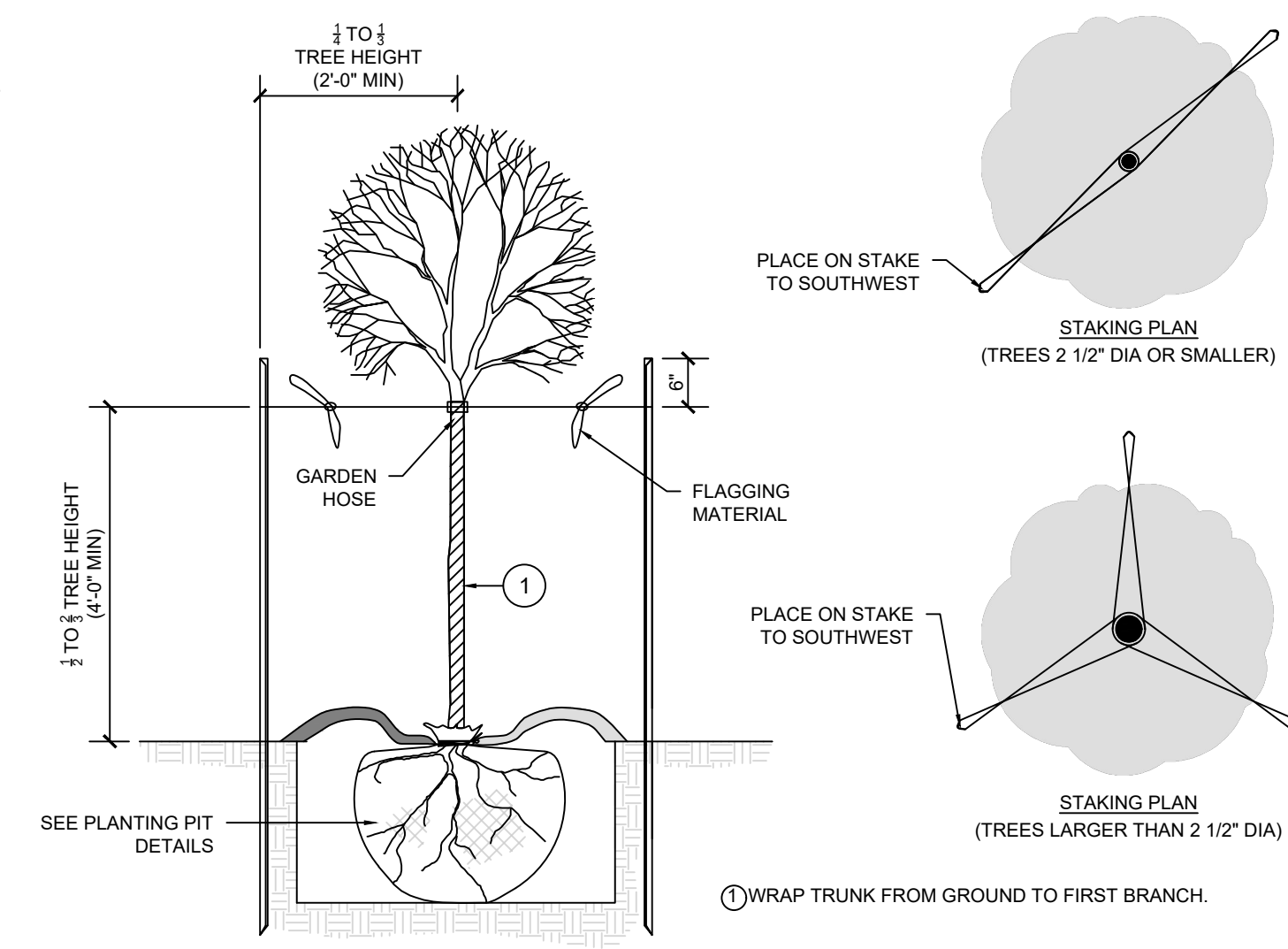
OPEN SPACE REQUIREMENTS:
80,928 SF (1.86 AC) OVERALL PROPERTY X 20% MINIMUM OPEN SPACE = 16,186 SF OPEN SPACE REQUIRED
TOTAL HARD SURFACE (DRIVES, PARKING AND BUILDING) = 11,162 SF
TOTAL OPEN SPACE PROVIDED = 69,766 SF
69,766 SF / 80,928 SF = 86.21% TOTAL OPEN SPACE PROVIDED

MINIMUM OPEN SPACE LANDSCAPE REQUIREMENTS:
1 DECIDUOUS SHADE TREE, 2 DECIDUOUS ORNAMENTAL TREES, 2 SHRUBS FOR EVERY 2,000 SF REQUIRED OPEN SPACE
16,186 SQUARE FEET OPEN SPACE REQUIRED
16,186 SF / 2000 SF = 8.09 PLANT UNITS REQUIRED
8.09 PU X 1 SHADE TREE = 8.09 DECIDUOUS SHADE TREES REQUIRED (9 PROVIDED)
8.09 PU X 2 ORN. TREES = 16.18 DECIDUOUS ORNAMENTAL TREES REQUIRED (17 PROVIDED)
8.09 PU X 2 SHRUBS = 16.18 SHRUBS REQUIRED (17 PROVIDED)

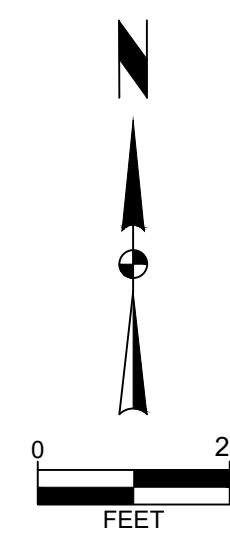
OFF-STREET PARKING LOT REQUIREMENTS:
90 LF OF PARKING / 50 = 1.8 PLANT UNITS REQUIRED
1.8 PU X 1 DECIDUOUS SHADE TREE = 1.8 DECIDUOUS SHADE TREES REQUIRED (2 PROVIDED)
1.8 PU X 2 DECIDUOUS ORNAMENTAL TREE = 3.6 DECIDUOUS ORNAMENTAL TREES (4 PROVIDED)
SHRUB SCREEN FOR PARKING FACING THE STREET REQUIRED (SHRUB SCREEN PROVIDED)

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES					
CO	2	Celtis occidentalis	Common Hackberry	2" Cal.	B&B
QR	5	Quercus rubra	Red Oak	1.5" Cal.	B&B
TA	4	Tilia americana	American Linden	1.5" Cal.	B&B
ORNAMENTAL TREES					
CE	5	Cercis canadensis	Eastern Redbud Multi-trunk	6" Ht.	B&B
MM	6	Magnolia stellata	Star Magnolia Multi-Trunk	5" Ht.	Pot
MS	4	Malus x 'Spring Snow'	Spring Snow Crabapple	1.5" Cal.	B&B
SR	6	Syringa reticulata	Japanese Tree Lilac	1.5" Cal.	B&B
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS					
BG	9	Buxus x 'Green Gem'	Green Gem Boxwood	3 gal.	Pot
HA	8	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.	Pot
VC	6	Viburnum carlesii	Koreanspice Viburnum	3 gal.	Pot



2 DECIDUOUS TREES STAKING DETAIL
C500 NO SCALE



PICKARD LOT 12

PLANTING PLAN

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 125.0620.01

Sheet C500

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ANKENY, IOWA 50023
515-961-2020 | www.snyder-associates.com

Sheet C500

Project No: 125.0620.01

MARK	REVISION	DATE	BY
Engineer: C/JH	Checked By: JAL	Scale: 1" = ##'	
Technician: TJS	Date: MM-DD-YYYY	T-R-S: TTN-RRW-JSS	



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REVISION TABLE		NUMBER	DATE	REVISION BY	DESCRIPTION

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LONNEMAN / DUDLEY

DRAWINGS PROVIDED BY:

DATE:

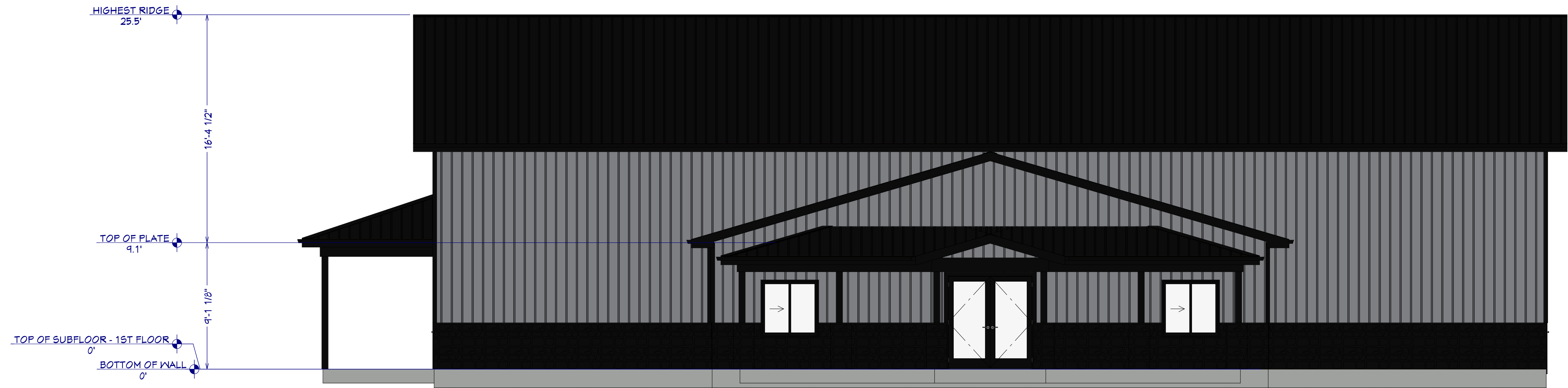
5/5/2025

SCALE:

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SHEET:

P-1



Exterior Elevation Front



Exterior Elevation Left

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

LONNEMAN / DUDLEY

DRAWINGS PROVIDED BY:

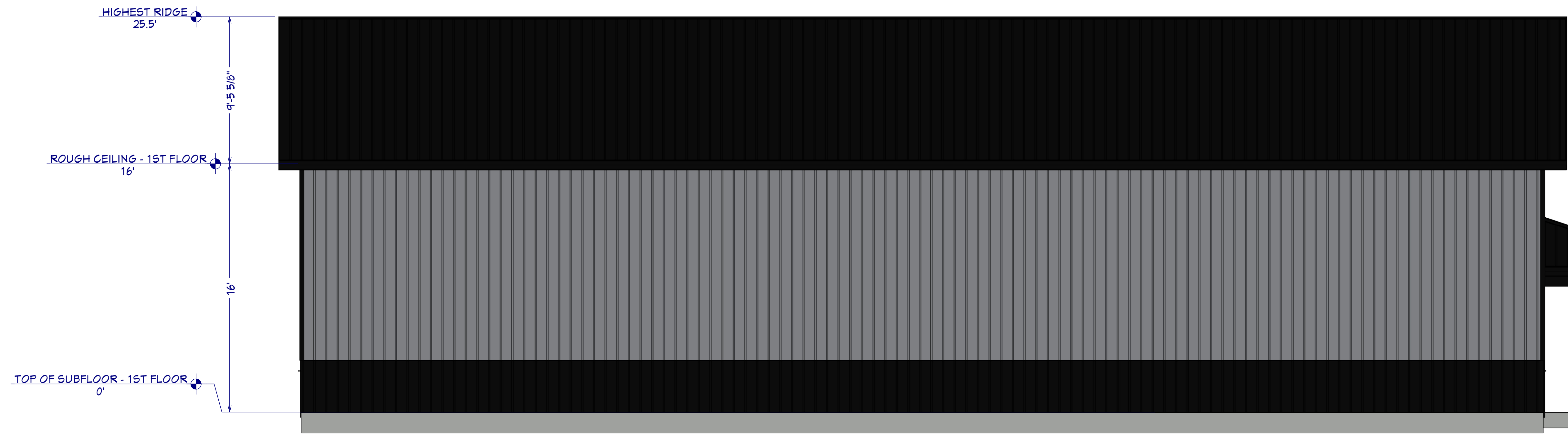
DATE:

5/5/2025

SCALE:

SHEET:

NOT FOR CONSTRUCTION

[illegible]



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

April 2025

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	6	6	\$2,016,145.00	\$336,024.17
102	Single Family Attach	0		\$0.00	
103	Two Family	0		\$0.00	
104	Three or More Families	0		\$0.00	
	Mobile Homes	0		\$0.00	
322	Service Stations	0		\$0.00	
324	Office	0		\$0.00	
328	Non-resident buildings	0		\$0.00	
329	Pool	0		\$0.00	
434	Residential Add/Alt	15		\$538,825.36	
437	Non-residential add/alt	3		\$32,025,000.00	\$10,675,000.00
438	Res garage/carports	3		\$59,500.00	
645	Demo - residential	0		\$0.00	
649	Demo - commercial	0		\$0.00	
April Total		27		\$34,639,470.36	
Residential Value		Commercial Value			
7.5%		92.5%			

YEAR TO DATE TOTAL

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	30	30	\$9,403,947.02	\$313,464.90
102	Single Family Attach			\$0.00	
103	Two Family			\$0.00	
104	Three or More Families			\$0.00	
	Mobile Homes			\$0.00	
322	Service Stations	1		\$2,499,000.00	
324	Office	1		\$300,379.00	
328	Non-resident buildings			\$0.00	
329	Pool	1		\$73,548.00	
434	Residential add/alt	31		\$877,123.97	
437	Non-residential add/alt	9		\$33,658,858.00	
438	Res garage/carports	5		\$102,400.00	
645	Demo - sfd	1		\$0.00	
649	Demo - commercial			\$0.00	
YTD TOTAL		79	30	\$46,915,255.99	
Residential Value		Commercial Value			
20.4%		77.7%			92.5%



Community Development

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May 2025

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	6	6	\$1,744,561.00	\$290,760.17
102	Single Family Attach	0		\$0.00	
103	Two Family	0		\$0.00	
104	Three or More Families	0		\$0.00	
	Mobile Homes	0		\$0.00	
322	Service Stations	0		\$0.00	
324	Office	0		\$0.00	
328	Non-resident buildings	2		\$7,918,815.91	
329	Pool	0		\$0.00	
434	Residential Add/Alt	8		\$119,980.00	
437	Non-residential add/alt	1		\$36,500.00	\$36,500.00
438	Res garage/carports	0		\$0.00	
645	Demo - residential	1		\$0.00	
649	Demo - commercial	0		\$0.00	
May Total		18		\$9,819,856.91	

Residential Value
19.0%

Commercial Value
81.0%

YEAR TO DATE TOTAL

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	36	36	\$11,148,508.02	\$309,680.78
102	Single Family Attach			\$0.00	
103	Two Family			\$0.00	
104	Three or More Families			\$0.00	
	Mobile Homes			\$0.00	
322	Service Stations	1		\$2,499,000.00	
324	Office	1		\$300,379.00	
328	Non-resident buildings	2		\$7,918,815.91	
329	Pool	1		\$73,548.00	
434	Residential add/alt	39		\$997,103.97	
437	Non-residential add/alt	10		\$33,695,358.00	
438	Res garage/carports	5		\$102,400.00	
645	Demo - sfd	2		\$0.00	
649	Demo - commercial			\$0.00	
YTD TOTAL		97	36	\$56,735,112.90	

Residential Value
20.0%

Commercial Value
78.3%

81.0%