



PLANNING AND ZONING COMMISSION MEETING

April 22, 2025

6:00 PM

City Council Chambers

Agenda

- 1. Call to Order**
- 2. Roll Call**
- 3. Agenda Approval**
 - A. Approval of the April 22, 2025 agenda.
- 4. Minutes Approval**
 - A. Approval of the March 25, 2025 meeting minutes.
- 5. Public Comment**
- 6. New Business**
 - A. Approval of Plat of Survey for Parcel B of Parcel A of Indianola Industrial Park Lot 11.
 - B. Approval of Vacation of Storm Sewer Easement in Emerald Bay Plat 1.
 - C. Approval of a Final Plat for Emerald Bay Plat 2.
 - D. Approval of a Final Plat for Simpson Athletics Plat 1.
 - E. Approval of a Site Plan for Simpson Athletics Training / Competition Facility.
 - F. Consider and possible approval of amendments to Code of Ordinances of Indianola, Iowa.
- 7. Comments**
 - A. Building Permit Report
 - B. Current Projects
- 8. Adjourn**



PLANNING AND ZONING COMMISSION MEETING

March 25, 2025

6:00 PM

Indianola Wellness Campus Conference Room

Minutes

1. Call to Order

The meeting was called to order at 6:03 PM.

2. Roll Call

Members present: Al Farris, Carrie Woerdeman, Jake Vice, Justin Noethe, Rich Piper.

Staff members present: Bill Mettee, Tara Bosteder, Wade Wagoner, Jason Holder.

3. Agenda Approval

A. Approval of the March 25, 2025 agenda.

Farris made a motion to approve the agenda.

Vice seconded the motion.

Motion was passed.

4. Minutes Approval

A. Approval of the March 11, 2025 meeting minutes.

Vice made a motion to approve the meeting minutes.

Noethe seconded the motion.

Motion was passed.

5. Public Comment

There were no public comments.

6. New Business

A. Approval of a Preliminary Plat for Summercrest Hills North.

Bill Mettee, Senior Planner, introduced the request for approval of a preliminary plat, final plat and site plan for a commercial development, as requested by Monte Applegate with Snyder & Associates.

The property is located north of East Trail Ridge Avenue and east of North Jefferson Way and contains approximately 42.03 acres. The preliminary plat identifies 10 lots for commercial development and one lot for future residential development. The final plat identifies two lots for current development and three outlots for stormwater detention and future development. Lot 1 will be 2.91 acres and Lot 2 will be 1.58 acres.

The Development Agreement associated with this development calls for the extensions of East Willowcrest Avenue, North 6th Street and North 7th Street. The developer is responsible

for North 6th and the City is responsible for the other two. The flag lot is requested because these streets are not constructed.

The subject parcel was recently rezoned from C-2 Highway Commercial District to PUD to allow for the construction of a retail and athletic facility development. This particular project revolves around an athletic facility that is 135' x 203', 27,540 square feet and 32-feet in height.

One access is currently proposed into the site via flag lot and an ingress-egress easement. A total of 105 parking spaces are required and the developer is providing 114 spaces including five accessible spaces. Pedestrian access will be provided into the overall site from existing and proposed sidewalks and trails.

Public utilities will be provided to the site. Storm water detention will be provided in an existing basin located south of the athletic facility. The pond is privately owned and maintained.

A minimum of 15% of the project area is required to be open space, with the total amount of open space proposed at 28.5%. Plantings are being provided throughout the site in compliance with the Landscape & Open Space Ordinance. The elevations of the buildings are proposed to be constructed primarily of Class 2 metal panels, Class 1 Brick Veneer and fenestration. The building is 32 feet in height. A photometric plan submitted for the site complies with the requirements of the Site Plan Ordinance. A sign package has not been evaluated at this time and will be reviewed separately.

All proposed easements have been indicated on the site plan. Private and public utility easements are provided across the site. Public ingress/egress easements are provided for access. There are no parkland dedication requirements at this time.

The proposed site plan is in general conformance with the Zoning Ordinance, Site Plan Ordinance, and Comprehensive Plan. Staff recommends approval subject to remaining staff comments and review of the legal documents.

The Commission asked several questions about the approved PUD narrative with building materials.

Farris made a motion to approve the preliminary plat as submitted.

Vice seconded the motion.

Motion was passed by a unanimous vote.

B. Approval of a Final Plat for Summercrest Hills North Plat 1.

Vice made a motion to approve the final plat as submitted.

Piper seconded the motion.

Motion was passed by a unanimous vote.

C. Approval of a Site Plan for Summercrest Hills North Athletic Facility – Phase 1.

Vice made a motion to approve the site plan as submitted.

Piper seconded the motion.

Motion was passed by a unanimous vote.

7. Comments

A. Current Projects

Staff did not have any updates for current projects.

8. Adjourn

Vice made a motion to adjourn.

Piper seconded the motion.

The meeting was adjourned at 6:29 PM.



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: – Indianola Industrial Park - Plat of Survey

PREPARED BY: Bill Mettee – Senior Planner

REPORT DATE: April 18, 2025

MEETING DATE: April 22, 2025

GENERAL INFORMATION

Applicant / Owner:

Thac-Cam, Inc / Cam-Ric, LLC

Owner's Representative:

Matt Thomas, PLS, V&K Engineering

Request:

The applicant is requesting approval of a plat of survey to split the industrial lot into two lots.

Location and Size:

Property is located north of East Iowa Avenue and east of North Jefferson Way, containing 2.44 acres.

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	General Industrial	Industrial	M-2 (General Industrial District)
North	General Industrial	Industrial	M-2 (General Industrial District)
South	Multi-Family Residential	Low to Medium-Density Residential	R-3 (Multi-Family Residential District)
East	General Industrial	Industrial	M-2 (General Industrial District)
West	General Industrial	Industrial	M-2 (General Industrial District)

PROJECT HISTORY

The subject parcel was platted in 1972 as part of Indianola Industrial Park and is now Parcel A of Lot 11 after a 2006 plat of survey. The subject property is located on the north side of East Iowa Avenue east of North Jefferson Way. The property has two buildings used for light industrial commerce. There are two accesses into the site, both in front of the west building. One access is off of East Iowa Avenue and one access off of North 14th Street. The structures both currently meet the ordinances in terms of uses, setbacks and open space. There are 10-feet between the two buildings.

The applicant wishes to downsize and sell off the east building. Doing so takes the buildings out of conformance with the interior side yard setback requirement of 20-feet. With 10-feet total between the buildings, the applicant sought and was approved a variance for a side yard setback of 15-feet for both buildings. As proposed with the lot split, each building would have a 5-foot side yard setback. The Board of Adjustment heard this case at their January 31, 2025 meeting. The request was approved without condition. This plat of survey was contingent on the Board of Adjustment decision.

PROJECT DESCRIPTION

The plat of survey identifies the creation of one new lot in Indianola Industrial Park, labeled as Parcel B of Parcel A of Lot 11. With the split, Parcel A will be 1.31-acres in area and Parcel B will be 1.13-acres in area. All other bulk regulations, including other setbacks, open space and height restrictions will remain in compliance.

A 70' x 70' public ingress-egress easement is shown on Parcel A to allow access to Parcel B if an additional driveway cannot be installed per spacing requirements.

The use of Parcel B will remain industrial in nature.

Table I below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table I: Bulk Regulations for the M-2 District

Category	M-2 (minimum)
Front Yard Setback	35 feet
Rear Yard Setback	35 feet
Side Yard Setback	20 feet
Maximum Height Stories	50 feet
Lot Area	N/A
Lot Width	N/A

STAFF RECOMMENDATION

The plat of survey is in general conformance with the Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the plat of survey for Parcel B of Parcel A of Lot II.

Index Legend	
CITY:	INDIANOLA
COUNTY:	WARREN
PARCEL ID:	48380000115
DESCRIPTION:	PART OF PARCEL "A" OF LOT 11 IN INDIANOLA INDUSTRIAL PARK
PROPRIETOR:	THAC-CAM, INC
SURVEYOR:	MATTHEW J. THOMAS
COMPANY:	VEENSTRA & KIMM, INC
RETURN TO:	6775 VISTA DRIVE WEST DES MOINES, IA 50266 OFFICE: (515) 225-8000

PLAT OF SURVEY - PARCEL "B"

A PART OF PARCEL "A" OF LOT 11
IN INDIANOLA INDUSTRIAL PARK

LEGAL DESCRIPTION: PARCEL "B"

A parcel of land located in and forming a part of PARCEL "A", as shown in Book 2006 Page 2048 of the Office of the Warren County Recorder of LOT 11 in INDIANOLA INDUSTRIAL PARK, an Official Plat, now included in and forming a part of the City of Indianola, Warren County, Iowa, more particularly described as follows:

Beginning at the Southeast Corner of said PARCEL "A" of LOT 11 in INDIANOLA INDUSTRIAL PARK; thence North 88°03'30" West along the South Line of said PARCEL "A", a distance of 215.38 feet; thence North 01°55'21" East, a distance of 229.33 feet to a point on the North Line of said PARCEL "A"; thence South 89°54'19" East along said North Line, a distance of 207.81 feet to the Northeast Corner of said PARCEL "A"; thence South 00°03'34" West along the East Line of said PARCEL "A", a distance of 236.16 feet to the Point of Beginning, containing 49,235 Square Feet (1.13 Acres), subject to all easements, restrictions and covenants of record.

PROPERTY OWNER:
THAC-CAM, INC
ATTN: REED THACKER
1400 E IOWA AVENUE
INDIANOLA, IOWA 50125
BOOK 2006 PAGE 11453



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: *Matthew J. Thomas* Date: 03/31/2025
Name: (Printed or typed) Matthew J. Thomas
License Number: 19968
My license renewal date is December 31, 2025.
Pages or sheets covered by this seal: 1 - 2

SCALE	1" = 100'
DRAWN	MJT
CHECKED	MJT
APPROVED	MJT
DATE	03/31/2025
ISSUED FOR	THAC-CAM, INC



PLAT OF SURVEY - PARCEL "B"
A PART OF PARCEL "A" OF LOT 11
IN INDIANOLA INDUSTRIAL PARK

SHEET NO.	
1 OF 2	
PROJECT	389275



STAFF REPORT

TO: Board of Adjustment**PREPARED BY:** Bill Mettee, Senior Planner**RE:** 1400 East Iowa Avenue**DATE:** January 31, 2025

GENERAL INFORMATION:

Applicant / Owner: Thac-Cam, Inc. / Cam-Ric, LLC (Reed Thacker)

Requested Action(s) Variance from §165.05(3) of the Indianola Municipal Code which states structures in the M-2 district shall have a side yard setback of 20-feet. The applicant is requesting a variance of 15' on each building, for a 5' setback on each.

Location and Size: Addressed as 1400 East Iowa Avenue, property legally described as Parcel A of Lot 11 of Industrial Park, which is located east of North Jefferson Way on the north side of East Iowa Avenue.

Land Uses and Zoning:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	General Industrial	Industrial	M-2
North	General Industrial	Industrial	M-2
South	Multi-Family Residential	Low to Medium-Density Residential	R-3
East	General Industrial	Industrial	M-2
West	General Industrial	Industrial	M-2

BACKGROUND:

The subject parcel was platted in 1972 as Indianola Industrial Park and this property is now Parcel A of Lot 11 after a 2006 plat of survey. The subject property is located on the north side of East Iowa Avenue east of North Jefferson Way. The property has two buildings used for light industrial commerce. There are two accesses into the site, both in front of the west building. One access is off of East Iowa Avenue and one access off of North 14th Street. The structures both currently meet the ordinances in terms of uses, setbacks and open space. There are 10-feet between the two buildings.

The applicant wishes to downsize and sell the east building by way of parceling off the east half of the property. If the parcel were split in half, neither building would meet the required side yard setback of 20' for the M-2 district. Each building would have a 5' setback, a variance of 15' for each. All other setbacks would continue to be met. The applicant would be required to submit a final plat for review that addresses access and utility easements. One lot will be approximately 58,000 square feet and the other lot will be approximately 48,000 square feet. Prior to procurement of a surveyor to complete a plat, the applicant needs BOA approval for the setback variance.

CODE SECTIONS RELATED TO THE REQUESTED VARIANCE:**§165.05(E)**

NON-RESIDENTIAL BULK AND DENSITY REGULATIONS TABLE					
BULK AND DENSITY REGULATION BY ZONING DISTRICT	ZONING DISTRICTS				
	C-1	C-2	C-3	M-1	M-2
Min. Lot Size	n/a	n/a	n/a	n/a	n/a
Min. Lot Width	150 ft	150 ft	n/a	n/a	n/a
Min. Lot Street Frontage ⁴	40 ft	40 ft	40 ft	40 ft	40 ft
Front Yard Setback	30 ft	40 ft	0 ft	35 ft	35 ft
Side Yard Setback ¹	10 ft	10 ft	0 ft	20 ft	20 ft
Rear Yard Setback ²	10 ft	10 ft	0 ft	35 ft	35 ft
Min. Separation Between Buildings Not Attached	20 ft	20 ft	20 ft	20 ft	20 ft
Max. Building Height	50 ft ³	50 ft ³	50 ft	50 ft ³	50 ft ³
Min. Building Height	n/a	n/a	28 ft	n/a	n/a
Min. Open Space	20%	20%	0%	15%	15%
Max. Dwelling Units Per Acre	n/a	n/a	25	n/a	n/a

ANALYSIS:

Variances are designed to grant relief from the Ordinance, which if strictly imposed would deny a property owner reasonable use of the land and would therefore create undo hardship. An Applicant is required to prove that a hardship exists by demonstrating that the overall integrity of the area will not be diminished, a reasonable use cannot be made, the situation is unique, and the hardship is not self-imposed. Reed Thacker, the property owner, has submitted the attached Board of Adjustment application form dated January 20, 2025, stating arguments in favor of the requested variance. Notice of the proposed variance request was mailed to surrounding property owners within a 200-foot radius on Wednesday January 22, 2025. At the time this report was written, staff has not received any correspondence for or against the request.



ABOVE: Site plan of the property showing the requested accessory structure variance. The **RED** line shows the location of the proposed property line.

Hardship

In order to prove that a hardship exists and is not self-imposed, the applicants must prove that a literal interpretation of the provisions of the Ordinance deprive the applicants' rights commonly enjoyed by other properties in the same district. The applicant has noted the desire to downsize and sell half the property. In order to do that, a variance is being sought to remedy a non-conformity that would be caused by the lot split.

Uniqueness

In order to prove that the requested variance is unique to the property, the applicants must indicate proof of special conditions and circumstances that exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures or buildings. The applicant has stated that there are two buildings on site that are separated by 10-feet. The applicant wishes to divide the parcel and create a non-conformity by creating two lots with two buildings that will only have a 5-foot setback. The property was platted and plat of surveyed and a site plan was approved with all aspects meeting both the site plan ordinance and subdivision ordinance.

Public Interest and Integrity

The applicant has noted that the granting of the variance will not be contrary to the public interest or overall neighborhood integrity.

Staff Recommendation

Staff recommends **approval** of the variance request as presented.

General findings of fact:

- The applicant wishes to split an existing parcel into two parcels. The parcels will be approximately 58,000 square feet and 48,000 square feet.
- The property has two buildings on it that are separated by 10-feet. The lot split would create a non-conformity by not meeting the M-2 side yard setbacks. The variance is being sought for two 15' setbacks.
- The property was platted in 1972 and a plat of survey was created in 2006 to create Parcel A, which exists today.
- The applicant will be required to submit a final plat and easement documents to address access and utilities.

If there is information related to the application that has not been included with the packet that you feel would be beneficial to have available to you at the meeting, please contact me with those items and I will attempt to arrange for their availability.

CITY OF INDIANOLA

Bill Mettee

Senior Planner

Attachments

- I. Completed Board of Adjustment Application – Dated 01/20/2025
- II. Public Notice sent by City – 01/22/2025

BOARD OF ADJUSTMENT APPLICATION

Community Development

110 North 1st Street, Indianola, Iowa 50125-0299
(515) 961-9430 • comdev@indianolaiowa.gov



PROPERTY OWNER

(Last Name) THACKER
(First Name) REED
(Address) 1400 EAST IOWA AVE
(City) INDIANOLA (State) IOWA (Zip) 50125
(Phone) 515-961-4900 (Email) ROBLAMRICE@HOTMAIL.COM

APPLICANT (if not Property Owner)

(Last Name) _____
(First Name) _____
(Address) _____
(City) _____ (State) _____ (Zip) _____
(Phone) _____ (Email) _____

APPEAL

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Completed Application
- ☐ Filing Fee: \$300 per request
- ☐ Written narrative indicating where it is alleged there is error in any order, requirement, decision, or determination made by the Administrative Officer in the enforcement of this Code of Ordinances of Indianola, Iowa.
- ☐ Other Information as required by Director

SPECIAL USE PERMIT

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Property Address: _____
- ☐ Completed Application
- ☐ Filing Fee: \$300 per request
- ☐ Site Plan and Elevations as outlined in 165.06
- ☐ Written narrative indicating the special use permit sought and response to the criteria outlined in Section 165.02(3)(B)(3)(c)(v) of the Code of Ordinances of Indianola, Iowa
- ☐ Other Information as required by Director

VARIANCE

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☒ Property Address: 1400 EAST IOWA AVE
- ☒ Completed Application
- ☒ Filing Fee: \$300 per request
- ☐ Site Plan and Elevations
- ☒ Written narrative indicating justification for proposed variance and response to the criteria outlined in Section 165.02(3)(B)(3)(b) of the Code of Ordinances of Indianola, Iowa
- ☐ Other Information as required by Director

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with the knowledge, consent and authority of the owner(s) of the property. Pursuant to said authority, I hereby permit City officials to enter upon the property for the purpose of inspection related to this application.

Signature _____

Name (printed) _____ Date _____

FOR OFFICE USE ONLY:

Code to 45180

Date Received: 1/24/25

Receipt No: _____

Receipt Amount: 300

BOA Agenda Date: 2/5/25

CHK 25352

January 17, 2025

To the Board of Adjustment,

We are in the process of downsizing our company and want to sell our newest building. In order for us to move forward with this process, we are requesting a Fifteen (15) foot variance on both buildings. The site plan that has been submitted shows the layout of the buildings.

Please accept this letter as the justification for our variance request.

Reed Thacker DBA Cambron Thacker Ernst Inc

Reed Thacker, DBA Cambron Thacker



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

February 19, 2025

6:00 PM

City Council Chambers

Minutes

1. Call to Order

The meeting was called to order at 6:02 PM.

2. Roll Call

Members present: Amy Mitchell, Rene Soldwisch, and Lee Bash.

Members not present: Jane Whalen, Deidre Hoover.

Staff members present: Bill Mettee, Tara Bosteder, Wade Wagoner.

3. Agenda Approval

A. Approval of the February 19, 2025 agenda.

Soldwisch made a motion to approve the agenda.

Mitchell seconded the motion.

Motion was passed with a unanimous vote.

4. Minutes Approval

A. Approval of the January 8, 2025 meeting minutes.

Mitchell made a motion to approve the meeting minutes.

Soldwisch seconded the motion.

Motion was passed with a unanimous vote.

5. New Business

A. Consider Variance Request from Emily Nash at 116 South P Street from Section 165.05 to permit a covered deck that would not meet the front yard setback.

Mettee presented the request and related staff report.

There were no comments or questions.

Soldwisch made a motion to approve the request as submitted.

Mitchell seconded the motion.

Motion was passed by a unanimous vote.

B. Consider Variance Request from Reed Thacker at 1400 East Iowa Avenue from Section 165.05 to permit a subdivision where the existing structures would not meet the side yard setbacks.

Mettee presented the request and related staff report.

If this subdivision is approved, each parcel would have a side yard setback of five feet, where

20 feet is the requirement, thus creating the variance request.

Spacing requirements for access drives would need to be addressed if this were approved. An ingress/egress access agreement would cover this if a second access drive would not be permitted by the city.

If this subdivision is approved, and for some reason a building needs to be reconstructed in the same location, the variance to do so would come back before this board. A fire rating would be required on the secondary wall upon the rebuild. If the building is damaged by more than 50%, a rebuild would be needed and the new building would be subject to all current codes and ordinances. If damaged less than 50%, it could be rebuilt in the same footprint without being subject to current codes and ordinances.

Mitchell made a motion to approve the request as submitted.

Soldwisch seconded the motion.

Motion was passed by a unanimous vote.

- C. Consider Variance Request from Ryan Gross at 515 North I Street from Section 165.05 to permit construction of a new dwelling that would not meet the front or rear yard setbacks.

Mettee presented the request and related staff report.

Adequate space for vehicles in the driveway portion of the plans was discussed as a potential drawback of the proposed plans. This lot is an older lot and the sidewalk sits further back on the property. The 15 foot setback doesn't start until the sidewalk as shown in the presented picture; therefore, allowing the adequate space needed for vehicles in the driveway. The garage planned also allows for adequate space for parking inside of the garage for the vehicles that will generally be parked at this property. In addition, with the way the front slopes away, it's not ideal to push the structure any further north, and with the nonconforming garage that sits on the property line to the west, it's not ideal to push the structure any further west in effort to create extra space for a fire barrier.

Mr. Gross initially bought this property as a remodel, but over the course of three years, it's become clear that the condition of the home warrants a complete rebuild. He stated that he has worked with a builder as well as a realtor to come up with the most economical plan while minimizing as much loss as possible.

There were no further comments or questions.

Soldwisch made a motion to approve the request as submitted.

Mitchell seconded the motion.

Motion was passed by a unanimous vote.

- D. Consider Variance Request from Ralph and Sonja Blackman at 400 East Clinton Avenue to allow a garage addition that will exceed maximum lot coverage and square footage for accessory structures.

Mettee presented the request and related staff report.

Mr. Blackman presented his case, stating that where he lives is not surrounded by residential

properties. There is Aubert's Towing to the north, Warren Co. Oil has a storage tank to the north, a police/fire building, and the Ace Hardware parking lot. He added that his lot is a double wide lot. He continued that his property sees a lot of foot traffic come through and with that comes vandalism. He said in the proposed building, he would like to put his 1976 truck, a golf cart he uses to get around the city, and his riding lawnmower. By being able to keep these items inside, it would protect them from the weather as well as preventing any potential vandalism.

The addition to the building will match the existing building exactly.

Mr. Blackman also added that his lot was sloped in such a way that you would not be able to see the addition from the street very well.

With this lot being a double-size lot and really close to a commercial area, the addition would not interfere with a residential atmosphere.

The open space requirement is still being met, it's just the accessory structure coverage that is requiring the variance request.

There were no further comments or questions.

Mitchell made a motion to approve the request as submitted.

Soldwisch seconded the motion.

Motion was passed by a unanimous vote.

- E. Consider Special Use Permit from Emerald Bay, LLC for temporary concrete batch plant in PUD district.

Mettee presented the request and related staff report.

Jesse Rognes of Synergy Contracting addressed the board. He wanted to bring this forward to the board as they've never done this in Indianola before. This permit, if approved, with help with production and saves wear and tear on the city streets. He said they wanted to be forthright with what they're doing and they will pull it out as soon as they're done. He shared that the build schedule is a 90-day timeline, and they plan to begin mid-March. He added that there is another upcoming project to this area as well that this plant will potentially feed.

If approved, the timeframe for the permit was requested for two years. However, if needed, the permit could be revisited with the board after a period of one year. Typically a special use permit, when approved, is for the life of the property or project.

If the plant needs to move sites, or if more projects come forward that extend the need for the plant to remain, then this permit will be brought back before this board for approval.

There were no further comments or questions.

Soldwisch made a motion to approve the request as submitted.

Mitchell seconded the motion.
Motion was passed by a unanimous vote.

6. Comments

Mettee notified the board that Amy Mitchell has given notice that she would not be renewing her term on this board, and he thanked her for her service. Mitchell's term on the board ends June 30, 2025.

7. Adjourn

Mitchell made a motion to adjourn the meeting.
Soldwisch seconded the motion.
The meeting was adjourned at 6:49 PM.



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Emerald Bay Plat 2 – Final Plat

PREPARED BY: Bill Mettee – Senior Planner

REPORT DATE: April 18, 2025

MEETING DATE: April 22, 2025

GENERAL INFORMATION

Applicant / Owner:

Emerald Bay, LLC

Owner's Representative:

Wally Pelds, P.E., Pelds Design Services

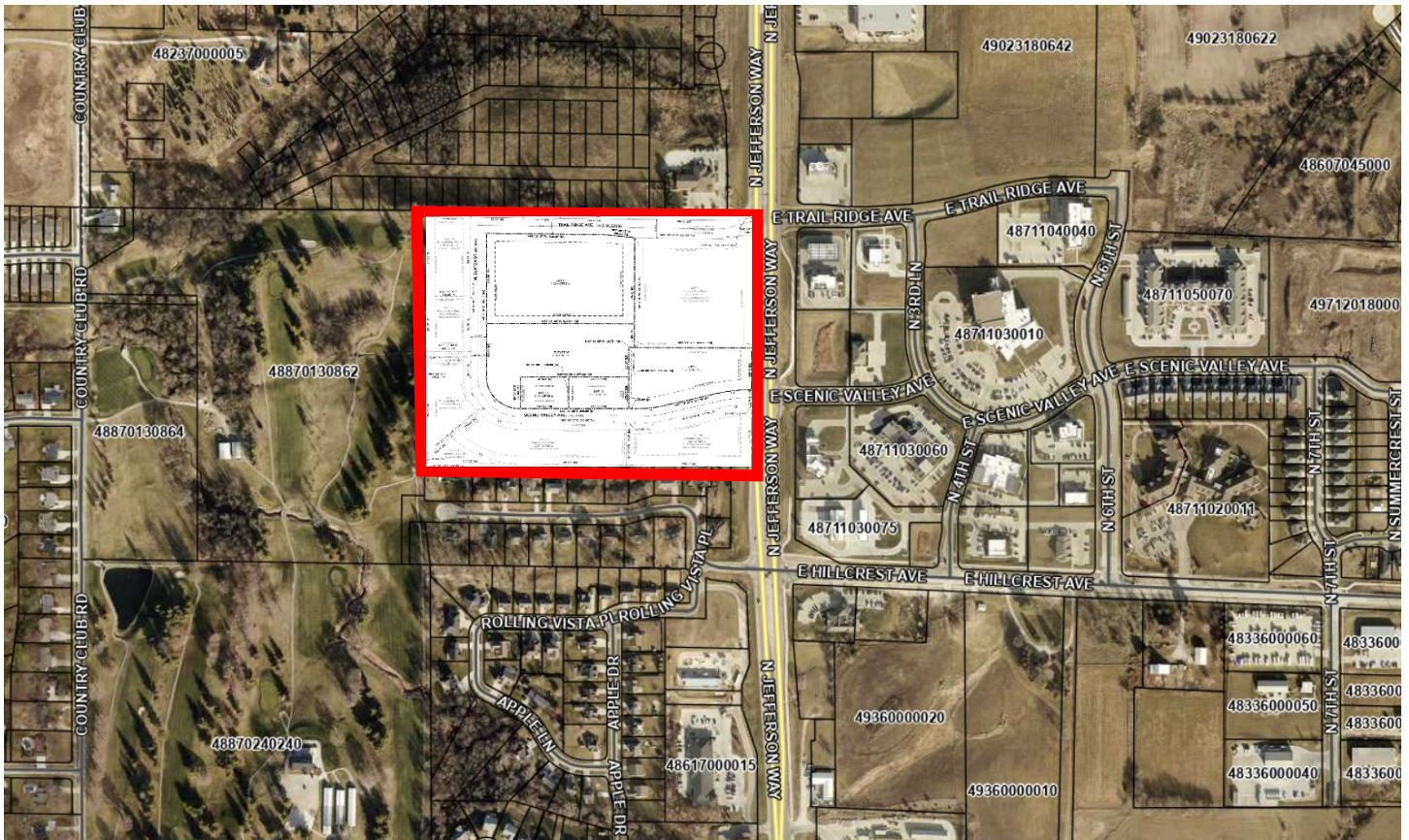
Request:

The applicant is requesting approval of a final plat for a commercial and residential subdivision.

Location and Size:

Property is located north of West Hillcrest Avenue and west of North Jefferson Way, containing approximately 9.63-acres.

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant – Undeveloped	Planned Unit Development	PUD (Planned Unit Development)
North	Vacant / Undeveloped & Indianola Vet Clinic	Regional Mixed-Use / Low-Density Residential	A-1 (Agricultural and Open Space District) / C-2 (Highway Commercial District)
South	Emerald Bay Plat 1	Low-Density Residential	PUD (Planned Unit Development)
East	General Commercial Uses	Community Commercial	C-2 (Highway Commercial District) / PUD (Planned Unit Development)
West	Emerald Bay Plat 1	Planned Unit Development	PUD (Planned Unit Development)

PROJECT HISTORY

The preliminary plat for Emerald Bay was approved by the Planning and Zoning Commission at their February 27th, 2024 meeting followed by approval by City Council at their March 4, 2024 meeting. The final plat for Emerald Bay Plat 1 was approved by the Planning & Zoning Commission at their October 22, 2024 followed by City Council approval at their December 2, 2024 meeting.

PROJECT DESCRIPTION

The developer has received interest in Lot 1 (Lot 5 on Plat 1) which requires resizing the lot, which impacts the other interior lots. The lots now range in size from 0.46 acres to 4.03 acres. The designated uses will remain the same. Outlot W was reshaped to accommodate the pond.

Due to Lot 1 increasing in size, the storm sewer easement that was previously approved needs to be vacated. It will now be located along the border of Lot 1, Lot 2 and Outlot W.

Table 1 below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table 1: Bulk Regulations for the PUD (R-3 and C-2) Districts

Category	PUD (C-2 / R-3) (minimum)
Front Yard Setback	40 feet / 30 feet
Rear Yard Setback	10 feet / 30 feet
Side Yard Setback	10 feet / 5 feet
Maximum Height Stories	50 feet / 35 feet
Lot Area	NA / NA
Lot Width	150 feet / 80 feet

STREETS / TRAILS

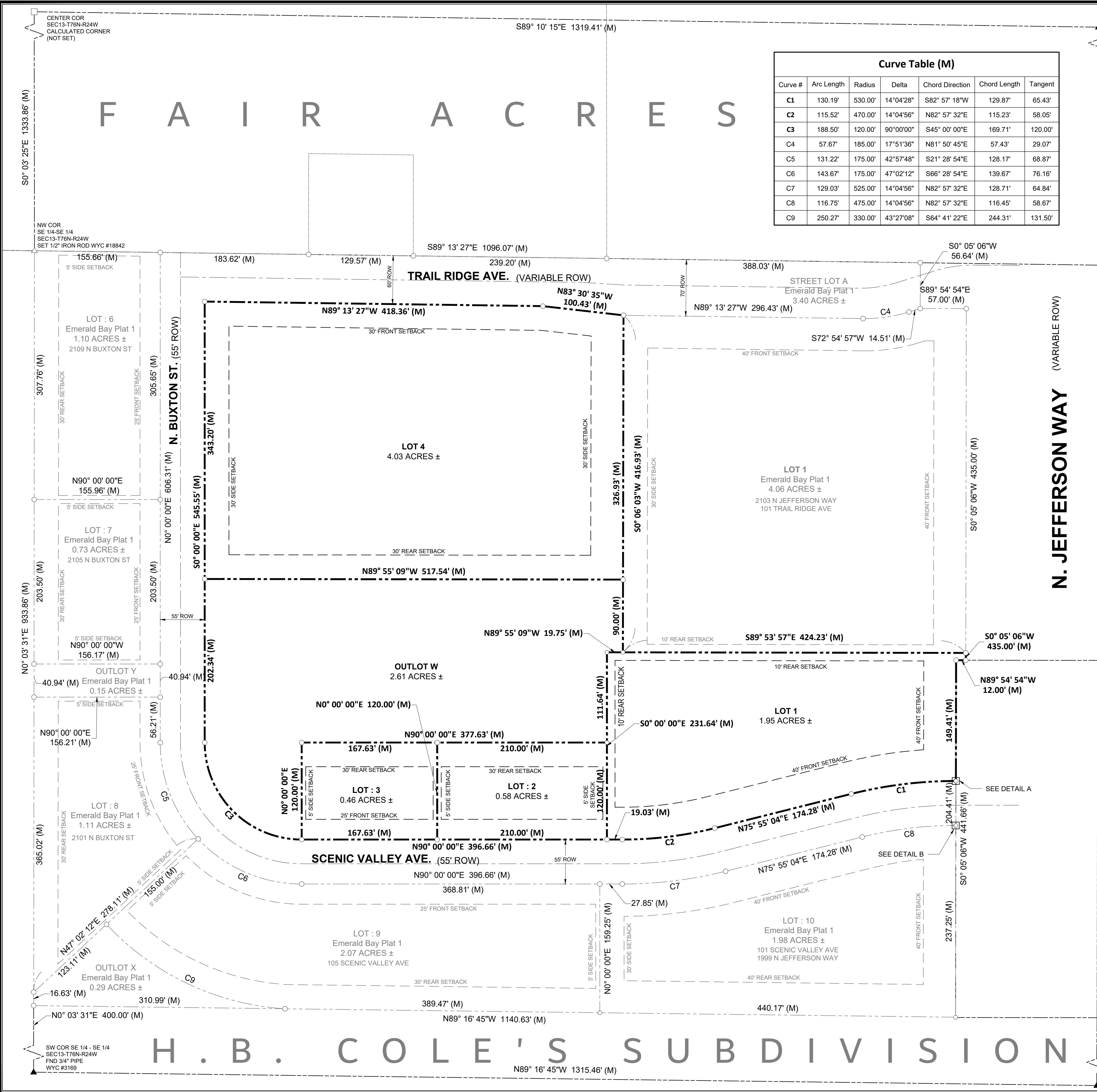
East Trail Ridge Avenue is currently under construction as part of the overall Emerald Bay development. East Scenic Valley Drive will be installed with Plat 2 improvements.

UTILITIES

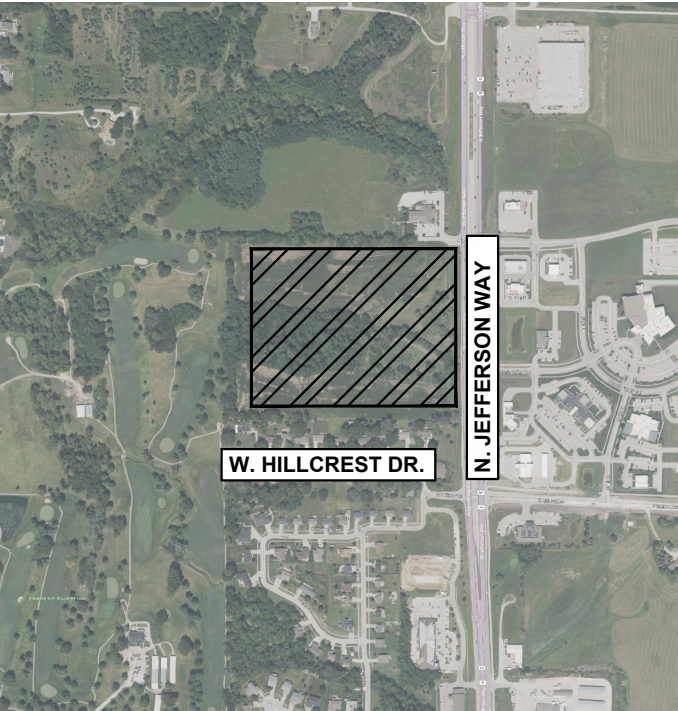
All utilities will remain the same in Plat 2 with the exception of the Storm Sewer Easement that will be moved.

STAFF RECOMMENDATION

The final plat is in general conformance with the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the final plat for Emerald Bay Plat 2 subject to remaining staff comments and review of the legal documents.



Curve Table (M)						
Curve #	Arc Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	130.19'	530.00'	14°04'28"	S82° 57' 18"W	129.87'	65.43'
C2	115.52'	470.00'	14°04'56"	N82° 57' 32"E	115.23'	58.05'
C3	188.50'	120.00'	90°00'00"	S45° 00' 00"E	169.71'	120.00'
C4	57.67'	185.00'	17°51'36"	N81° 50' 45"E	57.43'	29.07'
C5	131.22'	175.00'	42°57'48"	S21° 28' 54"E	128.17'	68.87'
C6	143.67'	175.00'	47°02'12"	S66° 28' 54"E	139.67'	76.16'
C7	129.03'	525.00'	14°04'56"	N82° 57' 32"E	128.71'	64.84'
C8	116.75'	475.00'	14°04'56"	N82° 57' 32"E	116.45'	58.67'
C9	250.27'	330.00'	43°27'08"	S64° 41' 22"E	244.31'	131.50'

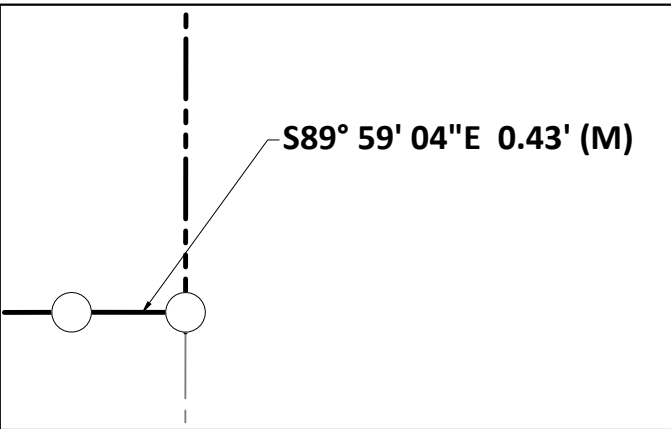


VICINITY MAP
1" = 1000'

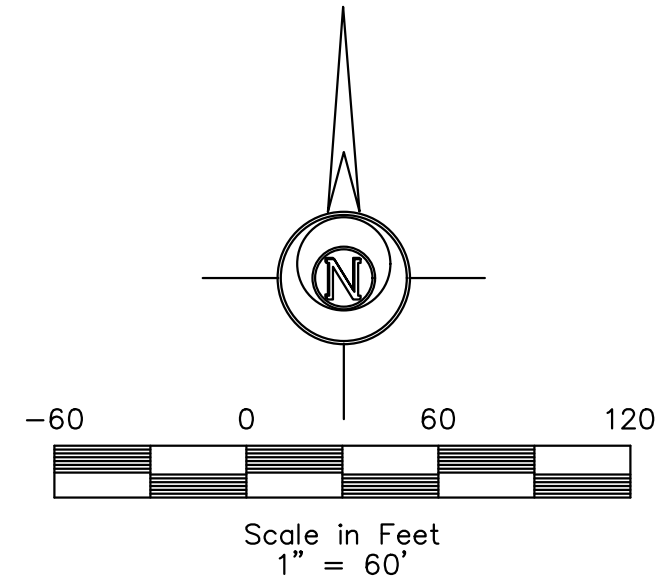
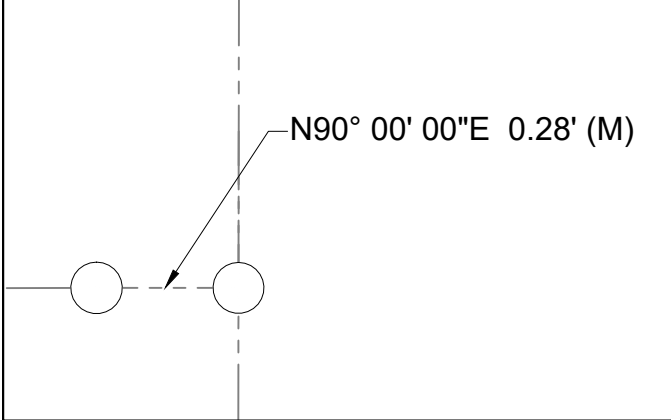
LEGEND:

- +/- MORE OR LESS
- SET 1/2" IRON ROD WYC #18842
- ▲ FOUND SECTION CORNER
- △ SET SECTION CORNER
- CALCULATED CORNER (NOT SET)
- (M) MEASURED
- WOC WITH ORANGE CAP
- WYC WITH YELLOW CAP

DETAIL A: NOT TO SCALE



DETAIL B: NOT TO SCALE



FINAL PLAT
EMERALD BAY PLAT 2
INDIANOLA IA 50125

DATE OF SURVEY:

11/2023

SITE ADDRESS

2103 N JEFFERSON WAY
INDIANOLA, IA 50125

SITE AREA

GROSS: 9.63 ACRES (419,304 SQ.FT.)

ZONING

EXISTING: C-2, R-2, R-1, R-3

PROPOSED: PUD W/UNDERLYING R-3 & C-2 OR
SIMILAR

ADJACENT ZONING:

NORTH: A-1, C-2 EAST: ROW, C-2
SOUTH: R-1 WEST: A-1

BULK REGULATIONS

- MULTI-FAMILY (R-3):
 - i. MIN. OPEN SPACE: 25%
 - ii. MAX. BUILDING HEIGHT: 50FT.
 - iii. MIN. SEPARATION BETWEEN BUILDINGS NOT ATTACHED: 30FT.
 - iv. MAX. DENSITY PER ACRE: 25/ACRE
 - v. MIN. LOT STREET FRONTAGE: 20FT.
 - vi. MIN LOT WIDTH: 80FT.

ROW HOMES/TOWN HOMES (R-3):

- i. MIN. OPEN SPACE: 25%
- ii. MAX. BUILDING HEIGHT: 35FT.
- iii. MIN. SEPARATION BETWEEN BUILDINGS NOT ATTACHED: 16FT. SIDE TO SIDE; 46FT. BACK TO BACK/SIDE
- iv. MAX. DENSITY PER ACRE: 8
- v. MIN. LOT STREET FRONTAGE: 20FT.
- vi. MIN. LOT WIDTH: 24FT.

COMMERCIAL COMPLIANCE (C-2):

- i. MIN. OPEN SPACE: 20%
- ii. MAX. BUILDING HEIGHT: 50FT.
- iii. MIN. SEPARATION BETWEEN BUILDINGS NOT ATTACHED: 20FT.
- iv. MIN. LOT STREET FRONTAGE: 40FT.
- v. MIN. LOT WIDTH: 150FT

OUTLOT USES

OUTLOT W-
XXXXXXXXXXXXXXXXXX

SETBACKS - PUD

COMMERCIAL (C-2)
FRONT: 40'
SIDE: 10'
REAR: 10'

MULTI-FAMILY (R-3)

FRONT: 30'
SIDE: 30'
REAR: 30'

ROW HOMES (R-3)

FRONT: 25'
SIDE: 5'
REAR: 30'

TOWNHOMES (R-3)

FRONT: 25'
SIDE: 5'
REAR: 30'

DEVELOPER:

SUNSTONE INVESTMENTS, LLC
C/O JESSE ROGNES
SYNERGY CONTRACTING, L.L.C.
7481 US HWY 65/69
DES MOINES, IA 50320

SURVEYOR:

VOLDEMARS PELDS

COMPANY:

PELDS DESIGN SERVICES

RETURN TO:

2323 DIXON STREET
DES MOINES, IA 50316

ERROR OF CLOSURE:

1: 375,794

NOTE:

-DETENTION AREAS SHALL BE MAINTAINED BY THE
CITY OF INDIANOLA

LEGAL DESCRIPTION:

LOTS 2, 3, 4, 5, & OUTLOT Z OF EMERALD BAY PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND
FORMING A PART OF THE CITY OF INDIANOLA, WARREN COUNTY IOWA.

CONTAINING 9.63 ACRES MORE OR LESS

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

D R A F T

VOLDEMARS L. PELDS
18842

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): 1-2

Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

EMERALD BAY PLAT 2

INDIANOLA, IA 50125

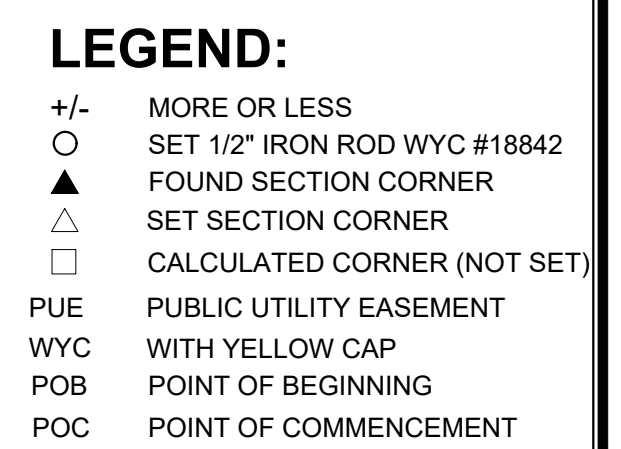
COPYRIGHT DATE: 11/2023		DRAWN BY: A. BRADFIELD		SCALE: 1"=60'		LATEST REVISION: 3.27.2025		DRAWING NO: 25-037	
FILE PATH: J:\2023 Projects\23-141 - Emerald Bay Development - Indianola - Jesse Rognes\Engineering\Sheet Set									

FINAL PLAT SHT 1

F A I R A C R E S

Line Table		
Line #	Length	Direction
L1	1.82'	S0° 03' 31"W
L7	9.62'	S0° 00' 00"E
L9	20.00'	N8° 43' 05"W
L15	93.14'	S35° 26' 50"W
L17	103.81'	S35° 26' 50"W

Line Table		
Line #	Length	Direction
L1	1.82'	S0° 03' 31"W
L7	9.62'	S0° 00' 00"E
L9	20.00'	N8° 43' 05"W
L15	93.14'	S35° 26' 50"W
L17	103.81'	S35° 26' 50"W



H . B . C O L E ' S S U B D I V I S I O N

PREPARED BY: PELDS DESIGN SERVICES. - 2323 DIXON STREET, DES MOINES, IOWA 50316 - PH. (515)265-8196

EASEMENT VACATION

LEGAL DESCRIPTION:

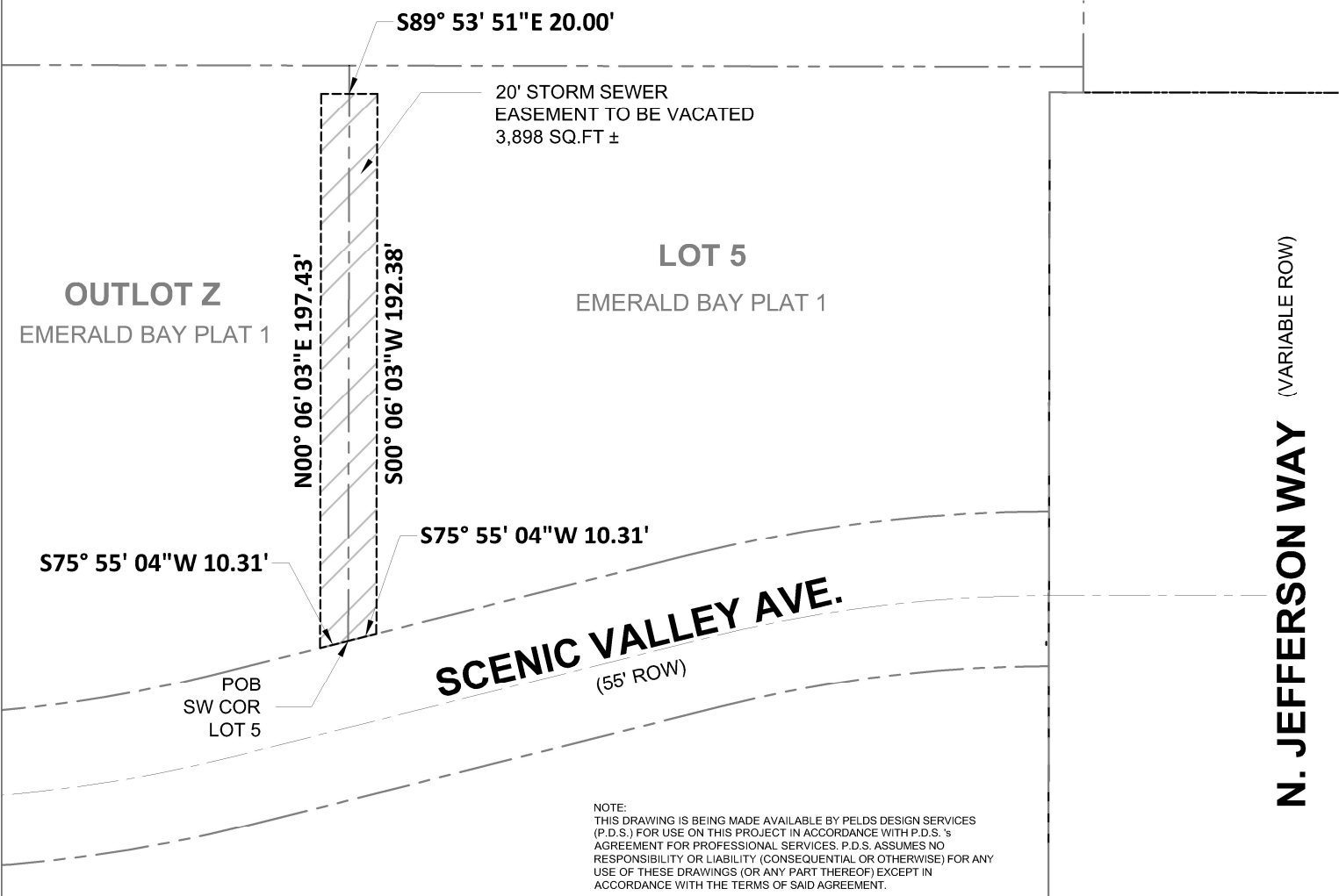
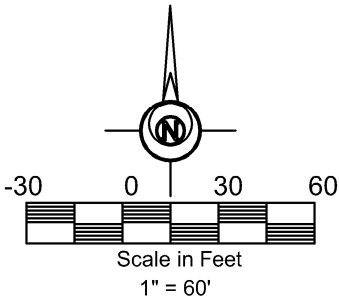
A part of Lot 5 and Outlot Z in EMERALD BAY PLAT 1, an Official Plat, now included in and forming a part of the City of Indianola, Warren County Iowa, is more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 5; THENCE South 75°55'04" West, a distance of 10.31 feet along the south line of said Outlot Z; THENCE North 00°06'03" East, a distance of 197.43 feet; THENCE South 89°53'51" East, a distance of 20.00 feet; THENCE South 00°06'03" West, a distance of 192.38 feet to the South line of said Lot 5; THENCE South 75°55'04" West, a distance of 10.31 feet along the South line of said Lot 5 to the POINT OF BEGINNING.

Containing 3,898 sq.ft. more or less.

SYMBOLS LEGEND

POB POINT OF BEGINNING
± MORE OR LESS



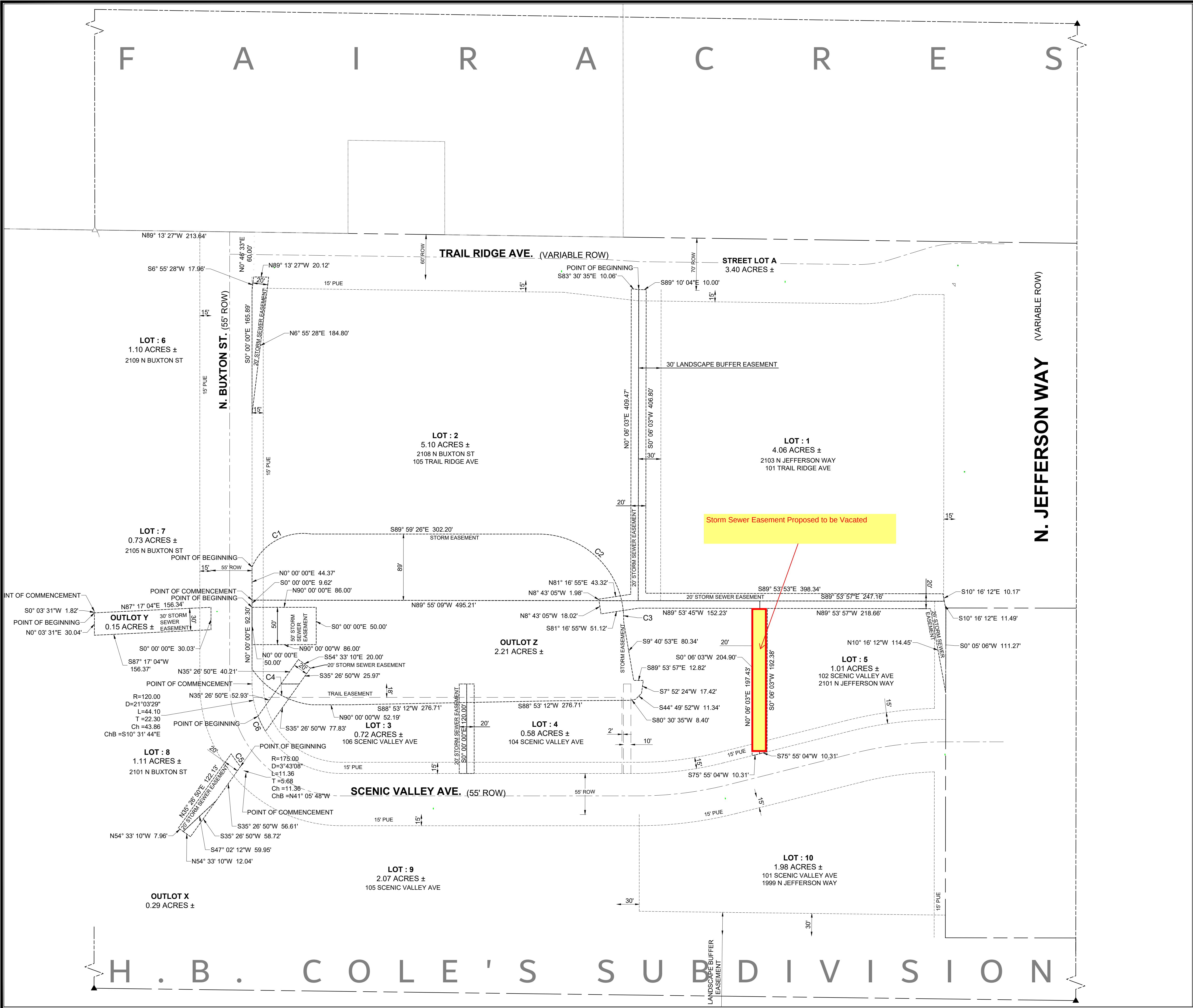
Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

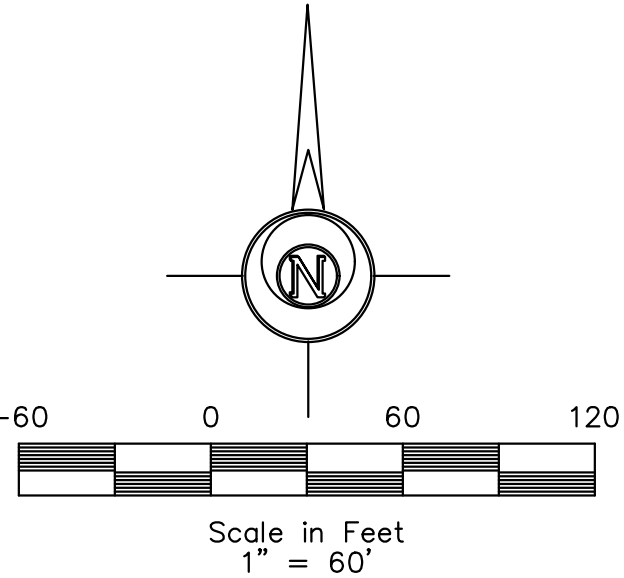
EASEMENT VACATION FOR 102 SCENIC VALLEY AVE
INDIANOLA, IA 50125

COPYRIGHT DATE:	DRAWN BY:	SCALE:	LATEST REVISION:	DRAWING NO:
	A.BRADFIELD	1" = 60'	4.1.2025	25-037

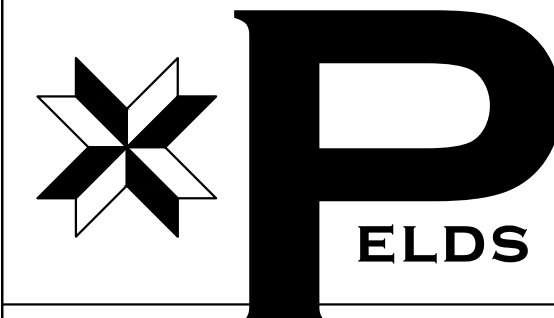
FILE PATH: J:\2025 PROJECTS\25-037 EMERALD BAY PLAT 2\ENGINEERING\Sheet Set\EASEMENT VACATION.DWG



- LEGEND:**
- +/- MORE OR LESS
 - SET 1/2" IRON ROD WYC #18842
 - ▲ FOUND SECTION CORNER
 - △ SET SECTION CORNER
 - CALCULATED CORNER (NOT SET)
 - FENCE LINE
 - (M) MEASURED
 - WOC WITH ORANGE CAP
 - WYC WITH YELLOW CAP



Curve Table						
Curve #	Arc Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	98.12'	74.46'	75°30'10"	N60° 58' 15"E	91.18'	57.66'
C2	156.13'	114.05'	78°26'14"	S51° 45' 48"E	144.22'	93.08'
C3	27.86'	114.05'	13°59'49"	S5° 32' 47"E	27.79'	14.00'
C4	95.78'	112.24'	48°53'47"	N58° 56' 51"W	92.90'	51.03'
C5	21.14'	175.00'	6°55'13"	S35° 46' 38"E	21.12'	10.58'
C6	22.70'	120.00'	10°50'20"	N26° 28' 39"W	22.67'	11.38'

**ELDS DESIGN SERVICES**

Architecture | Engineering | Surveying
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

EMERALD BAY PLAT 1
INDIANOLA, IA 50211

BENCHMARK:

COPYRIGHT DATE: 12.02.2024

DRAWN BY: A.BRADFIELD

SCALE: 1"=60'

REVISIONS:

LATEST REVISION: 23-141

DRAWING NO: 23-141

PRELIMINARY

FINAL PLAT SHT 2



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Simpson Athletics Pat 1 – Final Plat & Site Plan

PREPARED BY: Bill Mettee – Senior Planner

REPORT DATE: April 18, 2025

MEETING DATE: April 22, 2025

GENERAL INFORMATION

Applicant / Owner:

Simpson College

Owner's Representative:

Jason Ledden, PE, Snyder & Associates

Request:

The applicant is requesting approval of a final plat and site plan for an athletic facility.

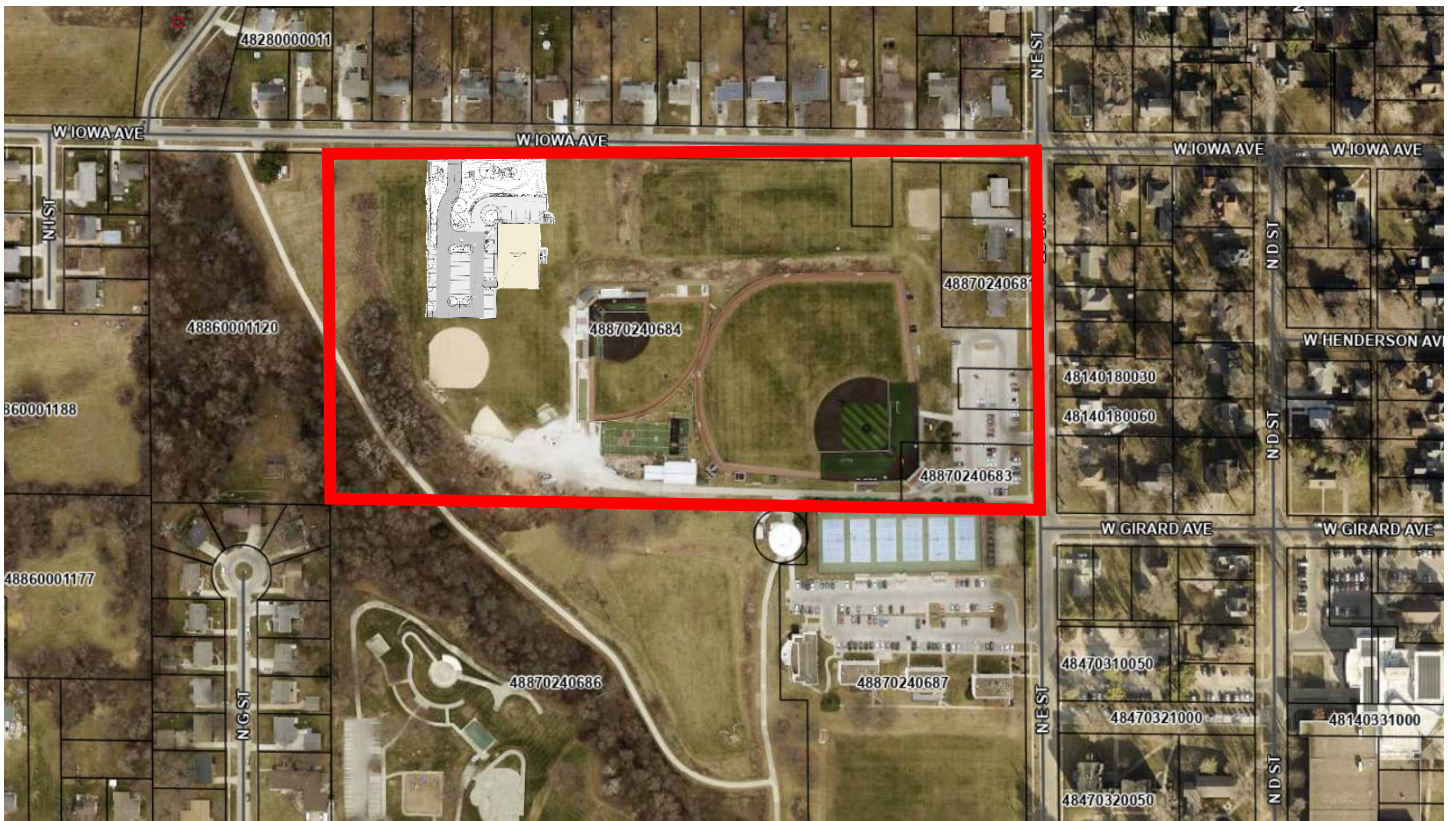
Location and Size:

Property is generally located west of North Jefferson Way and south of West Iowa Avenue, containing approximately 18.85-acres.

Property Address:

805 West Iowa Avenue

AREA MAP



ABOVE: Aerial of subject property (outlined in **RED**) in relation to the surrounding area.

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Simpson Athletics Practice Fields	Parks & Recreation	R-2 (Single-Family Residential Attached District)
North	Single-Family Residential	Low-Density Residential	R-1 (Single-Family Residential Detached District)
South	City of Indianola Park	Parks & Recreation	R-2 (Single-Family Residential Attached District)
East	Single-Family Residential	Low-Density Residential	R-1 (Single-Family Residential Detached District)
West	Vacant / Undeveloped / Trail	Neighborhood Mixed-Use	R-1 (Single-Family Residential Detached District)

PROJECT DESCRIPTION

The applicant is proposing a final plat and site plan for a commercial development for an indoor athletic complex. The proposed site plan for consideration is for an indoor athletic facility that is approximately 80' x 126' and 10,130 square feet in area. The athletic facility will be approximately 29-feet in height.

The final plat identifies one lot for development and two street lots to be deeded to the City of Indianola for ROW purposes. Lot 1 is approximately 17.87 acres in area. Several lots affiliated with Simpson College extend into West Iowa Avenue and North E Street essentially allowing them ownership of City streets and ROWs. These lots will be combined into the overall Lot 1 and those areas occupying the ROW will be deeded to the City.

Table 1 below summarizes the bulk regulations that are applicable to the proposed development. The site plan demonstrates compliance with the bulk regulations.

Table 1: Bulk Regulations for the Non-Residential Uses in R-2 Zoning District

Category	R-2 (Non-Res) (minimum)
Front Yard Setback	35 feet
Rear Yard Setback	35 feet
Side Yard Setback	30 feet
Maximum Height Stories	40'

ACCESS AND PARKING

Access into the site will be from West Iowa Avenue

A total of 58 parking spaces are required (1 space per 4 seats at maximum capacity) for the athletic facility. The applicant is providing 58 spaces, including three accessible spaces. The proposed site plan meets the parking requirements.

SIDEWALKS / TRAILS / TRAFFIC

A 5' sidewalk exists on the south side of West Iowa Avenue adjacent to the subject property. A short segment will be removed and replaced when the driveway is installed. A 5' pedestrian walkway will be installed into the site from the public sidewalk.

UTILITIES

The site will be serviced with public utilities, which exist in the immediate vicinity. Utilities will be extended as needed to service the new building. Stormwater detention will be provided in a basin to the west of the proposed parking area with an ultimate discharge location to the existing creek to the west.

LANDSCAPING & OPEN SPACE

A minimum of 20% of the project area is required to be open space. The total amount of open space proposed is 69.34%. The plantings shown on the landscape plan meet the minimum requirements of the Landscape & Open Space Ordinance.

ELEVATIONS

Colored building elevations are included for review. The buildings are proposed to be constructed predominantly of Class 2 architectural metal wall panel systems with concealed fasteners in gray and cool granite colors and Class 1 aluminum-framed storefront system with glazing. The elevations are in compliance with the Site Plan Ordinance.

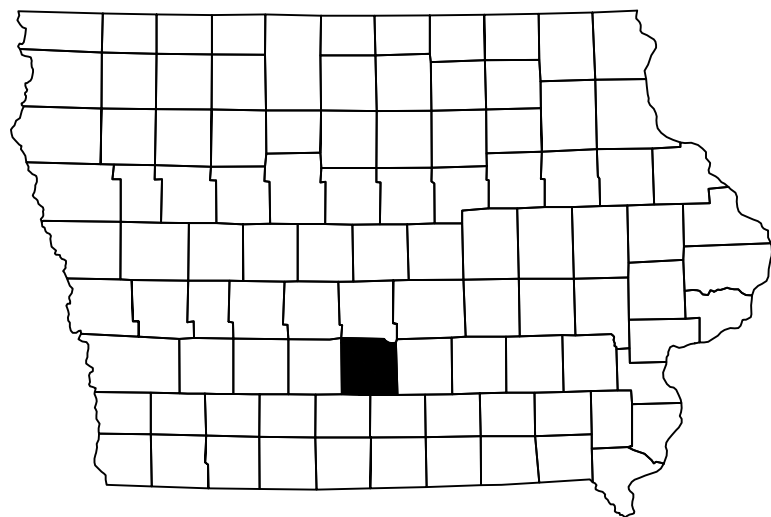
STAFF RECOMMENDATION

The proposed final plat and site plan are in general conformance with the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan. Staff recommends approval of the final plat and site plan for Simpson Athletics Plat I subject to remaining staff comments and review of the legal documents.

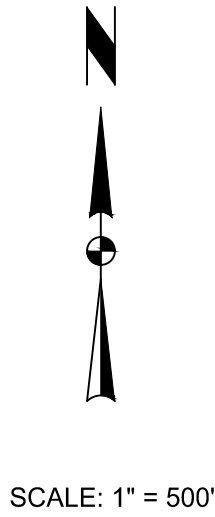
SITE PLAN
FOR
SIMPSON ATHLETICS
TRAINING/COMPETITION FACILITY
IOWA AVENUE
CITY OF INDIANOLA, WARREN COUNTY, IOWA

OWNER
SIMPSON COLLEGE
701 N C STREET
INDIANOLA, IA 50125
CONTACT: MEGAN MARQUARDT
PHONE: 515-961-1579
EMAIL: MEGAN.MARQUARDT@SIMPSON.EDU

APPLICANT
DOWNING CONSTRUCTION INC
509 E SCENIC VALLEY AVENUE
INDIANOLA, IA 50125
CONTACT: SCOTT SCHURMAN
PHONE: 515-961-5386
EMAIL: SCOTTS@DOWNINGCONSTRUCT.COM

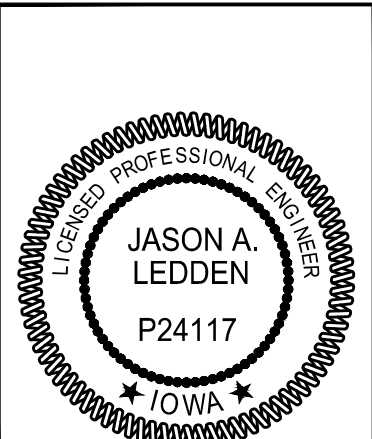


VICINITY MAP



Sheet List Table

- C100 TITLE SHEET
- C101 PROJECT INFORMATION
- C200 DIMENSION PLAN
- C300 GRADING AND EROSION CONTROL PLAN
- C301 GRADING DETAILED PLAN
- C400 UTILITY PLAN
- C500 PLANTING PLAN
- C600 SITE DETAILS



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Jason A. Ledden, P.E. _____ Date _____

License Number P24117

My License Renewal Date is December 31, 2026

Pages or sheets covered by this seal:
C100-C400, C600



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Monte A. Appelgate, PLA _____ Date _____

License Number 342

Pages or sheets covered by this seal:
C500

SIMPSON ATHLETICS TRAINING/COMPETITION FACILITY

TITLE SHEET

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 125.0130.01

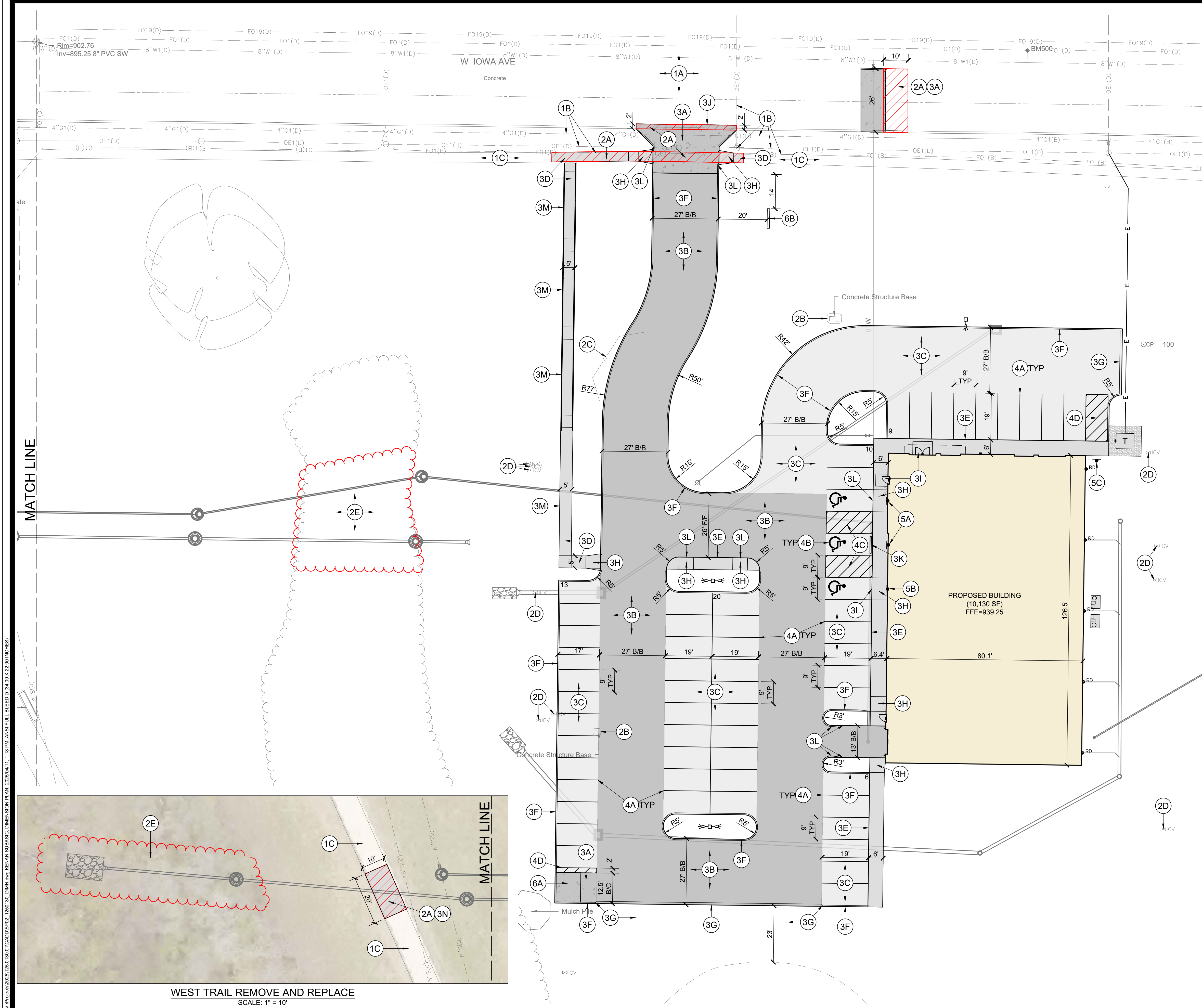
Sheet C100

2	PER CITY COMMENTS	04/11/25	TLS
1	DOWNING DD SET	04/10/25	TLS
MARK	REVISION	DATE	BY
Engineer: JAL	Checked By: MAA	Scale: 1" = 500'	
Technician: TLS	Date: 03/21/2025	T-R-S: TTN-RRW-SS	

Project No: 125.0130.01

Sheet C100

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MATCH LINE

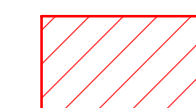
MATCH LINE

WEST TRAIL REMOVE AND REPLACE
SCALE: 1" = 10'

DIMENSION PLAN CONSTRUCTION NOTES

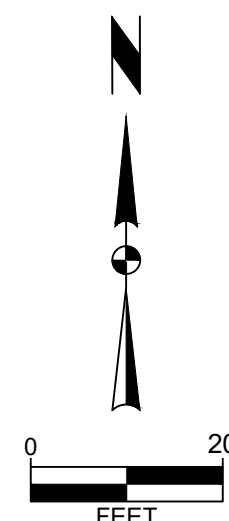
- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - EXISTING PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
 - EXISTING TRAIL.
- DEMOLITION, REMOVE THE FOLLOWING:
 - EXISTING PAVEMENT TO LIMITS SHOWN.
 - EXISTING CONCRETE STRUCTURE BASE.
 - EXISTING BACKSTOP FENCE.
 - EXISTING IRRIGATION SYSTEM. COORDINATE REMOVAL WITH OWNER PRIOR TO CONSTRUCTION.
 - EXISTING TREES AND PLANT MATERIAL INCLUDING STUBS AND ROOT BALL.
- PAVEMENTS. PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
 - 8" DEPTH PCC DRIVE AND PARKING ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 7" DEPTH PCC DRIVE AND PARKING ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 6" DEPTH PCC DRIVE AND PARKING ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 5" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 5" DEPTH PCC INTEGRAL SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY. SEE DETAIL.
 - 6" HEIGHT STANDARD CURB.
 - 3" HEIGHT ROLL CURB.
 - PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - PCC STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
 - CONNECT TO EXISTING PAVEMENT WITH TYPE 'A' DRIVEWAY CONNECTION (7030.101). MATCH EXISTING ELEVATIONS.
 - WHEEL STOP, PRECAST CONCRETE.
 - TAPER TO NO CURB.
 - SIDEWALK RAMP AT MAXIMUM 8.33% SLOPE WITH HANDRAIL. SEE DETAIL SHEET C800.
 - 6" DEPTH PCC TRAIL ON 6" DEPTH DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
- SIGNS. PROVIDE THE FOLLOWING:
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. SIGN MOUNTED ON BUILDING. ADA SIGNAGE TO COMPLY WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
 - ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. SIGN MOUNTED ON BUILDING. ADA SIGNAGE TO COMPLY WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
 - 'NO PARKING' SIGN.
- SITE AMENITIES. PROVIDE THE FOLLOWING:
 - TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAIL.
 - MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS. SIGN PERMIT TO BE SECURED SEPARATELY WITH CITY OF INDIANOLA BY OWNER. SETBACK SHALL NOT BE LESS THAN SIGN HEIGHT FROM PROPERTY LINE.

DEMOLITION LEGEND

 PAVEMENT REMOVAL

PAVEMENT LEGEND

 5" PCC SIDEWALK
 6" PCC PAVEMENT
 7" PCC PAVEMENT
 8" PCC PAVEMENT



SIMPSON ATHLETICS TRAINING/COMPETITION FACILITY

DIMENSION PLAN

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 125.0130.01
Sheet C200

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

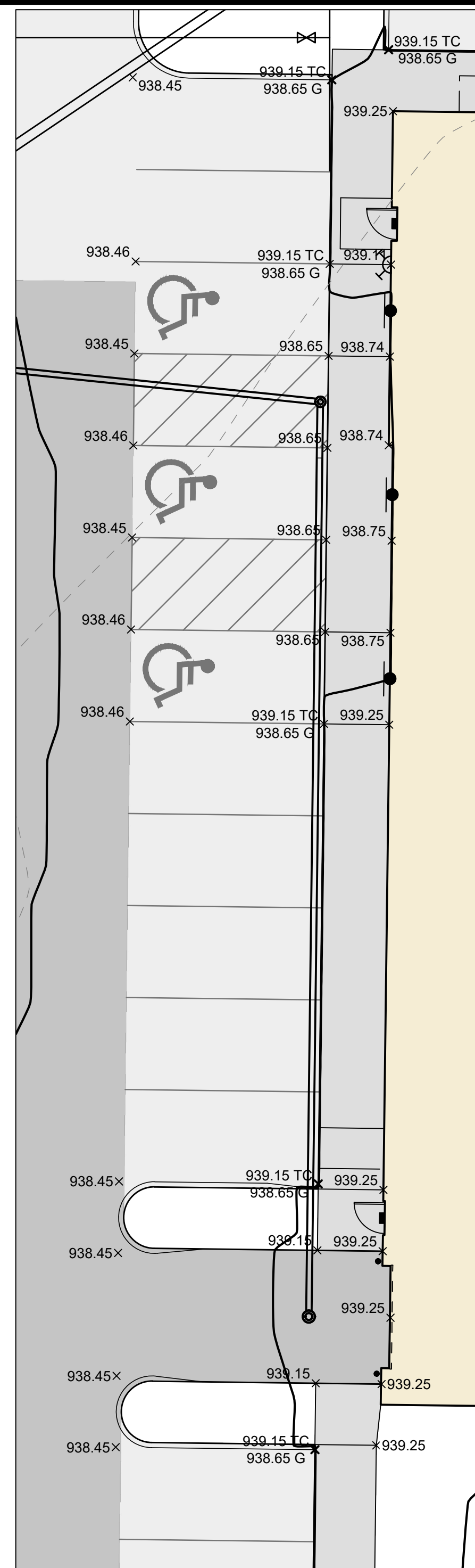
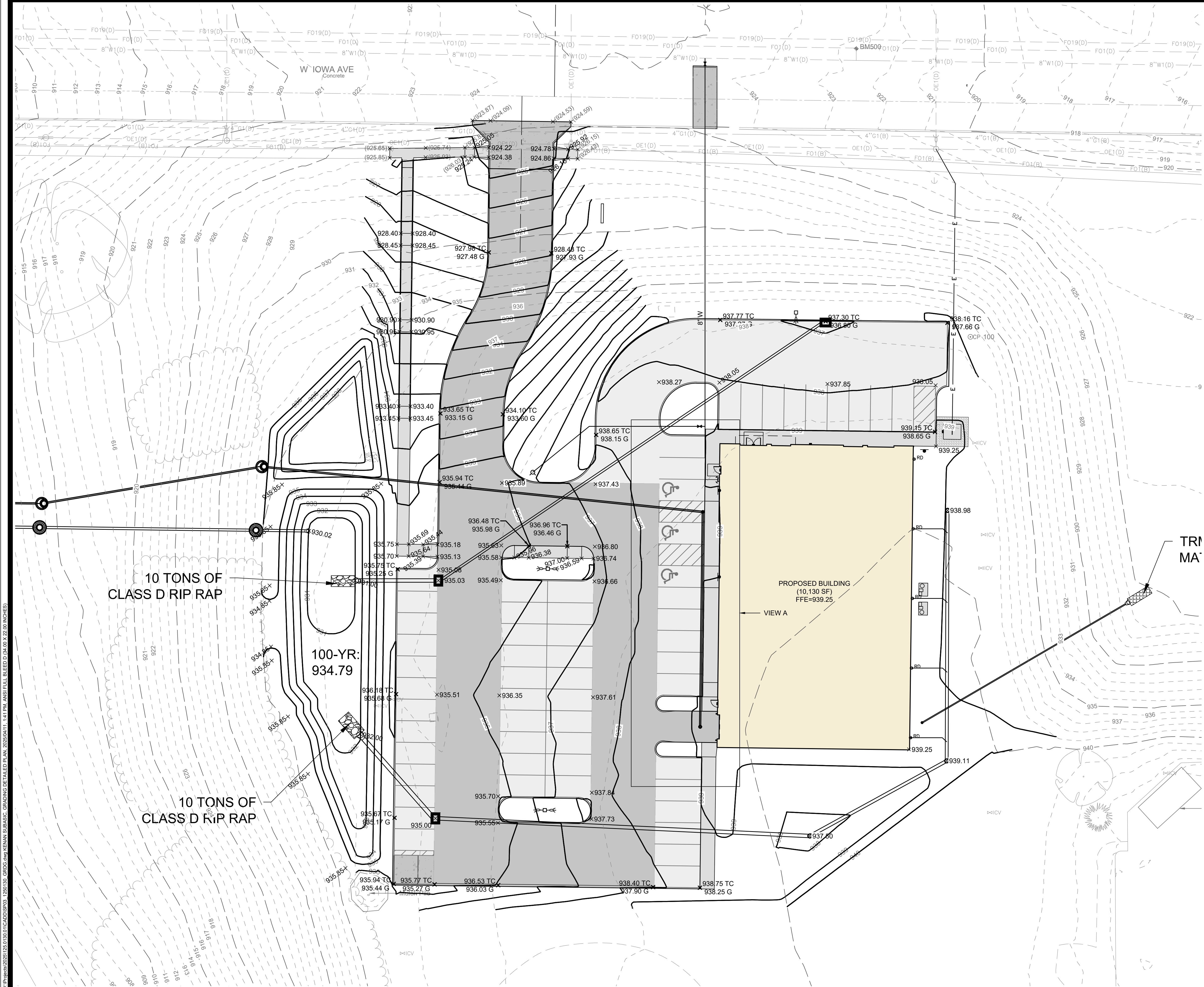
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Project No: 125.0130.01

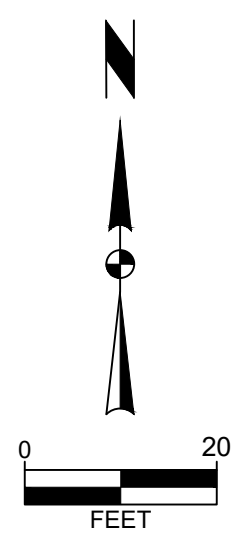
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC. |

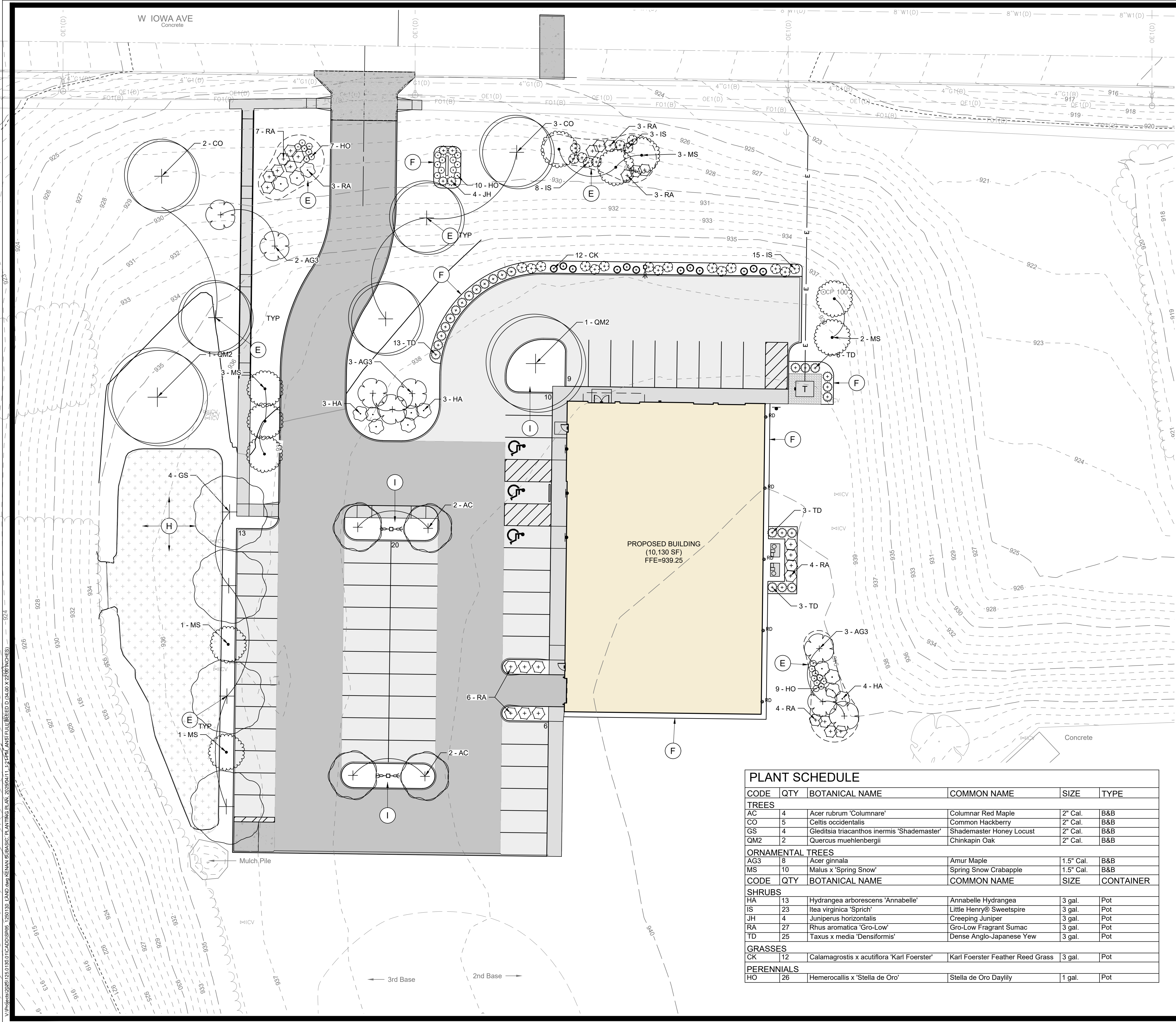
V:\Projects\2025\125.0130.01\CD\SSBASIC GRADING DETAIL PLAN 2025.dwg, 1:44 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



VIEW A
SCALE: 1" = 10'



SIMPSON ATHLETICS TRAINING/COMPETITION FACILITY		INDIANOLA, IOWA	
GRADING DETAILED PLAN		SNYDER & ASSOCIATES, INC.	
SNYDER & ASSOCIATES		2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com	
Project No: 125.0130.01		Sheet C301	
PER CITY COMMENTS		04/11/25 TLS	
DOWNING DD SET		04/10/25 TLS	
REVISION		DATE	
MARK		BY	
Engineer: JAL		Checked By: MAA	
Technician: TLS		Date: 03/21/2025	
Scale: 1" = 20'		T-R-S: TTN-RRW-SS	



PLANTING PLAN CONSTRUCTION NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- E. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MIN 3-FOOT PERIMETER RING AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- F. PROVIDE 2-INCH RIVER GRAVEL PLACED TO A DEPTH OF 4-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT IN AREAS SHOWN ON PLAN. PROVIDE 6-INCH POWDER COATED BLACK STEEL EDGING WHEN NOT ADJACENT TO SIDEWALK.
- G. CONTRACTOR TO SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH 90/10 GREENYARD OR AN APPROVED EQUAL AT 450LBS / AC SEED RATE UNLESS NOTED OTHERWISE.

PRODUCT: GREENYARD 90 / 10 OR EQUAL.
AGRILAND FS, INC
INDIANOLA, IA 50125
WWW.AGRILANDFS.COM
CONTACT: CURT MYERS
T:(515) 961-8408

- H. PROVIDE DETENTION BASIN SEED MIX AS PROVIDED BY PRAIRIE MOON NURSERY. WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL. SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.
- PROVIDE REGREEN, TRICITUM AESTIVUM, SHORT-LIVED STERILE PERENNIAL WHEAT/WHEAT GRASS HYBRID OR APPROVED EQUAL. APPLY AT 30 LBS/ACRE
- I. CONTRACTOR TO PROVIDE SOD AT AREAS SHOWN.
- J. PROVIDE MECHANICALLY BONDED FIBER MATRIX(MBFM) IMMEDIATELY FOLLOWING SEED APPLICATION ON ALL SLOPE AREAS STEEPER THAN 5:1. ACCEPTABLE PRODUCTS AND MANUFACTURERS:
PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400
BUFFALO GROVE, IL 60089
TEL:1-800-366-1180
WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL.
- K. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF TREES PRIOR TO PLANTING.

PLANTING LEGEND

- TURF SOD
- DETENTION SEED
- ROCK/MULCH

PLANTING PLAN REQUIREMENTS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF INDIANOLA SITE PLAN OPEN SPACE AND LANDSCAPING REQUIREMENTS)

OPEN SPACE REQUIREMENTS:
129,600 SF (2.97 AC) OVERALL PROPERTY x 20% MINIMUM OPEN SPACE = 25,920 SF
OPEN SPACE REQUIRED
TOTAL HARD SURFACE (DRIVES, PARKING AND BUILDING) = 39,731 SF
(39,731 SF) = 69.34% TOTAL OPEN SPACE PROVIDED

OPEN SPACE LANDSCAPE REQUIREMENTS:
25,920 SF / 2000 SF = 12.96 PLANT UNITS REQUIRED
12.96 PU x 1 SHADE TREE = 13 TREES REQUIRED (2 EXISTING + 11 PROVIDED)
12.96 PU x 2 ORN. TREES = 26 ORNAMENTAL TREES REQUIRED (16 PROVIDED)
SUBSTITUTION: 1 ORNAMENTAL TREE FOR 5 SHRUBS.
10 PU x 5 SHRUBS = 50 SHRUBS REQUIRED (52 PROVIDED)

OFF-STREET PARKING REQUIREMENTS:
377 LF OF PARKING / 50 = 7.54 PLANT UNITS REQUIRED
7.54 PU x 1 SHADE TREE = 8 TREES REQUIRED (8 PROVIDED)
7.54 PU x 2 ORNAMENTAL TREE = 15 ORNAMENTAL TREES (8 PROVIDED)
SUBSTITUTION: 1 ORNAMENTAL TREE FOR 5 SHRUBS.
7 PU x 5 SHRUBS = 35 SHRUBS (36 PROVIDED)

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
TREES					
AC	4	Acer rubrum 'Columnare'	Columnar Red Maple	2" Cal.	B&B
CO	5	Celtis occidentalis	Common Hackberry	2" Cal.	B&B
GS	4	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	2" Cal.	B&B
QM2	2	Quercus muehlenbergii	Chinkapin Oak	2" Cal.	B&B
ORNAMENTAL TREES					
AG3	8	Acer ginnala	Amur Maple	1.5" Cal.	B&B
MS	10	Malus x 'Spring Snow'	Spring Snow Crabapple	1.5" Cal.	B&B
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS					
HA	13	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.	Pot
IS	23	Itea virginica 'Sprich'	Little Henry® Sweetspire	3 gal.	Pot
JH	4	Juniperus horizontalis	Creeping Juniper	3 gal.	Pot
RA	27	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal.	Pot
TD	25	Taxus x media 'Densiformis'	Dense Anglo-Japanese Yew	3 gal.	Pot
GRASSES					
CK	12	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal.	Pot
PERENNIALS					
HO	26	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot

SIMPSON ATHLETICS TRAINING/COMPETITION FACILITY

PLANTING PLAN

INDIANOLA, IOWA

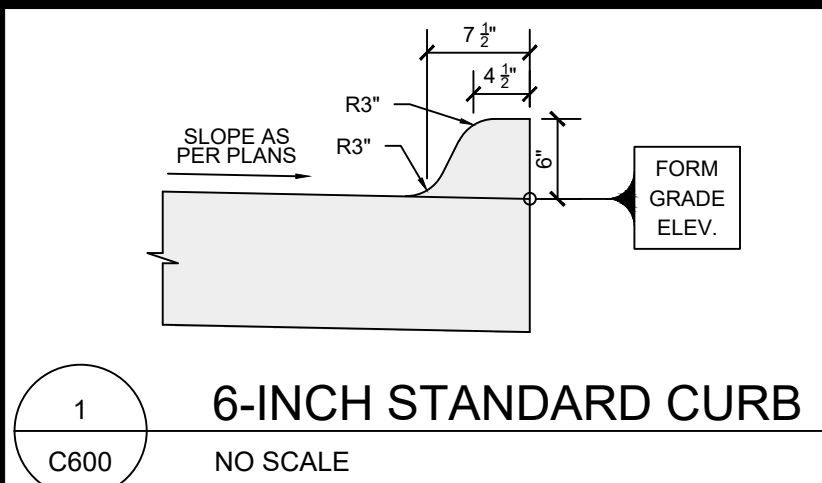
SNYDER & ASSOCIATES, INC. |



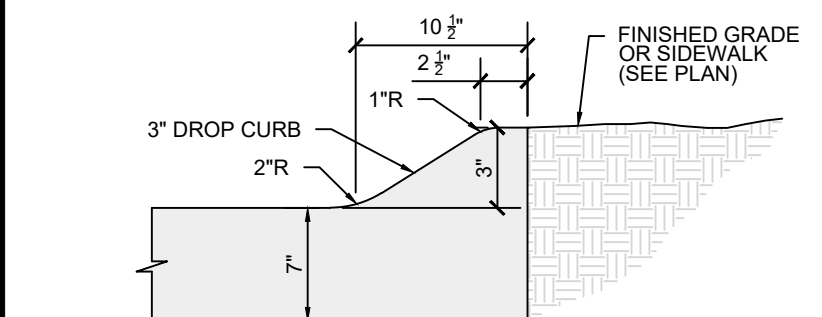
Project No: 125.0130.01

Sheet C500

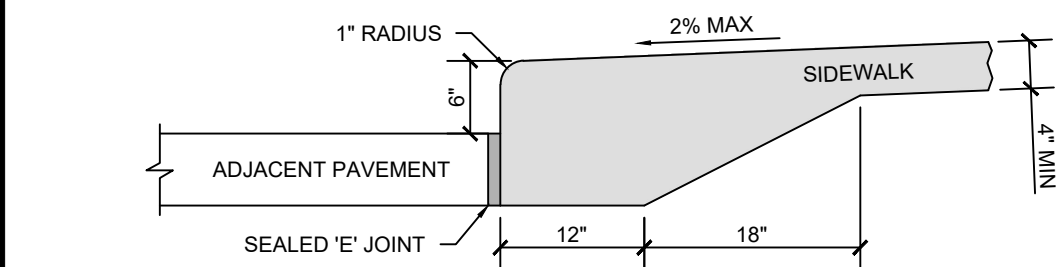
V:\Projects\2025\125.0130.01\CD\DD\SP08_1250130.DETL.dwg KENAI SUBSIC SITE DETAILS, 2025/04/11 1:21 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



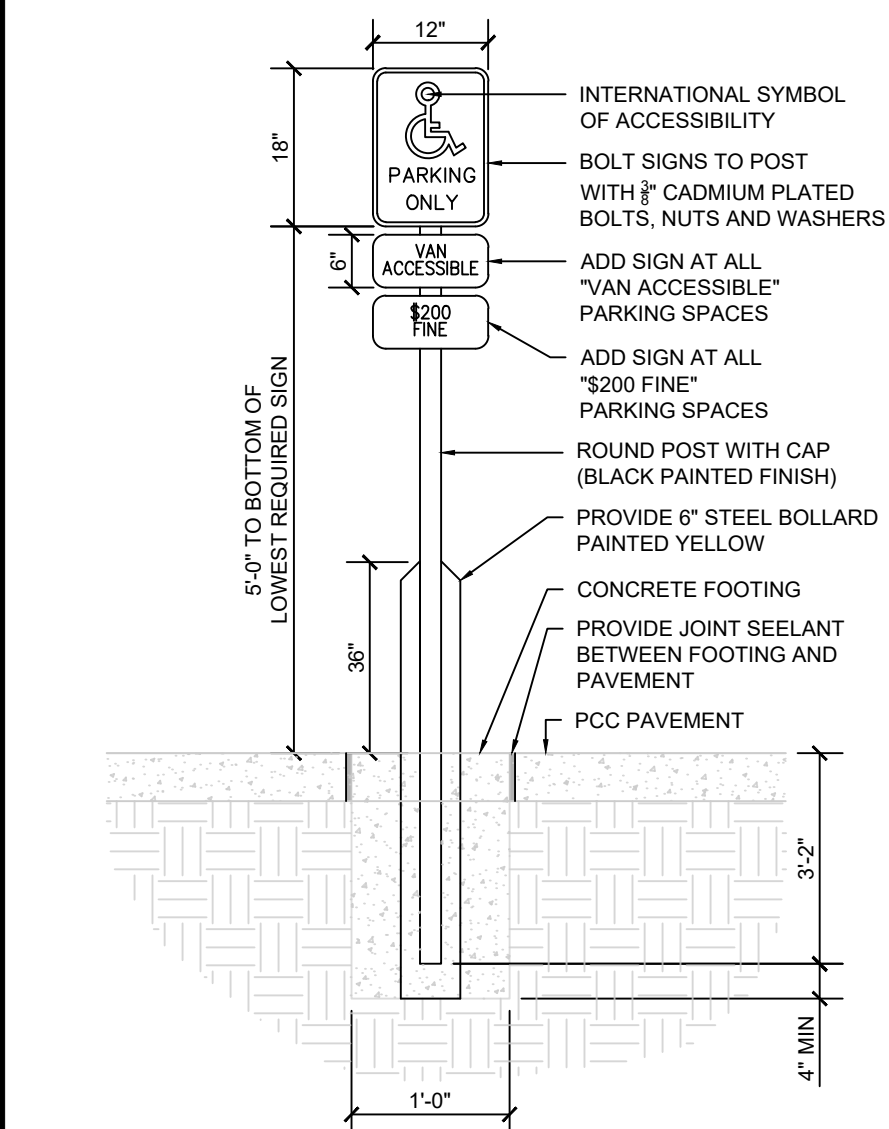
1 6-INCH STANDARD CURB
C600 NO SCALE



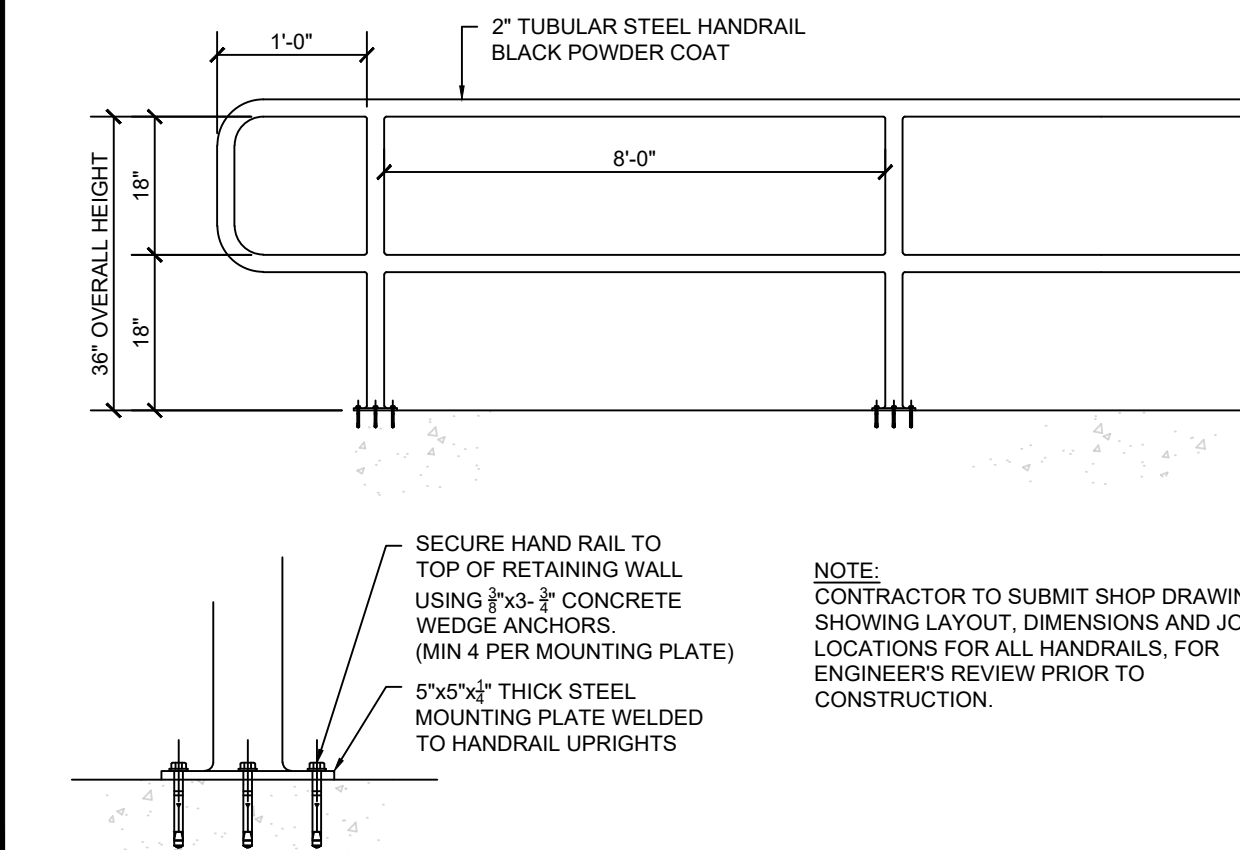
2 3-INCH ROLLED CURB
C600 NO SCALE



3 INTEGRAL SIDEWALK AND CURB DETAIL
C600 NO SCALE



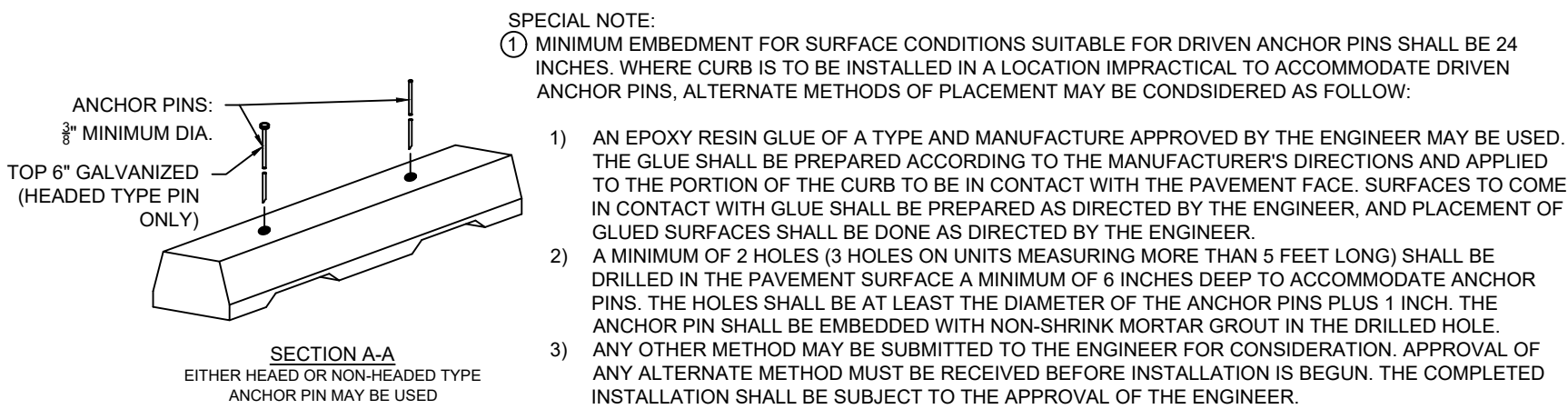
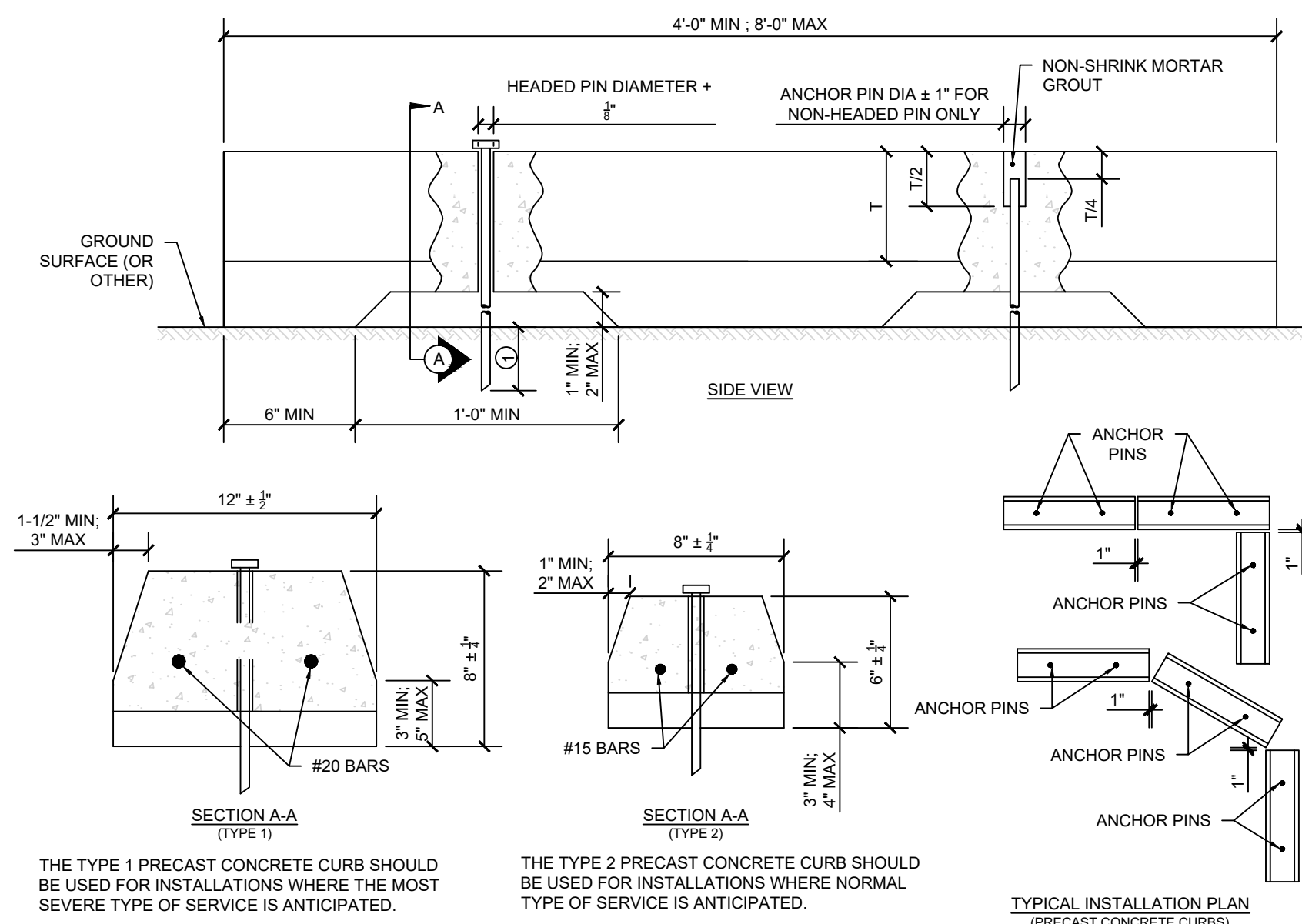
4 ACCESSIBLE PARKING SIGN
C600 NO SCALE



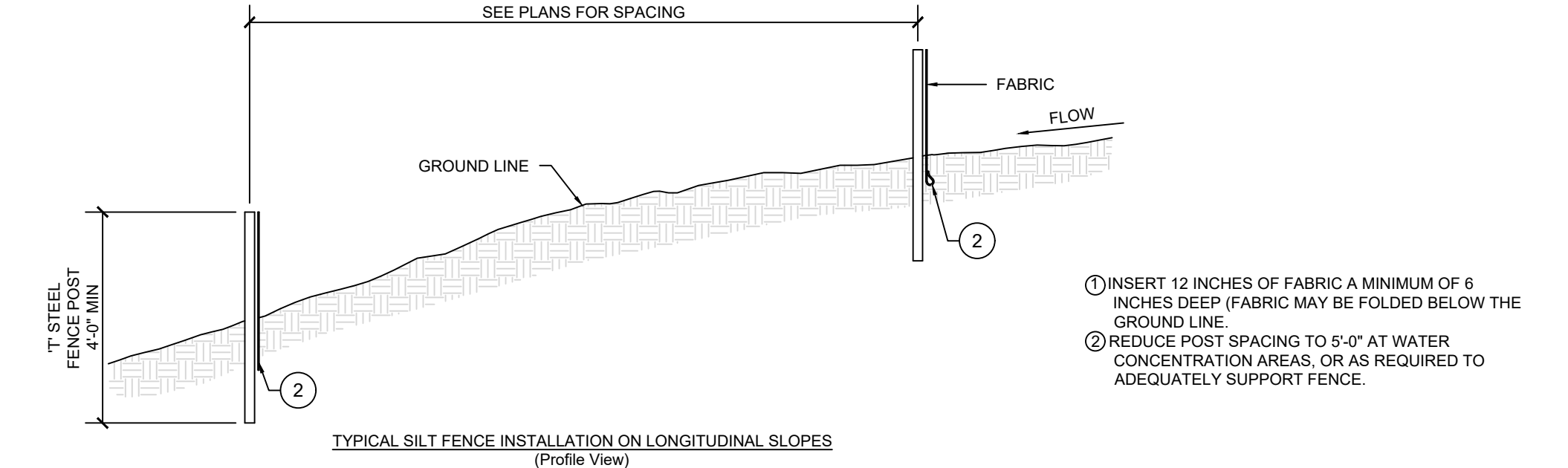
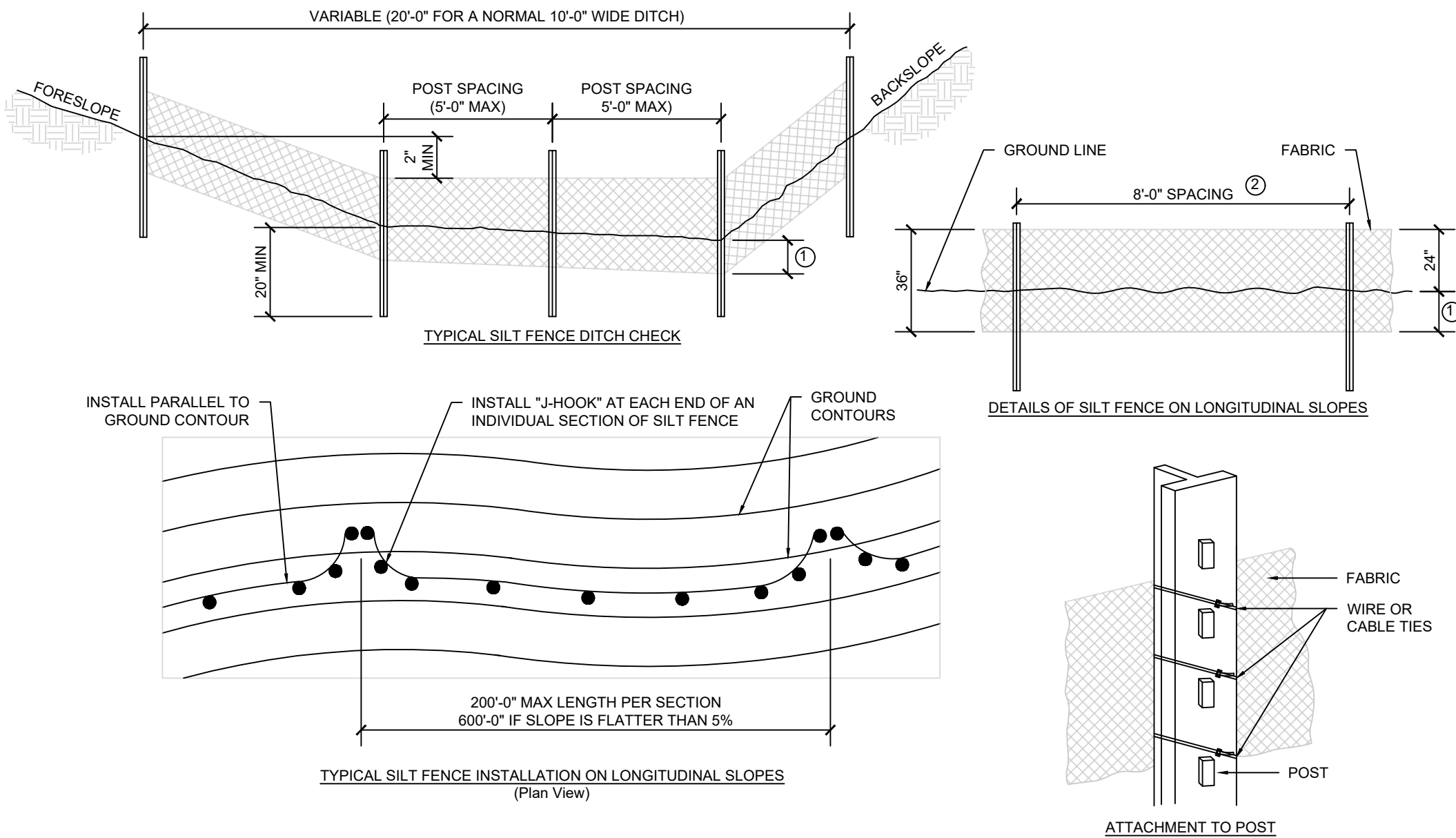
5 PIPE BOLLARD DETAIL
C600 NO SCALE



6 PEDESTRIAN RAMP WITH HANDRAILS
C600 NO SCALE

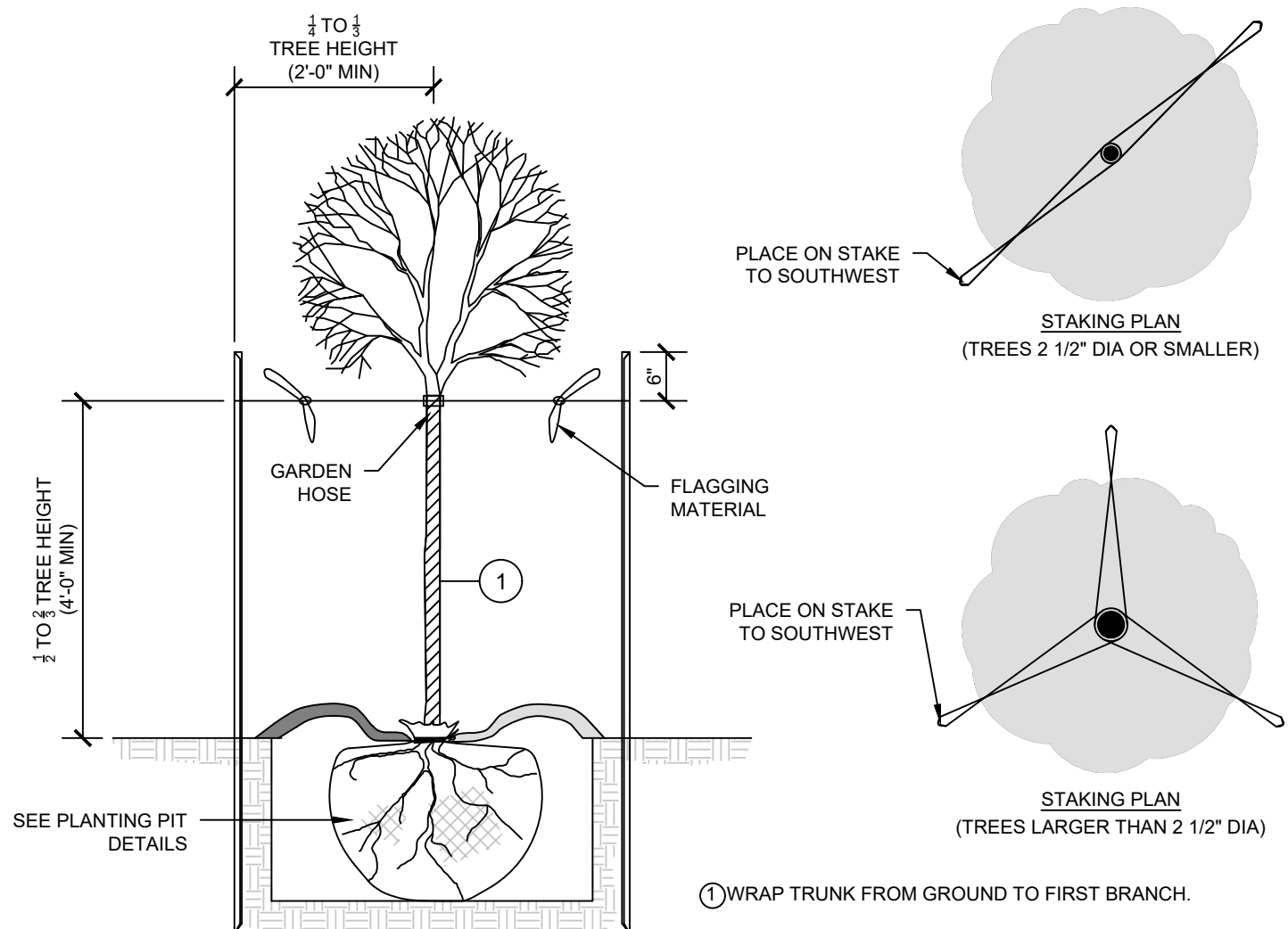


7 PRECAST P.C. CONCRETE CURB
C600 NO SCALE

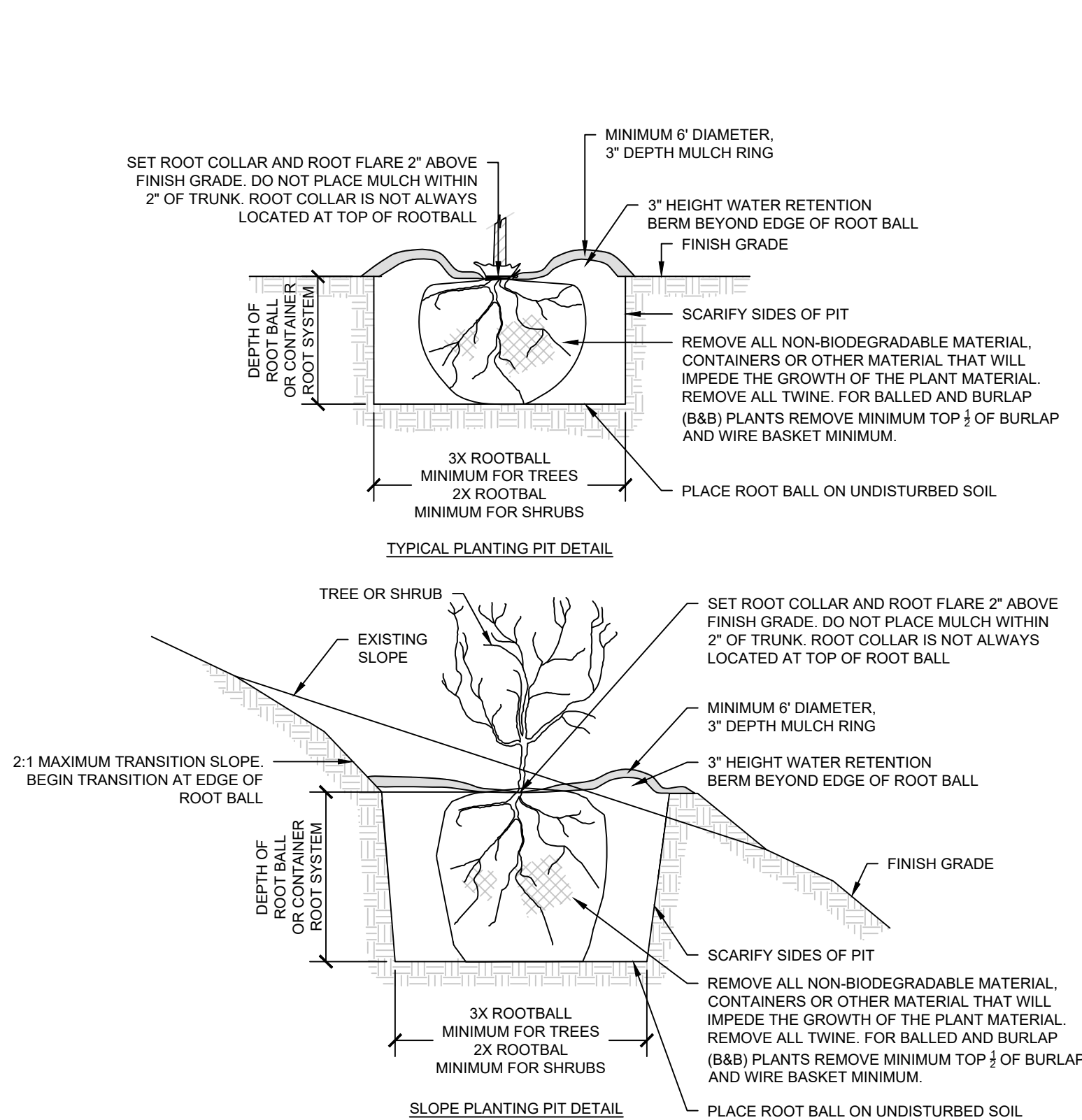


9 DECIDUOUS TREES STAKING DETAIL
C600 NO SCALE

10 PLANTING PIT DETAILS
C600 NO SCALE



11 PLANTING PIT DETAILS
C600 NO SCALE



12 PLANTING PIT DETAILS
C600 NO SCALE

SIMPSON ATHLETICS TRAINING/COMPETITION FACILITY

INDIANOLA, IOWA

SITE DETAILS

SNYDER & ASSOCIATES, INC. | 2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 | www.snyder-associates.com



Project No: 125.0130.01
Sheet C600

Sheet C600

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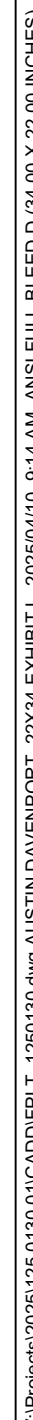
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

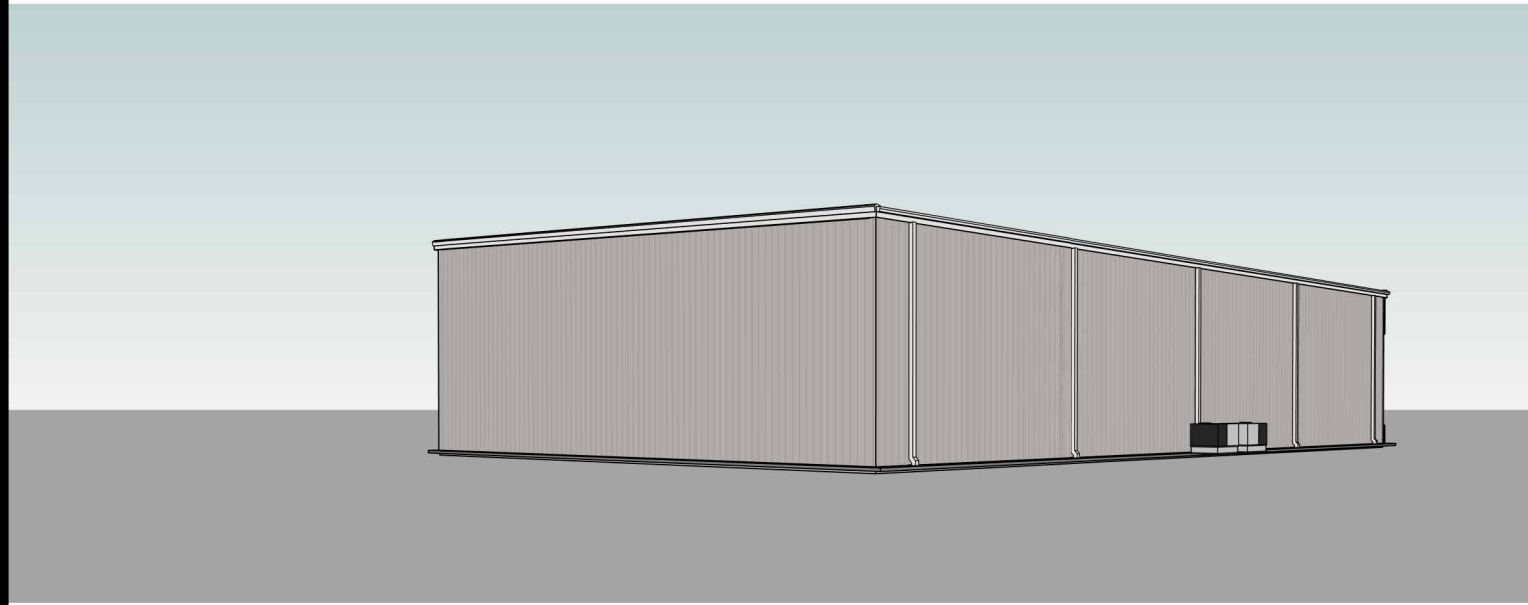
SIMPSON ATHLETICS PLAT 1



SNYDER
& ASSOCIATES

Sheet 2 of 2





1A SOUTHEAST PERSPECTIVE

SCALE:



2A MAIN FRONT PERSPECTIVE (NORTHWEST)

SCALE:

CODE - ELEVATION MATERIAL PERCENTAGES		
ELEVATION	WALL AREA	% OF TOTAL
NORTH		
Exterior Calcs - Primary (Class I or Class II)	1,600 SF	75%
Exterior Calcs - Masonry	128 SF	6%
Exterior Calcs - Glazing	419 SF	20%
	2,147 SF	100%

→ > 75% = OK

→ > 5% - A DISTINCTLY DIFFERENT COLOR OF FIRED CLAY BRICK MAY BE CONSIDERED AS AN ADDITIONAL CLASS 1 OR CLASS 2 MATERIAL = OK

→ EXTERIOR CLEAR GLAZING ON PRIMARY FACADE = 20% = OK

PROJECT DESCRIPTION AND SCOPE

Simpson College aims to develop a versatile facility to support male and women's gymnastics, acrobatics & tumbling, and stunt training and competitions.

Base Project: Provide an approximate 10,000 SF premanufactured insulated metal building to be oriented east-to-west, to allow for future expansion, with 24-foot-high eaves. Base project to include a spacious gymnastics area with in-floor foam pits, public restrooms, large garage-door entrances, and an adaptable practice space for acrobatics and tumbling. **Design to include transparent panels along the building perimeter to provide daylighting into the space and contribute to energy efficiency.**

Alternate / Phase 2 Scope: Pending funding availability, an additional approx. 3,000 SF with features to potentially include a lobby and reception area, retractable seating along the north and south walls for spectators, two shared locker rooms, office spaces, a training room, and a multi-use great room for conferences and concessions. An upper level viewing deck, video streaming and sound systems will also be considered to support athlete and spectator needs. We are interested in exploring roof-mounted PV panels to reduce operational costs.

Future Expandability: The Owner is open to options for sheeling out the metal building structure for future expansion. Refer to attached concept site plan.

CITY OF INDIANOLA ZONING REQUIREMENTS

https://codeofordinance.amlegal.com/codes/indianola/latest/indianola_ia0-D-0-10136

4. DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED FOR THIS SECTION:

A. Primary Facade. All street-facing facades (i.e., all building facades that face or front along a public or private street including highways), and facades with a building's main customer entrance. Buildings may have more than one primary facade as is the case with buildings located on corner lots and double frontage lots. All other facades shall be "secondary" facades.

B. Street Facing Facade. All building facades that have frontage along or face a public or private street at an angle of 45 degrees or less from the street line. This definition includes those building facades separated from the street by a parking lot or open space. This definition does not include frontage along an internal drive that is not classified as a private street.

C. Major Facade Materials. Exterior finish materials that cover at least 5% of a building's facade area. Any material that covers less than 5% of a building's facade area shall not be considered "major" facade material and will not count towards meeting any requirement for use of multiple class 1, 2, and/or 3 materials. A distinctly different color of fired clay brick (full brick or brick veneer) may be considered as an additional Class 1 or Class 2 material for the purposes of meeting the required minimum number of different major facade materials.

D. Facade Area. The total exterior wall area of all vertical or near-vertical faces of a building wall four (4) feet in width or greater when viewed in elevation. Facade area shall be calculated to exclude the wall area resulting from minor projections and recessions from the predominant wall plane less than four (4) feet in depth. Facade area shall be calculated to include the area of parapets, corners, and similar wall extensions and trim.

E. Accessory Building Standards. Accessory buildings in all non-residential zoning districts, except for temporary and small movable structures including ATMs and donation boxes, shall comply with the building design requirements for the principal building of the lot or parcel on which the accessory building is located. Garages and structured parking shall follow the standards required of the primary building.

6. COMMERCIAL/RETAIL BUILDING:

a. Each primary facade shall contain no less than three (3) different class 1 or class 2 facade materials, together composing at least 75% of the primary facade area. Class 3 and class 4 facade materials in aggregate shall not exceed 25% of any primary facade area. Class 4 facade materials shall not exceed 5% of any primary facade area.

b. At least one street-facing building facade and the facade containing the main building entry, if different from the street facade, shall consist of no less than 20% clear glass fenestrations (windows and full glass doors) on the first level.

c. All structures shall utilize Class 1 or 2 roofing materials.

d. No primary facade shall exceed 60 feet in length without interruption by one or more of the following architectural features:

- Projection or recess in the wall plane of at least two (2) feet in depth.
- Columns, piers, pilasters or other equivalent structural and/or decorative elements.

CITY OF INDIANOLA BUILDING EXTERIOR FINISH MATERIALS TABLE

Class 1

- Glass: Clear glass (Clear glass with no visible tint, reflective coating, coloring, or other covering (not including low-e or UV coatings or treatments))

Class 2

- Wall: Architectural quality metal wall panel systems, concealed fastening (High quality metal panels for decorative surface application with concealed fasteners, such as Firestone Delta)

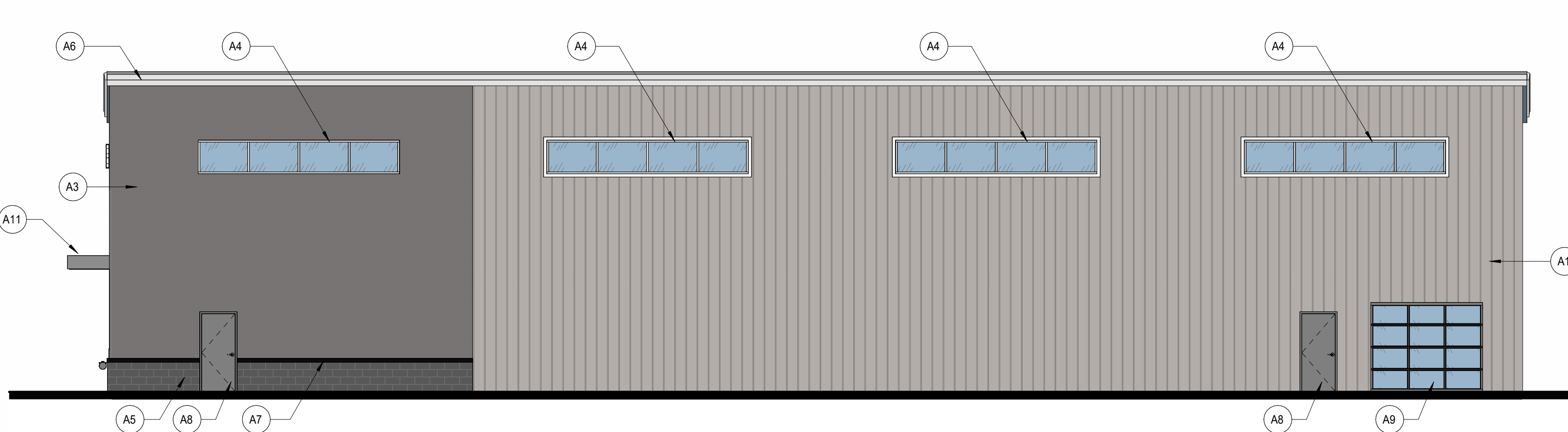
SD EXTERIORS KEYNOTES

A1	Architectural quality metal wall panel systems, "Vee Rib" concealed fastening (vertical) MFR: Varco Pruden Product: Vee Rib Description: 36" Coverage with 1-3/16" high ribs 12" on center Finish: Prefinished manufacturer's color - Cool Granite URL: https://varcopruden.com/products/vee-rib-wall-panels/
A2	Architectural quality metal wall panel systems, "Tech Four" concealed fastening (vertical) MFR: Varco Pruden Product: Tech Four Description: 16" Coverage with 2" deep profile 12" on center Finish: Prefinished manufacturer's color - Cool Granite URL: https://varcopruden.com/products/techfour-wall-system/
A3	Architectural quality metal wall panel systems, concealed fastening (accent wall/soffit) MFR: Varco Pruden Product: "Textureclad" Wall Panel Description: Flat panel, interlocking joints Finish: Prefinished manufacturer's color - Gray URL: https://varcopruden.com/products/textureclad-wall-system/
A4	Aluminum-framed storefront with transparent insulating glazing MFR: CMI Product: Architectural 450 TBCG Thermal Description: 2" X 4-1/2", center-set, provide with VP accessory trim around opening Finish: Prefinished manufacturer's standard anodized aluminum URL: https://cmiarch.com/tb---cg-2-x-4-12-thermal
A5	Split-faced block Finish: Darkened, charcoal
A6	Standing seam metal roof panels with interlocking raised seams MFR: Varco Pruden Product: Panel rib roof Description: 24 Gauge, 36" Coverage with 1-3/16" high ribs 12" on center Finish: Prefinished manufacturer's standard color, clear-coated Galvalume URL: https://varcopruden.com/products/panel-rib-roofs/
A7	Prefinished brick metal flashing transition Finish: Manufacturer's standard black
A8	Commercial exterior door Finish: Prefinished manufacturer's standard color
A9	Overhead Door w/ Glazing (Exterior) MFR/Product: TBD Description: Overhead Door w/ Glazing. Install as per Energy Code and PEMB instructions Finish: TBD
A10	Prefinished Downspout Finish: Manufacturer's standard white
A11	Prefabricated Aluminum Canopy MFR: Americana Outdoors Product: TBD Finish: TBD URL: https://americana.com/products/commercial-sep/hangeroocanopies

CLASS II MATERIAL →

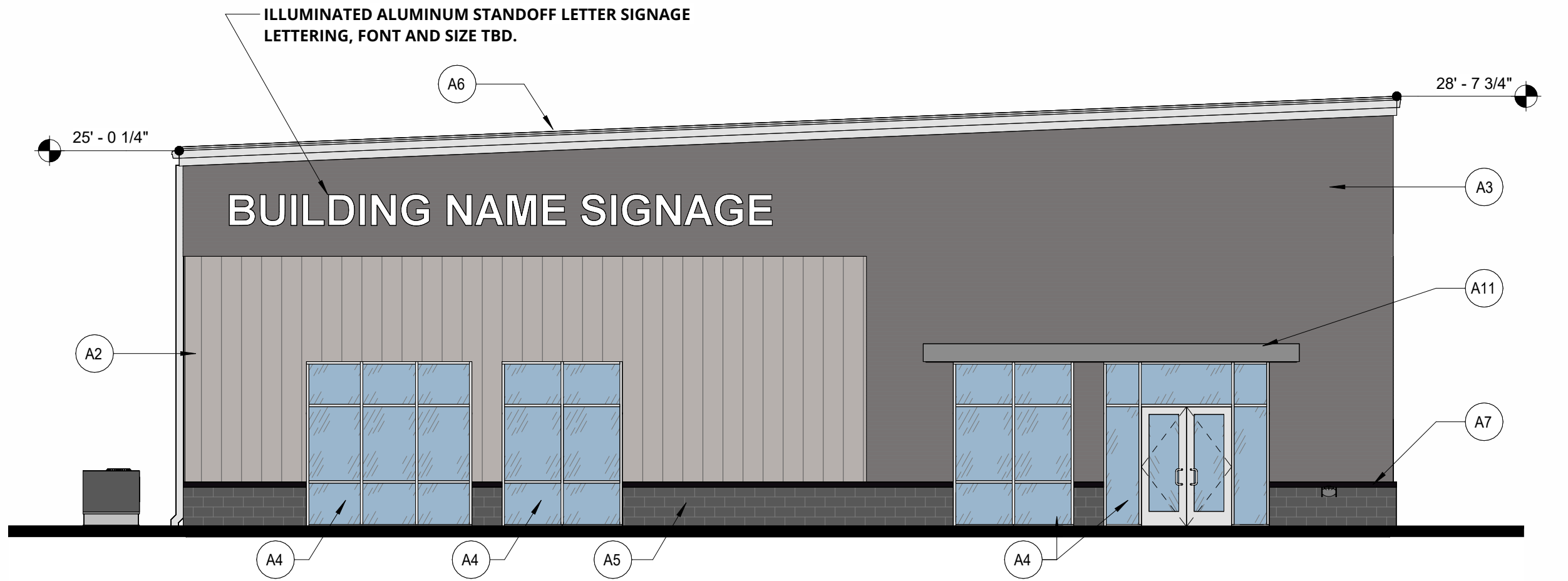
CLASS II MATERIAL →

CLASS I MATERIAL →



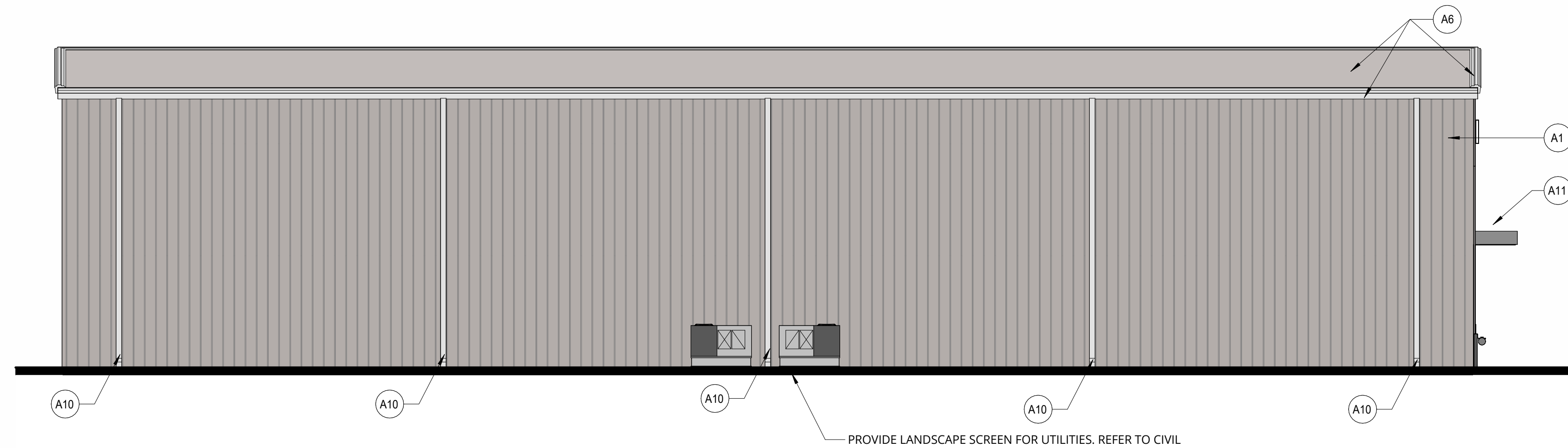
1 COLOR - WEST ELEVATION SD

SCALE: 1/8" = 1'-0"



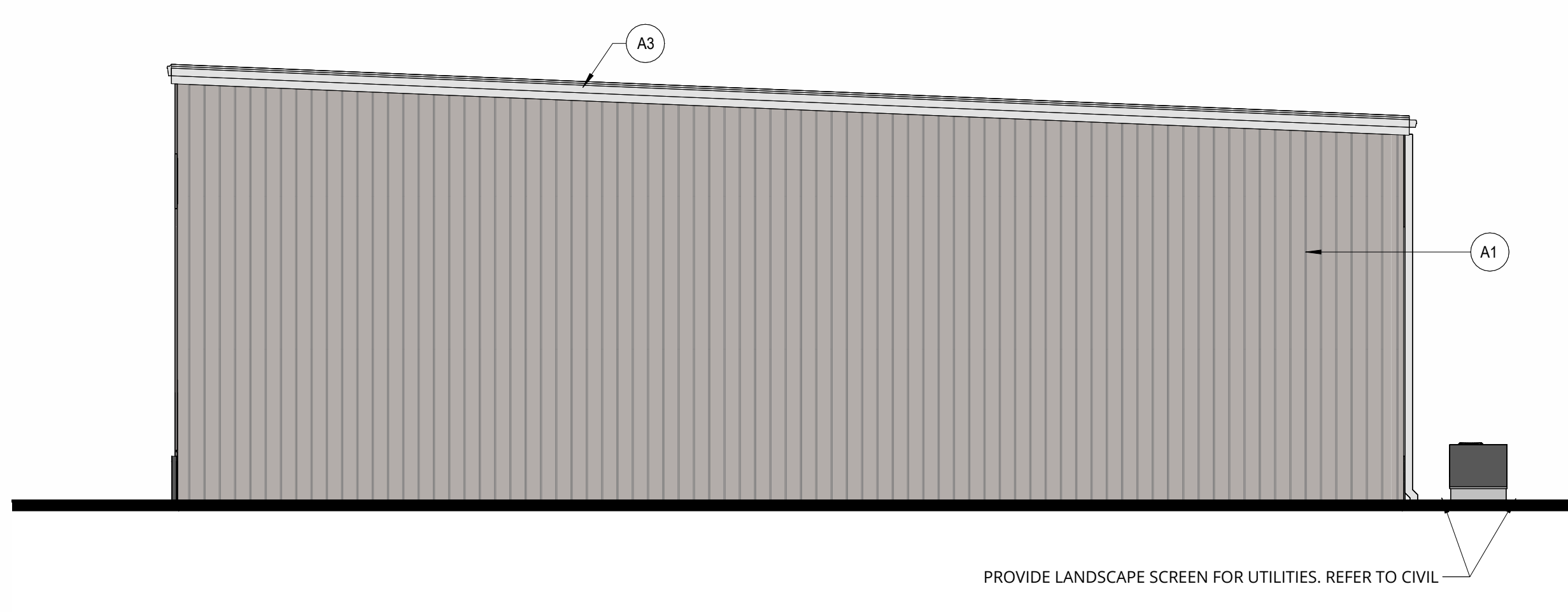
2 COLOR - NORTH ELEVATION SD (PRIMARY FACADE)

SCALE: 1/8" = 1'-0"



3 COLOR - EAST ELEVATION SD

SCALE: 1/8" = 1'-0"



4 COLOR - SOUTH ELEVATION SD

SCALE: 1/8" = 1'-0"

THIS PLAN IS THE PROPERTY OF DOWNING CONSTRUCTION INC.

ANY USE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED!

STUDIO
ARCHITECTURE | INTERIORS
509 East Scenic Valley Ave.
Indianola, Iowa 50125
p: 515.961.5386
f: 515.961.0468
www.downingplanroom.com

SIMPSON GYMNASTICS

Street Address (TBD)
Indianola, Iowa 50125

SCHEMATIC DESIGN PLAN(S) - NOT FOR CONSTRUCTION

DISCOVER/ ANALYZE

DEVELOP

COMMIT

DELIVER

PROJECT
DESIGNER-INTERIOR
BRP-AKP

ISSUED DATE:
03/18/2025

REVISIONS

REV #	DESCP.	DATE

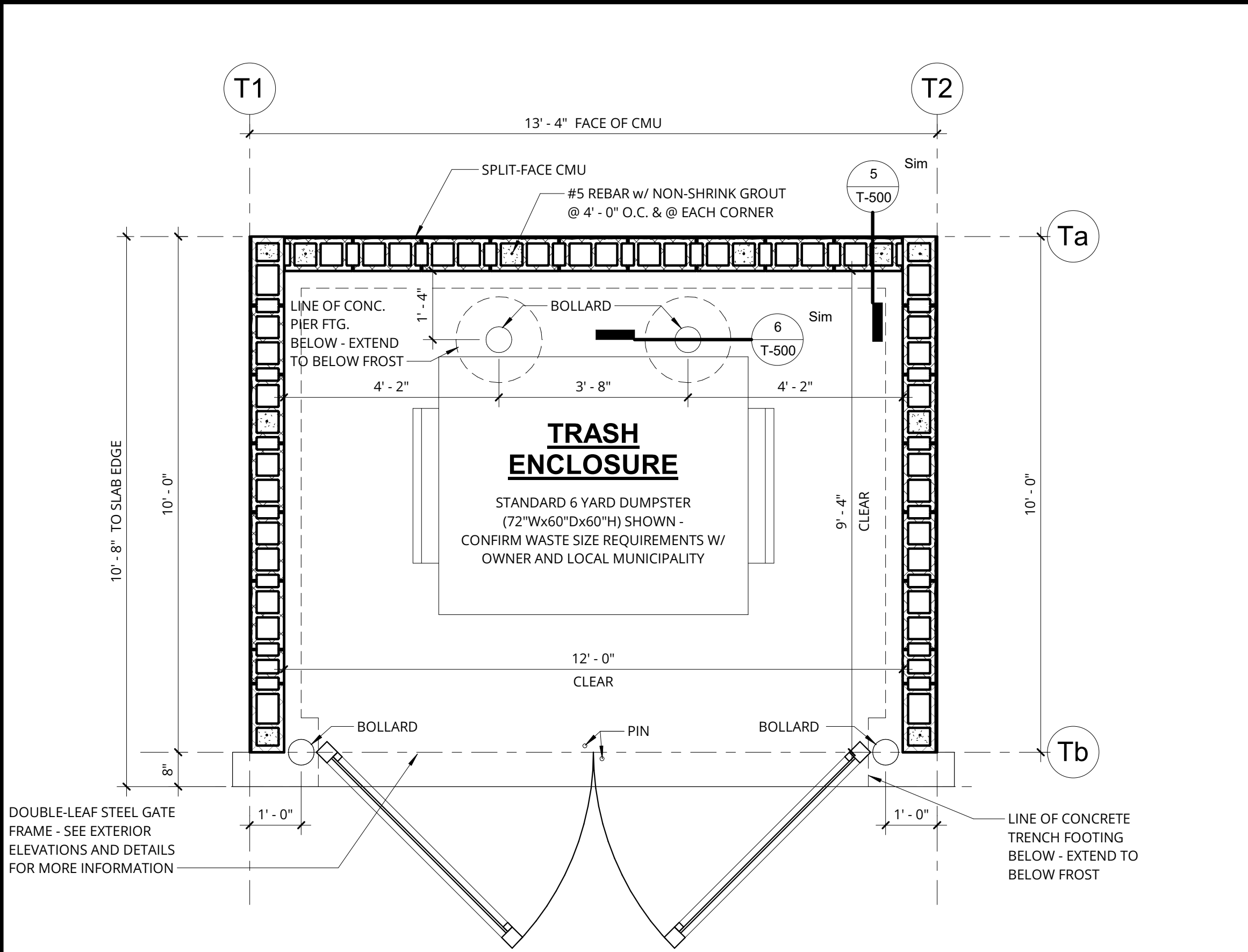
PLAN NO. = 90-215

DWG. LIST

3D EXTERIORS
CONCEPT

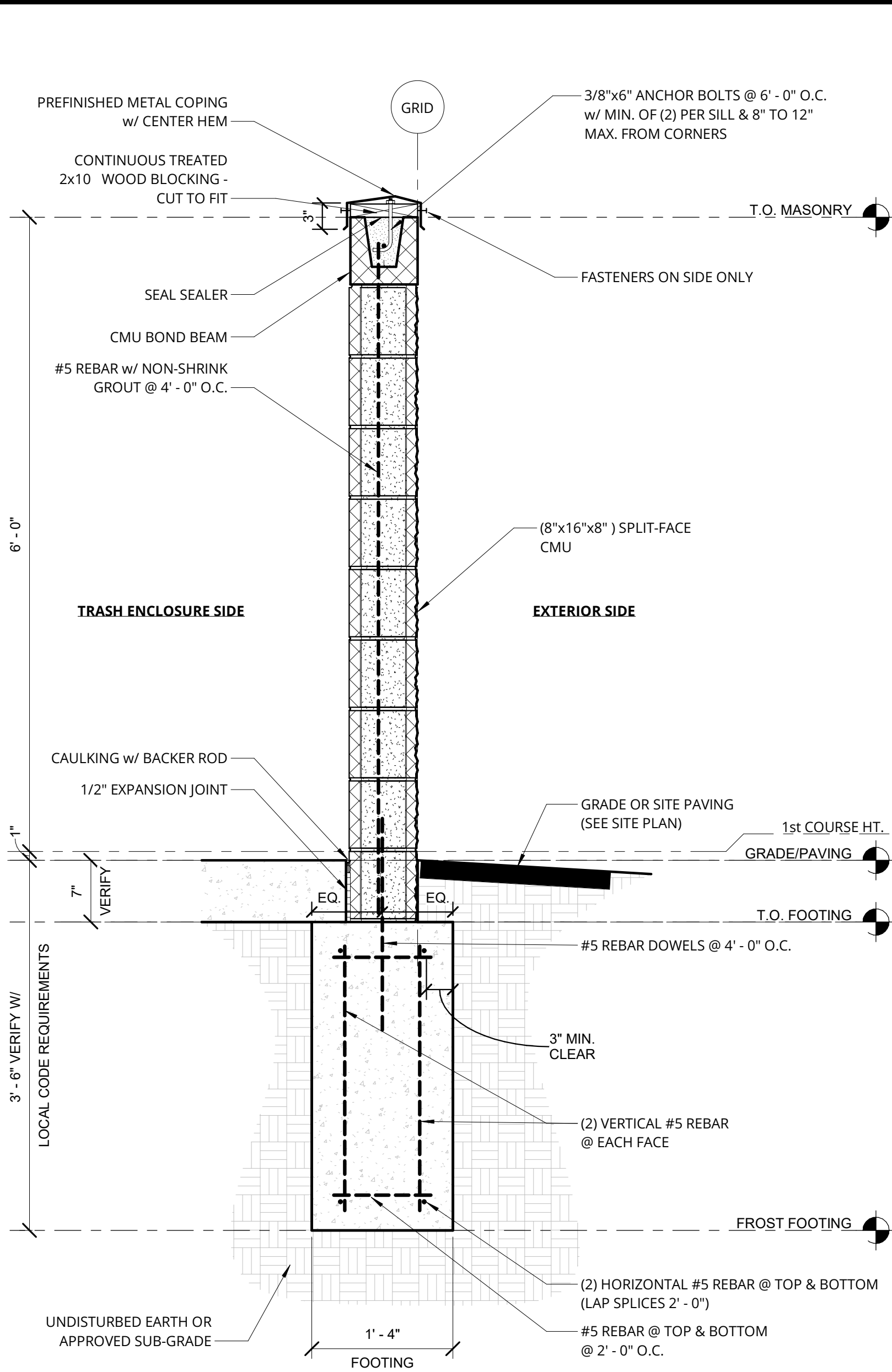
SHEET NO.

SD-200



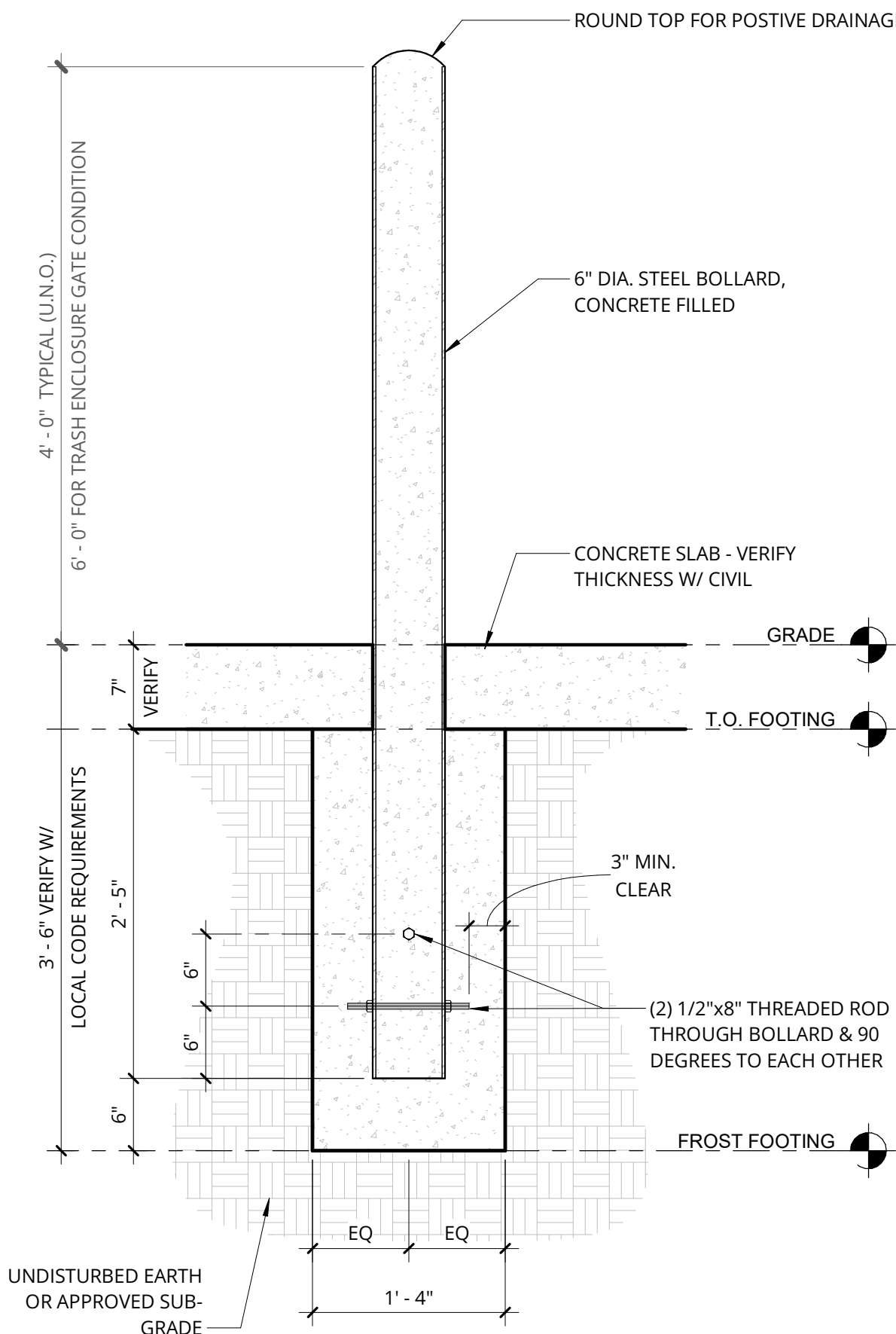
TRASH ENCLOSURE PLAN

1
SCALE: 1/2" = 1'-0"



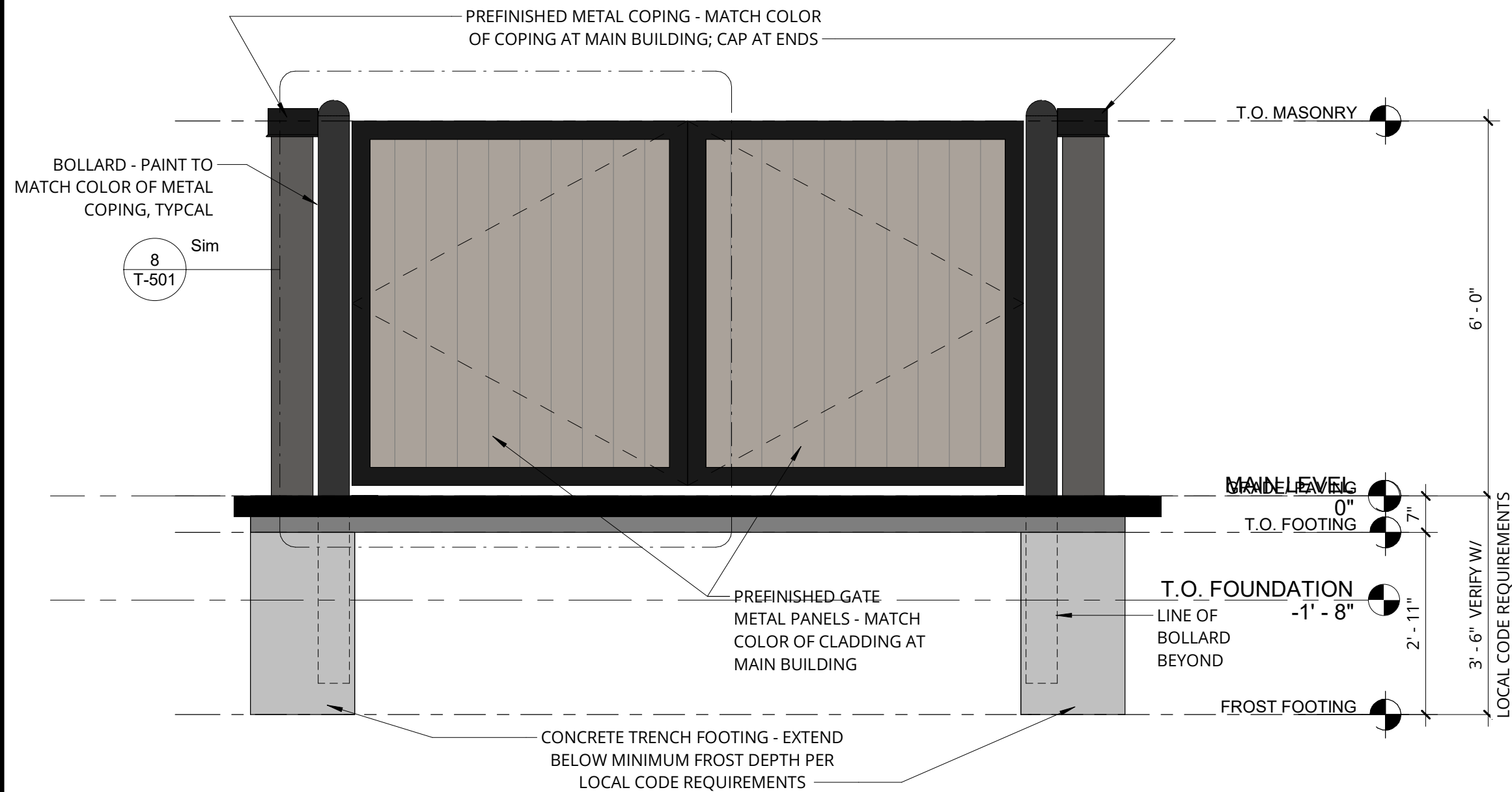
TYP. ENCL. WALL SECTION

5
SCALE: 1" = 1'-0"



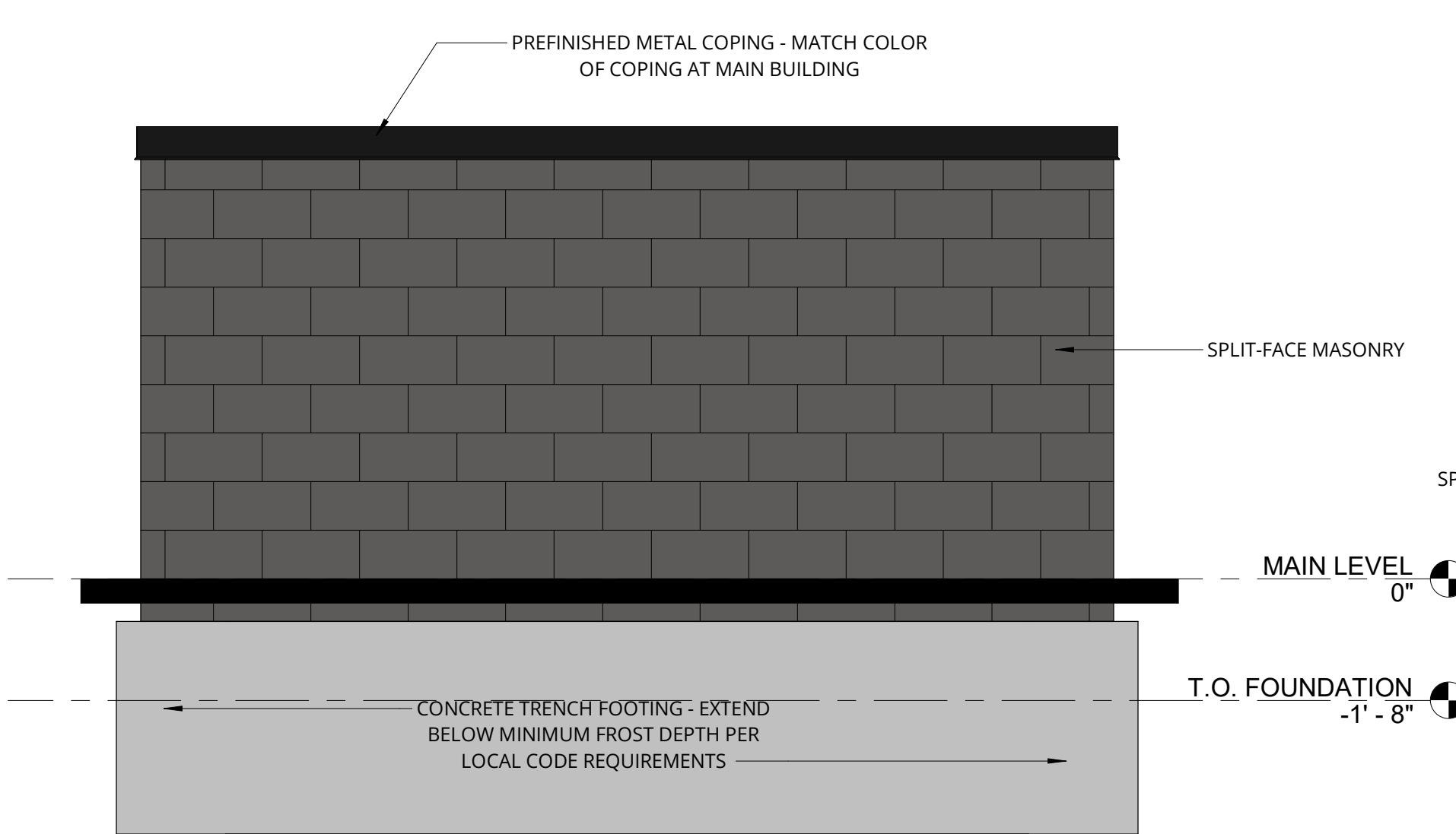
TYP. BOLLARD SECTION

6
SCALE: 1" = 1'-0"



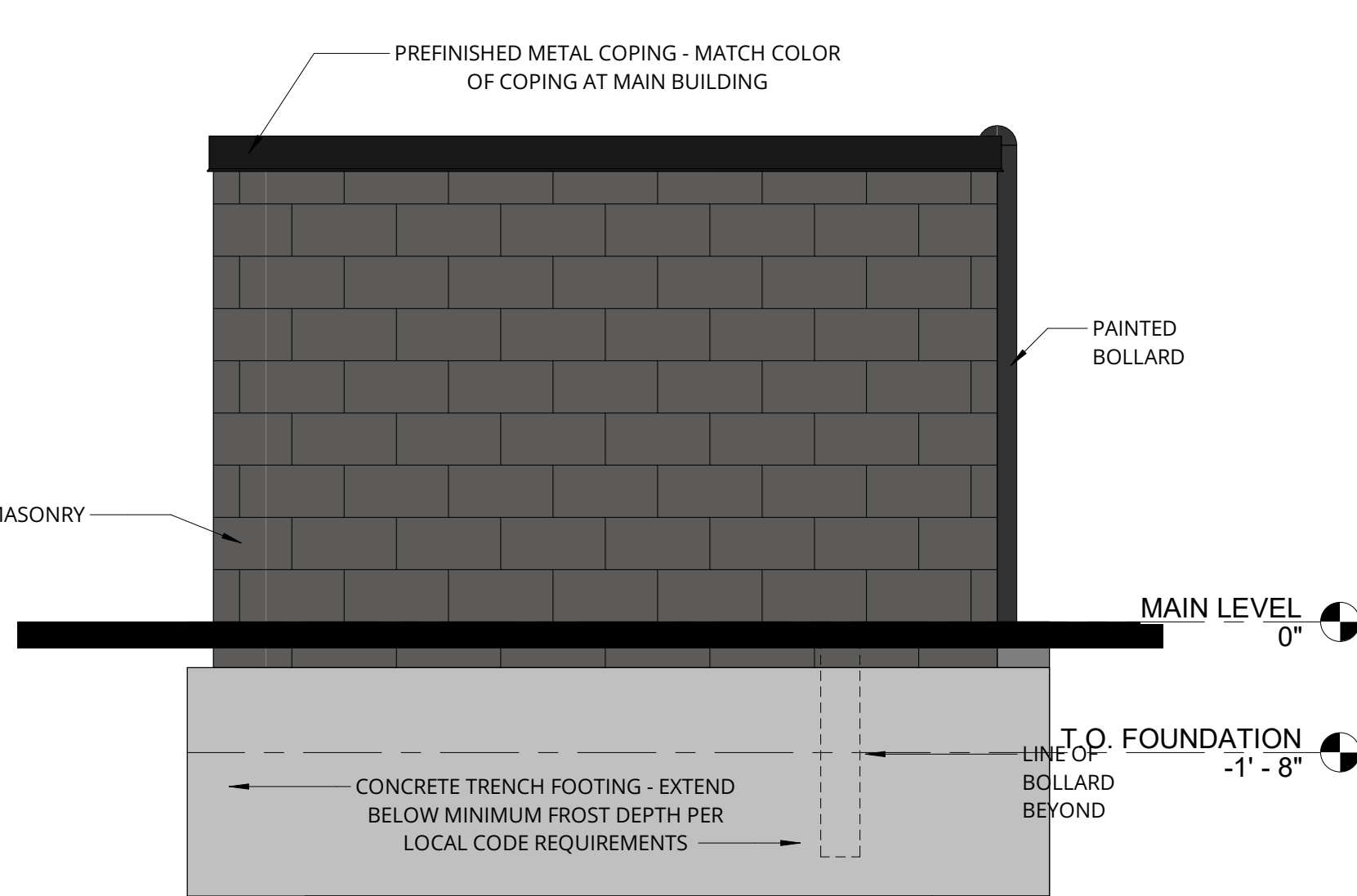
FRONT ELEVATION

2
SCALE: 1/2" = 1'-0"



REAR ELEVATION

3
SCALE: 1/2" = 1'-0"



SIDE ELEVATION

4
SCALE: 1/2" = 1'-0"

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PERMISSION IS STRICTLY
PROHIBITED!



509 East Scenic Valley Ave.
Indianola, Iowa 50125
p: 515.961.5386
f: 515.961.0468
www.downingconstruct.com
www.downingplanroom.com

Project Name

Street Address
Anytown, Iowa ZIP

SCHEMATIC DESIGN PLAN(S) - NOT FOR CONSTRUCTION

DELIVER

COMMIT

DEVELOP

DISCOVER/ ANALYZE

PROJECT
DESIGNER-INTERIOR

ISSUED DATE:
--/------

REVISIONS

REV #	DESCP.	DATE

PLAN NO. = 90-XXX

DWG. LIST

TRASH ENCLOSURE
PLAN, SECTIONS,
AND ELEVATIONS

SHEET NO.

T-500



COMMUNITY DEVELOPMENT

To: Planning & Zoning Commission
From: Bill Mettee, Senior Planner
Date: April 18, 2025
Re: Consider approval of various zoning code amendments

Commissioners:

Community Development staff has been reviewing the zoning ordinance and subdivision ordinance since September and is offering the following recommendations:

1. Section 165.04(C)(2)(A). Staff would like to update verbiage removing “Act of God” and replacing with the neutral phrase of “natural disaster.”
2. Section 165.04(2)(E)(2). The paragraph is missing a couple of words to make it a complete sentence and thought. We are recommending adding “lot” and “be” to the sentence.
3. Section 55.20(5)(A) and (E). Staff recommends two updates to the Urban Chicken ordinance.
 - a. Update permit renewal date to the initial date of permit issuance instead of every January 1st.
 - b. The code requires bands to be placed on the legs of the chicken with the permit number. Staff recommends replacing the permit number with permittee address instead.
4. Section 165.08(4)(B)(4)(a)(i). Staff recommends implementing an ordinance that would prohibit parking lots aisles from having more than 15 continuous parking spaces without being broken up by a landscape island. This encourages additional landscaping and less pavement.
5. Section 170.05(1)(B). The current ordinance allows the developer to dictate when the preliminary plat shall be heard at a Planning & Zoning Commission hearing, regardless if it’s ready or not. Staff recommends striking this sentence and allowing the Community Development Department when items shall be added to an agenda.
6. Section 170.05(1)(C). The current ordinance requires mailing notices to property owners within 200’ for all preliminary plats. Staff recommends striking this requirement for a couple of reasons.

- a. It is not a state requirement, and other communities do not notify for preliminary plats. In the full process of development, rezonings happen first which do require the 200' notification to adjacent property owners. Once the rezoning is approved, preliminary plats happen next, and in Indianola, the same property owners are receiving back to back mailings for the same property. Concept plans and preliminary plats are generally very similar in nature and it's redundant.
 - b. In a very tight budgetary season, this is a way to curb costs for something that is not required by the State of Iowa. Community Development has spent about \$150 in mailings since September and will potentially be spending another \$97 if the preliminary plat for the development in the southwest corner of town moves forward.
- 7. Section 165.06(B)(2). Stormwater management plans are generally prepared by licensed engineers and not architects or landscape architects. Those instances where an architect prepares a site plan, the SWMP is submitted independently from an engineer. Staff recommends removing architect and landscape architect from the section of who can provide SWMP calculations.
- 8. Section 136.05. Staff recommends adjusting the section to include "Code Enforcement Officer or other authorized municipal officer" in addition to City Council to serve notice on code enforcement issues, in this case, requiring sidewalk repairs.
- 9. Section 165.09(7)(B)(8). Staff recommends adding design standards for gas station canopies to include requiring the columns to be wrapped in brick or stone. During the development agreement negotiations for Emerald Bay, in particular, Kwik-Star, they were asked to wrap the columns in brick or stone. The language comes from City of Norwalk and is not that restrictive. All other gas station canopies are steel in nature in Indianola, and it may be quite some time before we see another gas station.

Bill Mettee
Senior Planner

1. Code Section: 165.04(C)(2)(A) – Nonconforming Structures

Area of Concern: Utilization of “Act of God” in a municipal ordinance as a phrase to describe a catastrophe. Staff would prefer to keep the phrase neutral with natural disaster or catastrophe.

Proposed Language:

Except for the provisions in Section 161.22, an exception will be given to single-family detached residential uses in nonresidential districts, where the residential building or detached accessory structure is damaged by catastrophe or natural disaster. ~~act of God~~. Reconstruction of the structure or building shall be permitted provided that there is no increase in the number of dwelling units. The reconstruction of the building or structure shall not increase in the degree of nonconformity and shall be within the same building line as the original structure, as determined by the Zoning Administrator. The reconstruction of the building or structure shall meet all other pertinent codes and regulations existing at the time of reconstruction. Reconstruction must begin within one hundred eighty (180) days from the date of damage, or the use will be deemed discontinued, abandoned, or vacated. At the discretion of the Zoning Administrator, an extension may be granted to the one hundred eighty (180) days if there is evidence that efforts are being made to reconstruct the structure, but unavoidable delays beyond the owners' control are occurring. This exception will not be granted when nonaccidental causes, intentional acts by the owner, lessee, or other person such as arson, or by circumstances of neglect where the building runs down or becomes dilapidated are in evidence.

2. Code Section: 165.04(2)(E)(2) – Accessory Buildings and Structures

Area of Concern:

It's an unfinished section that is missing a couple of words to complete the paragraph.

Proposed Language:

2) Detached accessory buildings and structures shall not be taller nor encompass more floor area than the principal structure that is located on the same [lot](#) and shall in no case [be](#) more than one and one-half (1.5) stories in height and shall not exceed a height of 24-feet.

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3. Code Section: 55.20(5)(A) and 55.20(5)(E) – Urban Chickens

Area of Concern:

Staff has discussed the renewal process for Urban Chicken permits and feel it is more conducive to renew the permit on the anniversary of the initial permit approval date instead of the first of every year. Additionally, we feel bands with addresses would be more helpful versus bands with permit numbers.

Proposed Language:

- A. Permits shall be renewed annually by the date of the initial permit approval. ~~at the beginning of every calendar year.~~
- B. The permittee shall place and keep leg bands on all chickens showing the address of the permit holder. ~~permit number.~~

4. Code Section: 165.08(4)(B)(4)(a)(i) – Open Space and Landscaping Required

Area of Concern:

The City code does not identify or specify a maximum amount of continuous parking spaces without a landscape island. In order to incorporate additional greenspace and less pavement, staff encourages implementing 15 continuous parking spaces before a landscape island is used to break it up.

Proposed Language:

All rows of parking shall be terminated with a curbed landscaped island that is a minimum nine (9) feet wide and no less than 16 feet in length (32 feet in length for head-to-head parking stalls) [located so as to prevent more than 15 vehicles from being parked side by side in an abutting configuration.](#)

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5. Code Section: 170.05(1)(B) – Preliminary Plat Procedures

Area of Concern:

The goal of the Community Development Department is to perform administrative reviews on preliminary plats for compliance with the city ordinance. Once staff feels that the major comments have been addressed by the developer and engineer, it gets scheduled for a Planning Commission hearing. Staff should determine when it's ready to be heard to not risk PZC tabling to a second meeting. Community Development wants PZC to see a project that is Council ready – not one that needs a second PZC meeting.

Proposed Language:

B. Application and Review. Whenever the owner or their designee of any tract or parcel of land within the jurisdiction of this chapter wishes to subdivide or plat the same into two (2) or more lots, said owner shall cause to be prepared a preliminary plat of said subdivision, and shall submit to the Zoning Administrator a completed preliminary plat application form, required number of copies of the preliminary plat, preliminary plat application fee, and any other information and details as specified and required by the Zoning Administrator as necessary to determine compliance with all applicable codes and requirements. The preliminary plat shall contain such information and data as is outlined in herein this chapter.

The Zoning Administrator or their designee shall examine said preliminary plat application as to its completeness. If determined incomplete, the application shall be returned to the owner or their designee with a list of missing information and items. If determined complete by the Zoning Administrator or their designee, the application shall be distributed to applicable City departments and utility companies for review and comment to its completeness. The Zoning Ordinance Administrator or their designee shall compile all City and

utility comments and complete a review of the plat as to its compliance with these Subdivision Regulations, the Zoning Ordinance, the Comprehensive Plan and Future Transportation Network map, and other local, state, and federal requirements and shall provide the findings to the subdivider. If determined incomplete, the application shall be returned to the owner or their designee with a list of missing information and items.

~~At the request of the owner or designee, the preliminary plat shall be forwarded to the Commission for its review, regardless of the Zoning Administrators determination that the preliminary plat is complete.~~

6. Code Section: 170.05(1)(C) – Preliminary Plat Procedures

Area of Concern:

This is a two-fold request to update this section of ordinance. Mailings are not a state requirement for preliminary plats. These mailings are a state requirement for rezoning applications. Preliminary plats will always be submitted after a property is zoned. The neighbor radius of 200' is the same for both applications. The same property owners receive the same general notification, most of the time duplicating work.

Secondly, since I've started in September, I've mailed approximately 215 mailings for preliminary plats costing the department about \$150.00 in postage. If the development in the southwest corner of town moves ahead, there will be another 140 mailings, costing approximately \$97.00. Of these six projects, four of them were or will be duplicate spending because they went through the rezoning process in the last couple of years. These include Wesley Life, Kentucky Ridge, Pickard Commerce Park, Summercrest Hills North and Deer Run.

The City is experiencing budget deficits this upcoming fiscal year and departments were asked to make budget cuts on line items that weren't necessary. This is one of those items that can be eliminated, especially as the State of Iowa does not require mailings for preliminary plats.

Proposed Language:

C. Review by Planning Commission. Once the preliminary plat has been deemed complete by the Zoning Administrator or their designee, or if the owner or their designee has requested the preliminary plat be forwarded to the Commission, the Zoning Administrator or their designee shall provide a written report to the Commission within thirty (30) days. After receiving the

Zoning Administrator's report, the Commission shall review the preliminary plat and other material for conformity to regulations. The Commission may confer with the subdivider on changes deemed advisable and the kind and extent of such improvements to be made.

~~Before reviewing a preliminary plat, notice of the Commission's meeting shall be given to property owners within 200 feet of the plat by sending notices to affected property owners by first class mail or by posting notices on the tract.~~

7. Code Section: 165.06(B)(2) – Storm Water Management, Grading and Paving Design Standards

Area of Concern:

Generally, architects and landscape architects are not putting their seals on SWMPs. These are always stamped by licensed engineers. We recommend leaving SWMPs to be stamped by only Iowa licensed engineers.

Proposed Language:

Storm Water Management Plans. Unless otherwise not required as determined by the Zoning Administrator, a storm water management plan in compliance with this section shall be included as part of the site plan application. This storm water management plan shall include storm water calculations certified by an engineer, ~~architect or landscape architect~~ registered in the State of Iowa and familiar with such calculations. This plan shall further follow recognized best practices for storm water management including those outlined in the Iowa Stormwater Management Manual as prepared by the Iowa Department of Natural Resources.

8. Code Section: 136.05 – City May Order Repairs

Area of Concern:

This section mentions City Council twice to serve notice and require work to be done. Staff recommends revising to include Code Enforcement Officer as authorized to serve notice. Section 50.05 regarding nuisance abatement identifies “any authorized municipal officer...”

Proposed Language:

If the abutting property owner does not maintain sidewalks as required, the Council, [Code Enforcement Officer or other authorized municipal officer](#) may serve notice on such owner, by certified mail, requiring the owner to repair, replace or reconstruct sidewalks within a reasonable time and if such action is not completed within the time stated in the notice, the Council, [or their designee](#), may require the work to be done and assess the costs against the abutting property for collection in the same manner as a property tax.

9. Code Section: 165.09(7)(B)(8) – Building Design Standards

Area of Concern:

The City ordinance does not address fuel pump island canopies within the design standards. At this time, all canopy columns are steel beams for all existing gas stations. During the review of the new Kwik-Star station, it was added to the Development Agreement that their canopies must be wrapped in brick or stone. Staff recommends adding this requirement for new gas stations in Indianola.

Proposed Language:

Fuel Pump Island Canopies. The following standards shall apply to all fuel pump island canopies. Canopies may be attached to the principal structure or stand-alone. Attached canopies shall meet the building setback requirements of the primary structure. Detached canopies shall have a minimum front yard setback of fifteen (15) feet. The maximum canopy heights shall be twenty (20) feet and must provide no less than fourteen (14) feet of clearance under the canopy. All under canopy lights shall be flush mounted. All columns shall be wrapped in brick or stone.



Community Development

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March 2025

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	5	5	\$1,672,105.00	\$334,421.00
102	Single Family Attach	0		\$0.00	
103	Two Family	0		\$0.00	
104	Three or More Families	0		\$0.00	
	Mobile Homes	0		\$0.00	
322	Service Stations	1		\$2,499,000.00	
324	Office	1		\$300,379.00	
328	Non-resident buildings	0		\$0.00	
329	Pool	0		\$0.00	
434	Residential Add/Alt	11		\$241,380.00	
437	Non-residential add/alt	6		\$1,633,858.00	\$272,309.67
438	Res garage/carports	2		\$42,900.00	
645	Demo - residential	0		\$0.00	
649	Demo - commercial	0		\$0.00	
March Total		26		\$6,389,622.00	
Residential Value			Commercial Value		
30.6%			69.4%		

YEAR TO DATE TOTAL

<u>Code</u>	<u>Type</u>	<u>Permits Issued</u>	<u># of Units</u>	<u>Amount</u>	<u>Average</u>
101	Single Family Home	24	24	\$7,387,802.02	\$307,825.08
102	Single Family Attach			\$0.00	
103	Two Family			\$0.00	
104	Three or More Families			\$0.00	
	Mobile Homes			\$0.00	
322	Service Stations	1		\$2,499,000.00	
324	Office	1		\$300,379.00	
328	Non-resident buildings			\$0.00	
329	Pool	1		\$73,548.00	
434	Residential add/alt	16		\$338,298.61	
437	Non-residential add/alt	6		\$1,633,858.00	
438	Res garage/carports	2		\$42,900.00	
645	Demo - sfd	1		\$0.00	
649	Demo - commercial			\$0.00	
YTD TOTAL		52	24	\$12,275,785.63	
Residential Value			Commercial Value		
61.1%			36.1%		69.4%