



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

July 3, 2024

6:00 PM

City Council Chambers

Agenda

- 1. Call to Order**
- 2. Roll Call**
- 3. Agenda Approval**
 - A. Approval of the July 3, 2024 agenda.
- 4. Minutes Approval**
 - A. Approval of the April 3, 2024 meeting minutes.
 - B. Approval of the June 5, 2024 meeting minutes.
- 5. New Business**
 - A. Consider request from Alex Gross for a variance for property located at 302 East Trail Ridge Ave.
- 6. Comments**
- 7. Adjourn**



MEMORANDUM

To: Board of Adjustment
From:
Date: July 3, 2024
Subject: Approval of the July 3, 2024 agenda.

Recommendation:

Attachments: None



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

April 3, 2024

6:00 PM

City Council Chambers

Minutes

1. Call to Order

The meeting was called to order at 6:01 PM.

2. Roll Call

Board Members Present: Rene Soldwisch, Lee Bash, Amy Mitchell, Jane Whalen, Deidre Hoover

Staff Members Present: Charlie Dissell, Emily Rizvic, Miranda Chadwick

3. Agenda Approval

A. Approval of the April 3rd, 2024 agenda.

Lee Bash made a motion to approve the agenda.

Amy Mitchell seconded the motion.

The motion was passed.

4. Minutes Approval

A. Approval of the meeting minutes for January 3rd, 2024.

Jane Whalen made a motion to approve the meeting minutes.

Lee Bash seconded the motion.

The motion was passed.

5. New Business

A. 2024 Annual Election of Officers

Rene Soldwisch nominated Lee Bash as Chair and herself to maintain the position of Vice-Chair.

Jane Whalen seconded the motion.

Motion was passed.

B. Consider request from Ted Ihnns on behalf of Indianola Community School District for a Special Use Permit for the expansion of a public high school, located at 1304 E 1st Avenue

Jane Whalen made a motion to approve the request.

Lee Bash seconded the motion.

The motion was passed.

C. Consider request from Ted Ihnns to vary from the 30-foot minimum parking setback from the front property lines by 15-feet, for a front parking setback of 15-feet.

Lee Bash made a motion to approve the request.
Amy Mitchell seconded the motion.
The motion was passed.

D. Consider request from Ted Ihnns to vary from trash enclosure requirements
Lee Bash made a motion to deny the request.
Jane Whalen seconded the motion.
The motion was passed.

E. Consider request from Paul Horton for a Special Use Permit for new construction
of a building associated with a place of worship, located at 1209 W 2nd Avenue
Lee Bash made a motion to approve the request as submitted.
Rene Soldwisch seconded the motion.
The motion was passed.

F. Board of Adjustment Training

G. Annual Report

6. Comments

A. Introduction to Planning and Zoning Training - Iowa State University Extension
and Outreach

7. Adjourn

The meeting was adjourned at 7:03.



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

June 5, 2024

6:00 PM

City Council Chambers

Minutes

1. Call to Order

Meeting was called to order at 6:00 pm.

2. Roll Call

Board Members present: Jane Whalen, Lee Bash, Deidre Hoover.

Staff Members present: Charlie Dissell, Emily Rizvic, Miranda Chadwick, Tara Bosteder.

3. Agenda Approval

Motion made to approve agenda by Jane Whalen.

Motion seconded by Deidre Hoover.

Motion passed.

4. Minutes Approval

No minutes available for approval.

5. New Business

- A. Consider request from Venkata Dhanekula, on behalf of Prime Assets Investment LLC, for a variance for property located at 501 North Jefferson Way.

Owner requested to keep the parking lot on the south side as is but would comply with removing the parking along Jefferson Ave.

Jane Whalen made a motion to approve agenda item.

Deidre Hoover seconded the motion.

Motion was unanimously denied.

- B. Consider request from Venkata Dhanekula,, on behalf of Prime Assets Investment LLC, for modifications to an existing Special Use Permit to allow for a liquor store at 501 North Jefferson Way.

Jane Whalen made a motion to approve agenda item.

Deidre Hoover seconded the motion.

Motion was unanimously denied.

- C. Consider request from Brenda Wickett for a variance for property located at 1006 East Salem Ave.

Much discussion was had between applicant, community members, and board.

Jane Whalen made a motion to approve agenda item.

Deidre Hoover seconded the motion.

Motion was unanimously denied.

6. Comments

7. Adjourn

:Meeting was adjourned at 7:16 pm.



MEMORANDUM

To: Board of Adjustment

From: Emily Rizvic, Associate Planner, Charlie Dissell, Deputy City Manager Development and Operations

Date: July 3, 2024

Subject: Consider request from Alex Gross for a variance for property located at 302 East Trail Ridge Ave.

Recommendation: Staff recommends that the Indianola Board of Adjustment move alternative 1, to approve the variance request, as submitted.

- Attachments:**
- 1. Staff Report
 - 2. Application
 - 3. Narrative
 - 4. Site Plan
 - 5. Architectural Elevations
 - 6. Decision and Order



COMMUNITY DEVELOPMENT

110 N. First Street, Indianola IA 50125-0299 • www.indianolaiowa.gov
(515) 961-9430 • comdev@indianolaiowa.gov

STAFF REPORT

BOARD OF ADJUSTMENT

Date of Meeting: July 3, 2024

Agenda Item: 5.A Consider request from Alex Gross for a variance for property located at 302 East Trail Ridge Ave.

Application Type: Variance

Applicant and Property Owner: Alex Gross on behalf of SHDC LLC

Property Address/Parcel: 302 E. Trail Ridge Avenue (Parcel ID #487/1104-0070)

Zoning: C-2 'Highway Commercial' Zoning District

Application Summary

Alex Gross of Downing Construction, on behalf of SHDC LLC, is requesting a variance for the property at 302 E. Trail Ridge Ave. The request is to decrease the minimum required clear glass fenestrations for primary facades on the west street-facing façade of 20% by 14% for a minimum clear glass fenestration requirement of 6%. Such proposal would not conform to Section 165.09.7.B(6)b of the City of Indianola Code of Ordinances.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following code sections of the Code of Ordinances of Indianola, Iowa apply to this request:

165.02(3)(B) POWERS AND DUTIES OF THE BOARD OF ADJUSTMENT. The Board of Adjustment has the following powers and duties:

3. Variances: Conditions Governing Applications; Procedures. To authorize upon appeal in specific cases such variance from the terms of this chapter as will not be contrary to the public interest where, owing to the special conditions, a literal enforcement of the provisions of this chapter would result in unnecessary hardship. A variance from the terms of this chapter shall not be granted by the Board of Adjustment unless and until:

A. A written application of a variance is submitted demonstrating:

- (1) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district;
- (2) That literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter;
- (3) That the special conditions and circumstances do not result from the actions of the applicant;
- (4) That granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of land, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

B. Notice of public hearing shall be given as in subsection 2(B) above.

C. The public hearing shall be held. Any party may appear in person, or by agent or by attorney.

D. The Board of Adjustment shall make findings that the requirements of paragraph A of this subsection have been met by the applicant for a variance.

E. The Board of Adjustment shall further make a finding that the reasons set forth in the application justify the granting of the variance, and that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

F. The Board of Adjustment shall further make a finding that the granting of the variance will be in harmony with the general purpose and intent of this chapter, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this chapter. Violations of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this chapter and punishable under Section 165.23 of this chapter. Under no circumstances shall the Board of Adjustment grant a variance to allow a use not permissible under the terms of this chapter in the district involved, or any use expressly or by implication prohibited by the terms of this chapter in said district.

165.09(7) STANDARDS BY BUILDING USE TYPE.

B. Building Design Standards by Building Use Type.

(6) Commercial/Retail Building.

(b) At least one street-facing building façade and the façade containing the main building entry, if different from the street façade, shall consist of no less than 20% clear glass fenestrations (windows and full glass doors) on the first level.

ANALYSIS

Subject Property

Alex Gross, of Downing Construction, on behalf of SHDC LLC, is requesting a variance for a recently approved site plan at 302 E. Trail Ridge Ave (Parcel ID #487/1104-0070). The applicant is requesting to vary from the minimum clear glass fenestration requirement of 20% by 14% for a minimum clear glass fenestration of 6% along the west primary façade.

The site was recently approved for a commercial retail building, intended to accommodate various commercial tenants, including restaurants/drive-through and retail. The proposed west street-facing façade of the building does not meet the requirement stipulated in Indianola Code of Ordinance Section 165.09.7.B(6)b, which mandates a minimum of 20% clear glass fenestrations on the first level. Currently, the proposed west façade contains only 6% clear glass fenestrations. The west facade of the proposed building fronts along North Jefferson Way. According to the Iowa Department of Transportation (IDOT), the Annual Average Daily Traffic (AADT) for North Jefferson Way, a state highway, is 20,000 vehicles, as of 2023.

The applicant asserts that the deficiency in clear glass on the west façade is due to specific franchise architecture requirements of Starbucks, which necessitates precise placement and size of windows and fenestrations to accommodate their internal layout and operational needs, particularly in conjunction with a drive-thru component.

Future Land Use

According to the "Elevate Indianola" Comprehensive Plan, the future land use of this area is designated as Regional Mixed Use. The Regional Mixed Use land use designation includes retail,

office, restaurants, bars, personal and business services, and similar commercial uses, generally of a large scale. It may incorporate multi-family residential uses up to 25 dwelling units per gross acre, if compatibility standards are met through a special exception review.

If the variance were to be approved, it would allow the applicant to vary from street-facing façade minimum of clear glass fenestrations of 20%. The west façade would only contain 6% of clear glass fenestrations, which is 14% less than the required minimum stated in Indianola's zoning code.

FINDINGS OF FACT

According to Section 165.02.3.B.(3)b. of Indianola's Zoning Code, in deciding whether to grant a variance request, the Board of Adjustment shall consider all the following legal principles. **All legal principles shall be satisfied in order for the Board of Adjustment to grant a variance.**

- i. **That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district;**

Staff Comment: This finding of fact asks for the Board to find whether special conditions or circumstances exist which are peculiar to the land and which are not applicable to other lands in the same zoning district. The subject property is unique compared to other properties within these zoning districts due to the location and layout of the development.

The zoning code requirement requires that at least one public or private street facing façade, in addition to the main customer entrance points contain 20% clear glass fenestrations. The site is situated on a lot that has street frontage along North Jefferson Highway, however, access from North Jefferson Highway would not be permitted for the site. Access to the site is taken from East Trail Ridge Avenue, off of a private access road. Frontage along an internal or private drive does not qualify the south building elevation from being considered a street-facing façade.

The site and lot orientation, as well as access to the site is peculiar to this lot in itself, as compared to other properties within the C-2 'Highway Commercial' Zoning District. As a result, staff finds this finding of fact to be favorable.

This criterion is met.

Applicant Comment: N/A.

- ii. **That literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter. This finding of fact asks if the applicant would be deprived of a right commonly enjoyed by other properties within the zoning district;**

Staff Comment: This finding of fact asks whether the applicant would be deprived of a right that is commonly enjoyed by other properties within the same zoning district, under the terms of this chapter.

The applicant is requesting a decrease in the percentage of clear glass fenestrations with an increase in other Class 1 and Class 2 building materials being provided as a substitute. The applicant has expressed that the request for a variance is to meet franchise façade requirements required by the prospective tenant for unit #1 of the commercial strip.

In the staff's review of the request, the applicant is providing an adequate number of glass along the south primary entrance, which is the main customer entrance for the building. While not classified as a street-facing façade, the façade will be visible from East Trail Ridge Avenue due to proximity and location of the proposed structure. As a result, the proposal would meet the intent and purpose of the code section. While typically other properties would not be allowed to vary from this requirement, buildings within this zoning district tend to have their main customer entrance and street-facing façade orientated towards the public street/highway, rather than a private access drive.

As a result, staff finds that this finding of fact can be found favorable.

This criteria is met.

Applicant Comment: N/A.

iii. That the special conditions and circumstances do not result from the actions of the applicant;

Staff Comment: This finding of fact asks whether conditions or hardship experienced by the applicant are self-imposed. The strict application of the clear glass fenestration requirement does constitute an unnecessary hardship upon the applicant, by requiring the applicant to exceed clear glass application than typically required of highway commercial buildings along North Jefferson Way. While the applicant is seeking a specific tenant to occupy Unit #1 of the commercial retail strip, and the architectural requirements of the prospective tenant may be considered to be self-imposed by the applicant, the requirement itself could potentially cause hardship for the applicant by requiring additional glass fenestrations to be applied on the site than typically required of highway commercial buildings.

As previously stated in the review of the first and second finding of fact, the lot orientation requires the applicant to apply a 20% clear glass fenestration requirement for both the West and South primary facades. The code requires at least one street-facing façade, in addition to the façade containing main customer entrances to apply this minimum glass requirement. If the lot was oriented differently, or if the access drive were to be a public or private road, the applicant would only be required to apply the requirement to the south primary façade.

As a result, staff find that this finding of fact can be met.

This criteria is met.

Applicant Comment: N/A.

- iv. **That granting the variance request will not confer on the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of land, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.**

Staff Comment: This finding of fact asks whether a special privilege would be granted to the applicant that is otherwise denied to other lands, structures, or buildings within the same zoning district. Variances are granted when a hardship for a property owner occurs, which simultaneously disenfranchise the property owner from a right that other property owners within the same zoning district commonly have.

If this variance were to be granted, it would allow for the commercial development to vary from the minimum clear glass fenestrations requirement of 20% by 14% for a minimum glass required of 6%. The variance would allow for a deviation from the zoning code requirements and would allow for the applicant to accommodate the specific operation needs of Starbucks and would not confer a general privilege to other properties in the same zoning district.

Staff finds that this finding of fact can be viewed favorably as lot and property characteristics for this site are atypical from the average highway commercial property and as a result, would not confer a special privilege that other properties do not have.

This criteria is met.

Applicant Comment: N/A.

SUMMARY OF FINDINGS

The following summary of findings are provided as reasonings to approve the variance request:

- 1) The variance request is favorable towards all findings of fact outlined in the Zoning Code.
- 2) Lot and property characteristics are considered unique or peculiar, including access to the site. These characteristics impact the applicability of the clear glass fenestrations required of the site.
- 3) The main customer entrances for each commercial unit are oriented to the south. The south building façade, which exceeds the minimum glass fenestration required for the façade, is visible from East Trail Ridge Avenue.
- 4) The property exceeds building material requirements for other visible primary façades located on the site.
- 5) The variance is created by the regulations and does not arise from an action (desire) of the applicant.
- 6) Granting the variance would not provide a right and privilege that other properties do not have.
- 7) Deviation from the Zoning Code Regulations would be in harmony with the intent and purpose of the Zoning Code.
- 8) An unnecessary hardship does exist if the request is denied, as the property would be required to apply additional glass fenestrations than required of the typical highway commercial property.

If the variance were to be denied, the Board of Adjustment should be prepared to summarize, for inclusion in the minutes of the meetings, its reasons to deny, which will serve as the applications decision and order.

ALTERNATIVES

The City of Indianola Board of Adjustment may consider the following alternatives:

- 1) **The City of Indianola Board of Adjustment approves the variance request, as submitted.**
- 2) The City of Indianola Board of Adjustment approved the variance request, with conditions.
- 3) The City of Indianola Board of Adjustment denies the variance request.
- 4) The City of Indianola Board of Adjustment remands the variance request back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Board of Adjustment agenda.

RECOMMENDATION

Staff recommends that the Indianola Board of Adjustment move alternative 1, to approve the variance request, as submitted.

BOARD OF ADJUSTMENT APPLICATION

Community Development
110 North 1st Street, Indianola, Iowa 50125-0299
(515) 961-9430 • comdev@indianolaiowa.gov



PROPERTY OWNER

(Last Name) Invigorate Development Group, LLC
(First Name) _____
(Address) 509 E Scenic Valley Ave.
(City) Indianola (State) IA (Zip) 50125
(Phone) 515-961-5386 (Email) justinb@downingconstruct.com

APPLICANT (if not Property Owner)

(Last Name) Gross
(First Name) Alex
(Address) 509 E Scenic Valley Ave.
(City) Indianola (State) IA (Zip) 50125
(Phone) 515-808-0922 (Email) alexg@downingconstruct.com

APPEAL

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Completed Application
- ☐ Filing Fee: \$300 per request
- ☐ Written narrative indicating where it is alleged there is error in any order, requirement, decision, or determination made by the Administrative Officer in the enforcement of this Code of Ordinances of Indianola, Iowa.
- ☐ Other Information as required by Director

SPECIAL USE PERMIT

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Property Address: _____
- ☐ Completed Application
- ☐ Filing Fee: \$300 per request
- ☐ Site Plan and Elevations as outlined in 165.06
- ☐ Written narrative indicating the special use permit sought and response to the criteria outlined in Section 165.02(3)(B)(3)(c)(v) of the Code of Ordinances of Indianola, Iowa
- ☐ Other Information as required by Director

VARIANCE

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☒ Property Address: 302 E Trail Ridge Ave.
- ☒ Completed Application
- ☒ Filing Fee: \$300 per request
- ☒ Site Plan and Elevations
- ☒ Written narrative indicating justification for proposed variance and response to the criteria outlined in Section 165.02(3)(B)(3)(b) of the Code of Ordinances of Indianola, Iowa
- ☐ Other Information as required by Director

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with the knowledge, consent and authority of the owner(s) of the property. Pursuant to said authority, I hereby permit City officials to enter upon the property for the purpose of inspection related to this application.

Signature *Alex Gross*
Name (printed) Alex Gross Date 6/5/24

FOR OFFICE USE ONLY:

Date Received: _____
Receipt No: _____
Receipt Amount: _____
BOA Agenda Date: _____

June 5, 2024

City of Indianola
110 N 1st St.
Indianola, IA 50125

To Whom This May Concern,

The design of the west façade of the new construction project at 302 East Trail Ridge Avenue does not meet the requirement of 20% clear glass set forth in the Indianola Code of Ordinance 165.09 7.B.6.b. (exact verbiage below).

“At least one street-facing building façade and the façade containing the main building entry, if different from the street façade, shall consist of no less than 20% clear glass fenestrations (windows and full glass doors) on the first level.”

This is due to the specific business/tenant use of Starbucks that will occupy the west suite. Starbucks dictates the exact placement and size of each window/fenestration in the space in order to work with their layouts and coordinate properly with a drive thru use. Meeting the 20% would compromise the function of their space and would likely lead to the loss of this tenant in the building. The current quantity of 6% of the façade cannot be increase based upon the information above.

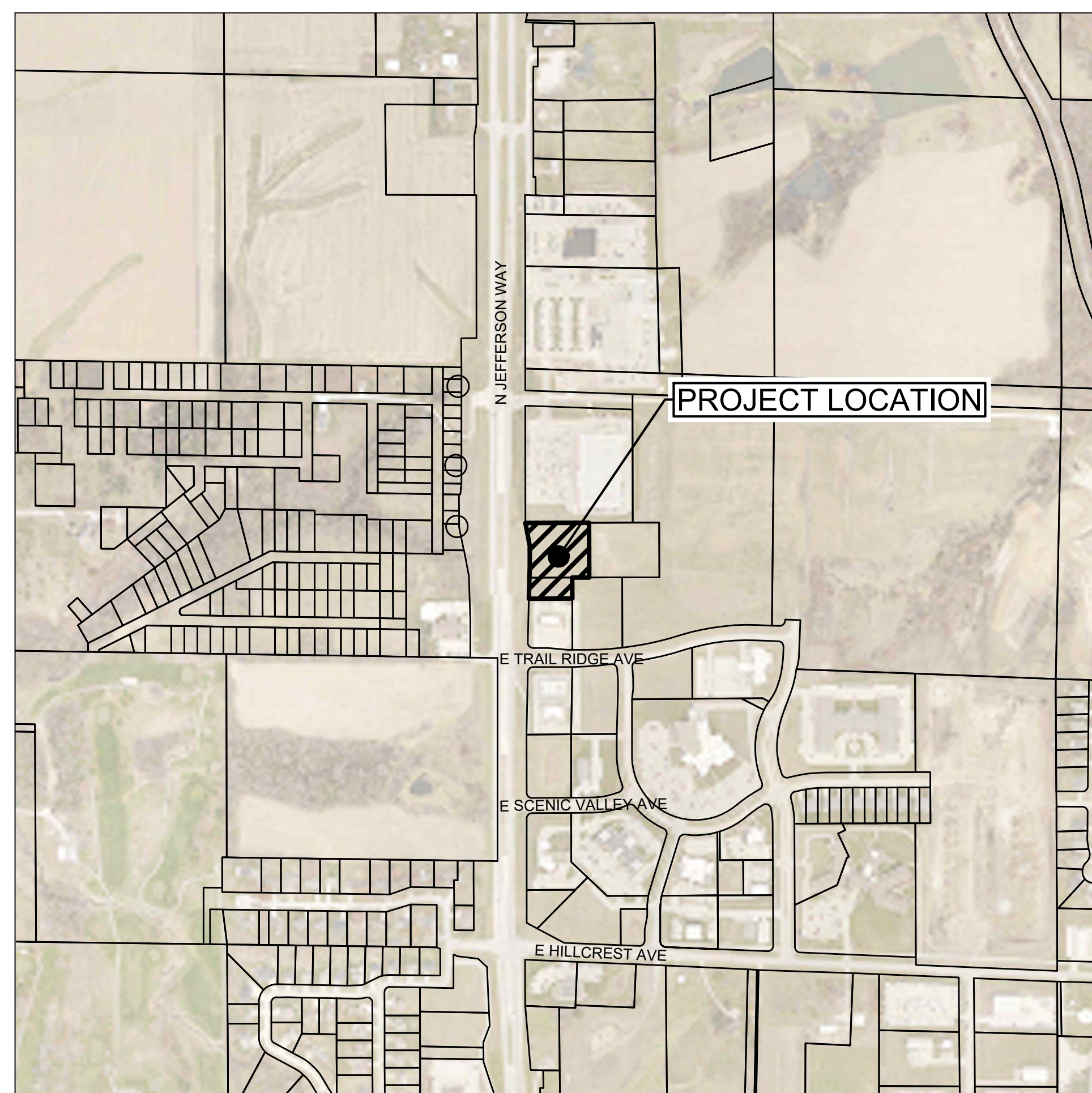
On behalf of Invigorate Development Group in order to move this project forward and maintain intended tenants, we would request that a variance be granted to allow the current glass quantity as shown.

If you have any questions, please contact Alex Gross at (515) 808-0922 or at alexg@downingconstruct.com.

Thank you,

Alex Gross
Design Build Manager
Downing Construction, Inc.

SITE PLAN
FOR
SUMMERCREST PLAZA
302 E TRAIL RIDGE AVENUE
CITY OF INDIANOLA, WARREN COUNTY, IOWA



SCALE: 1" = 500'

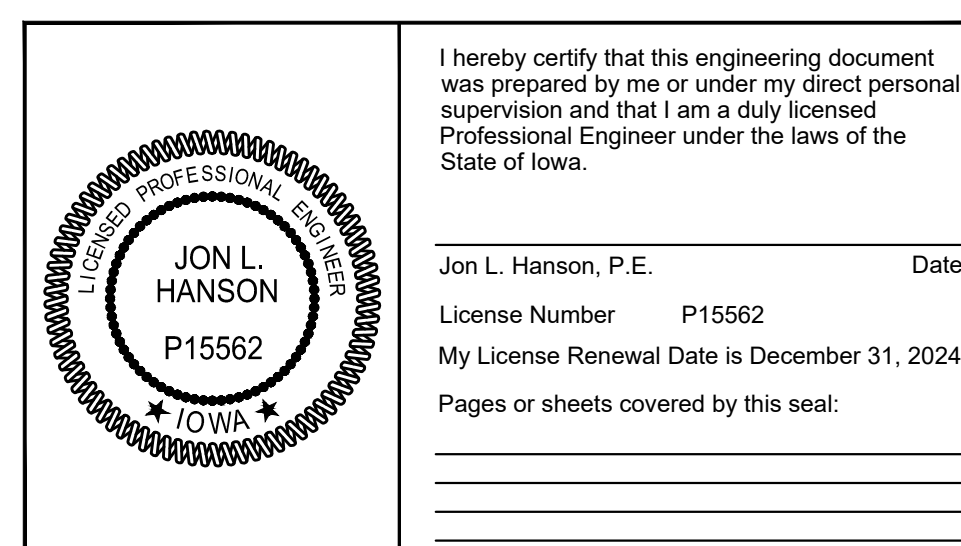
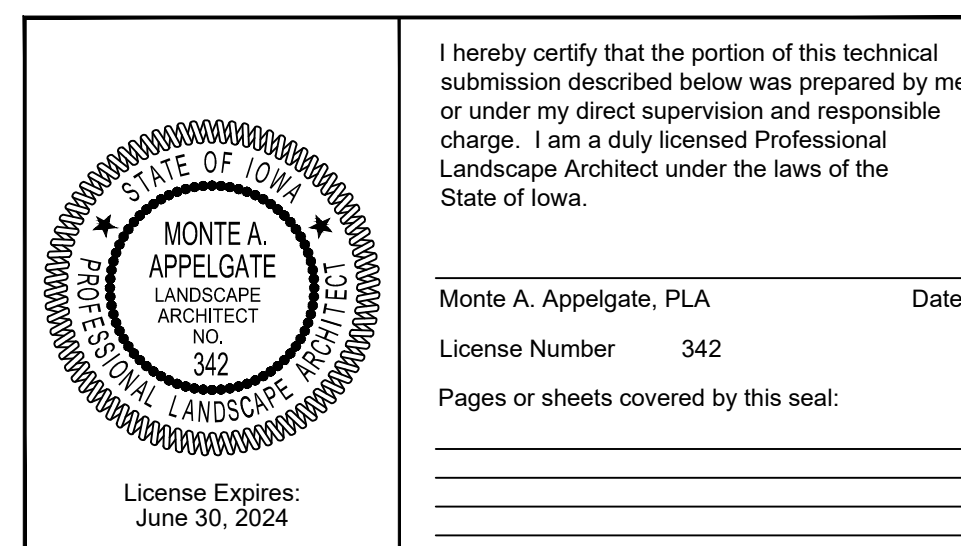
VICINITY MAP

OWNER
SDHC, LLC
8525 DOUGLAS AVENUE, SUITE 54
URBANDALE, IA 50322

APPLICANT
DOWNING CONSTRUCTION INC
509 E SCENIC VALLEY AVENUE
INDIANOLA, IA 50125
PHONE: 515-961-5386
CONTACT: JUSTIN BROWN

Sheet List Table

C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	SITE LAYOUT
C201	DIMENSION PLAN
C300	GRADING AND EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	LANDSCAPE PLAN
C501	LANDSCAPE PLAN- PLANT IMAGES
C600	SITE DETAILS



SUMMERCREST PLAZA

TITLE SHEET

SNYDER & ASSOCIATES, INC.

INDIANOLA, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



SNYDER
& ASSOCIATES

Project No: 124.0284.01

Sheet C100

[illegible]

Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Stump

Deciduous Tree \ Shrub

Coniferous Tree \ Shrub

Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main w
Water Main with Size
Sanitary Sewer with Size
Dust Bank
Test Hole Location for SUE

Sanitary Manhole			
Storm Sewer with Size	— ST(*) —		
Storm Manhole			
Single Storm Sewer Intake			
Double Storm Sewer Intake			
Fire Hydrant			
Fire Hydrant on Building			
Water Main Valve			
Water Service Valve			
Well			
Utility Pole			
Guy Anchor			
Utility Pole with Light			
Utility Pole with Transformer			
Street Light			
Yard Light			
Electric Box			
Electric Transformer			
Traffic Sign			
Communication Pedestal			
Communication Manhole			
Communication Handhole			
Fiber Optic Manhole			
Fiber Optic Handhole			
Gas Valve			
Gas Manhole			
Gas Apparatus			
Fence Post or Guard Post			
Underground Storage Tank			
Above Ground Storage Tank			
Sign			
Satellite Dish			
Mailbox			
Sprinkler Head			
Irrigation Control Valve			

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
4. UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DENIGATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
5. UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
6. BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

FRONT YARD	=40'
SIDE YARD	=10'
REAR YARD	=10'

TOTAL LOT AREA (OVERALL)	=90,654SF (2.08 AC)
IMPERVIOUS AREA (BUILDING AND PAVEMENT)	=59,442 SF (65.6%)
OPEN SPACE REQUIRED	=18,131 SF (20%)
OPEN SPACE PROVIDED	=31,212 SF (34.4%)

$$59,442 \text{ SF} - 3,400 = 56,042 \text{ SF} / 340 = 164.82 \times 0.1 = 16.84 \text{ ERU's}$$

-RETAIL SALES
-RESTAURANT/DRIVE-IN OR DRIVE-THRU FACILITIES
TENANT NO.1: RESTAURANT DRIVE THRU FACILITY.
TENANTS NO.2-5: UNDETERMINED (RETAILER OR RESTAURANT).

MINIMUM LOT WIDTH	=150'
MINIMUM LOT STREET FRONTAGE	=40'
MINIMUM SEPARATION BETWEEN BUILDINGS NOT ATTACHED	=20'
MAXIMUM BUILDING HEIGHT	=50'
MINIMUM OPEN SPACE	=20%

FRONT YARD SETBACK=15'
REAR YARD SETBACK =10'
SIDE YARD SETBACK =10'

IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (IA-AMES-DSM)
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

CP100	N=7413613.48 E=18543620.28 Z=938.52 SET 1/2" REBAR WITH RED PLASTIC CAP AT CENTER OF SITE. (AS SHOWN ON SURVEY)
CP101	N=7413446.99 E=18543356.89 Z=937.05 SET CUT "X" AT EAST EDGE OF CONCRETE MEDIAN, +200' NORTH OF CENTERLINE OF TRAIL RIDGE AVENUE, AND +140' WEST OF NW CORNER PARKING LOT. (AS SHOWN ON SURVEY)
CP102	N=7413352.69 E=18543691.57 Z=944.23 SET CUT "X" ON TOP CURB LOCATED AT EAST SIDE OF FRONTAGE ROAD, +30' EAST OF LIGHT POLE, AND +80' EAST OF SE BUILDING CORNER. (AS SHOWN ON SURVEY)
CP103	N=7413958.75 E=18543355.39 Z=935.19 SET CUT "X" AT EAST EDGE OF CONCRETE MEDIAN LOCATED +300' SOUTH OF CENTERLINE OF WILLOWCREST AVE, NE CORNER GRASS AREA IN MEDIAN. (AS SHOWN ON SURVEY)
CP104	N=7413853.27 E=18543915.92 Z=945.43 SET CUT "X" ON TOP CURB LOCATED AT SOUTH EDGE OF DRIVE, +8' EAST OF END-OF-RADIUS, AND +35' SE OF SE CORNER BUILDING. (AS SHOWN ON SURVEY)

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

BM500	N=7413443.3 E=18543656.6 Z=944.22 SET CUT TRIANGLE AT TOP OF CONCRETE LIGHT POLE BASE LOCATED WEST SIDE OF FRONTAGE ROAD, EAST SIDE OF DUMPSTER AREA, AT NORTH END OF ROAD, SE CORNER OF SITE. (AS SHOWN ON SURVEY)
BM501	N=7413884.4 E=18543883.3 Z=947.31 BURY BOLT ON HYDRANT AT SE CORNER OF THEISENS, NORTH SIDE OF ACCESS DRIVE, +/-20' OF SE CORNER OF BUILDING. (AS SHOWN ON SURVEY)

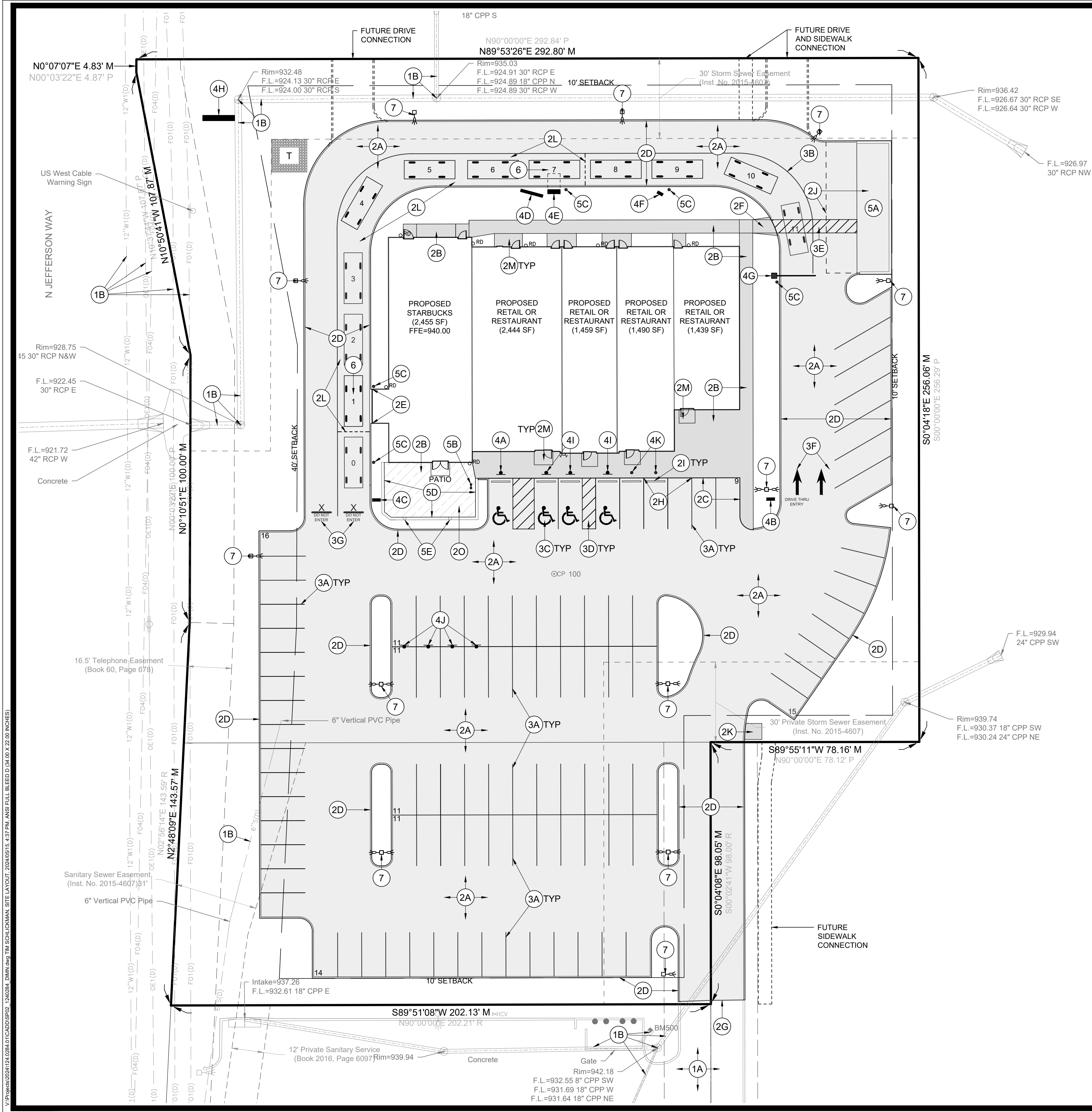
MARCH 04, 2024

O. ALL EXTERIOR-MOUNTED AND ROOF-TOP BUILDING EQUIPMENT, INCLUDING HVAC, MECHANICAL EQUIPMENT, VENTS, PIPING, ROOD ACCESS LADDER, AND UTILITY METERS SHALL BE LOCATED OUT OF VIEW AND SCREENED FROM ALL ADJACENT STREETS AND RESIDENTIALLY DEVELOPED OR ZONED PROPERTIES.

P. ANY IMPROVEMENTS IN STATE RIGHT OF WAY IS CONTINGENT ON IOWA DOT APPROVAL.

Sheet C101

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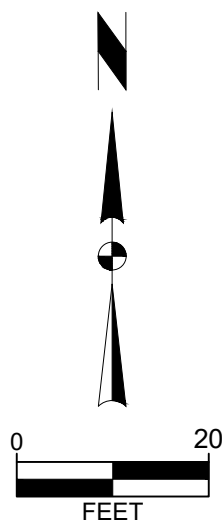


DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY.
- PAVEMENTS. PROVIDE THE FOLLOWING WHERE INDICATED ON PLAN:
 - 6" DEPTH PCC DRIVE AND PARKING ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 5" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 5" DEPTH PCC INTEGRAL SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY. SEE DETAIL.
 - 6" HEIGHT STANDARD CURB.
 - DRIVE THROUGH CURB. SEE DETAIL.
 - PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%.
 - CONNECT TO EXISTING PAVEMENT. FULL DEPTH SAW CUT EXISTING SLAB END TO PROVIDE UNIFORM EDGE. CONNECT WITH SUDAS 'BT' TYPE JOINT.
 - TAPER TO NO CURB.
 - WHEEL STOP, PRECAST CONCRETE. SEE DETAIL ON C600.
 - PROVIDE PCC SEALANT IN THE AREA INDICATED ON PLAN.
 - 6"x6"x8" THICK PCC PAD WITH SURFACE MOUNTED MULTI-TENANT MAIL BOX. MAIL BOX MODEL TO BE COORDINATED WITH PROPERTY OWNER.
 - 6" DEPTH INTEGRAL PCC IN DRIVE THRU LANE TO LIMITS SHOWN.
 - PCC STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
 - NO CURB.
 - 5" PCC PATIO FINISH. FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2" WIDE SMOOTH TROWELED DETAIL AT EACH CONTROL JOINT. MOISTURE CARE CONCRETE FOR MINIMUM SEVEN DAYS AND APPLY 2 COATS OF PENETRATING SEALER TO FINISH.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES.
 - 4" WIDE PAINTED DRIVING LANE LINE.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - DIRECTIONAL PAVEMENT ARROWS AS SHOWN. WAYFINDING PAVEMENT GRAPHICS. WORK WITH STARBUCKS SIGNAGE VENDOR TO PROVIDE PAVEMENT STENCIL. STENCIL 23117 AND 23113.
 - DO NOT ENTER PAVEMENT MARKING AS SHOWN. WAYFINDING PAVEMENT GRAPHICS. WORK WITH STARBUCKS SIGNAGE VENDOR TO PROVIDE PAVEMENT STENCIL. STENCIL 23115.
- SIGNS. PROVIDE THE FOLLOWING:
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. REFER TO STRUCTURAL PLANS FOR FOOTING DETAILS. ADA SIGNAGE TO COMPLY WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
 - DRIVE-THRU DIRECTIONAL ARROW SIGN. REFER TO DETAIL (13/S502) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - DRIVE-THRU DIRECTIONAL EXIT/THANK YOU SIGN. REFER TO DETAIL (13/S502) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - DRIVE-THRU MENU BOARD. REFER TO DETAIL (14/S501) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - DIGITAL ORDER SCREEN WITH CANOPY. REFER TO DETAIL (15/S501) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - DRIVE-THRU PRE-MENU BOARD. REFER TO DETAIL (14/S501) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - CLEARANCE BAR. REFER TO DETAIL (16/S501) ON STRUCTURAL PLANS FOR FOOTING DETAILS.
 - MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DETAIL. REFER TO DETAIL (17/S501) ON STRUCTURAL PLANS FOR FOOTING DETAILS. SIGN LOCATION AND STANDARDS SUBJECT TO CITY OF INDIANOLA SIGN CODE.
 - ACCESSIBLE PARKING SIGNAGE AS PER ADAAG. REFER TO STRUCTURAL PLANS FOR FOOTING DETAILS. ADA SIGNAGE TO COMPLY WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
 - CONCRETE BASE WITH METAL POST. OWNER TO ATTACH SIGN FOR MOPED PARKING IN FOUR STALLS.
 - CONCRETE BASE WITH METAL POST (NO SIGNAGE).
- SITE AMENITIES. PROVIDE THE FOLLOWING:
 - TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAIL.
 - BIKE RACK (1). MODEL: OLYMPIA SKOLY (BLACK) BY FORMS + SURFACES. SURFACE MOUNTED TO PCC PER MANUFACTURER GUIDELINES.
 - BOLLARD. SEE DETAIL ON SHEET C600.
 - CONCRETE KNEE WALL AROUND PATIO IN LOCATION SHOWN. REFER TO STRUCTURAL PLANS DETAIL 4/S503.
 - 12" WIDE X 4" HEIGHT WALL OPENING FOR DRAINAGE.
- PROVIDE LOOP DETECTORS IN PAVEMENT. SEE SITE ELECTRICAL PLANS.
- PROVIDE PARKING LOT LIGHTING. SEE SITE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

PAVEMENT LEGEND

- 5" PCC PATIO FINISH (SEE NOTE 20)
- 5" PCC SIDEWALK
- 6" PCC PAVEMENT



SUMMERCREST PLAZA

SITE LAYOUT



Project No: 124.0284.01

Sheet C200

INDIANOLA, IOWA

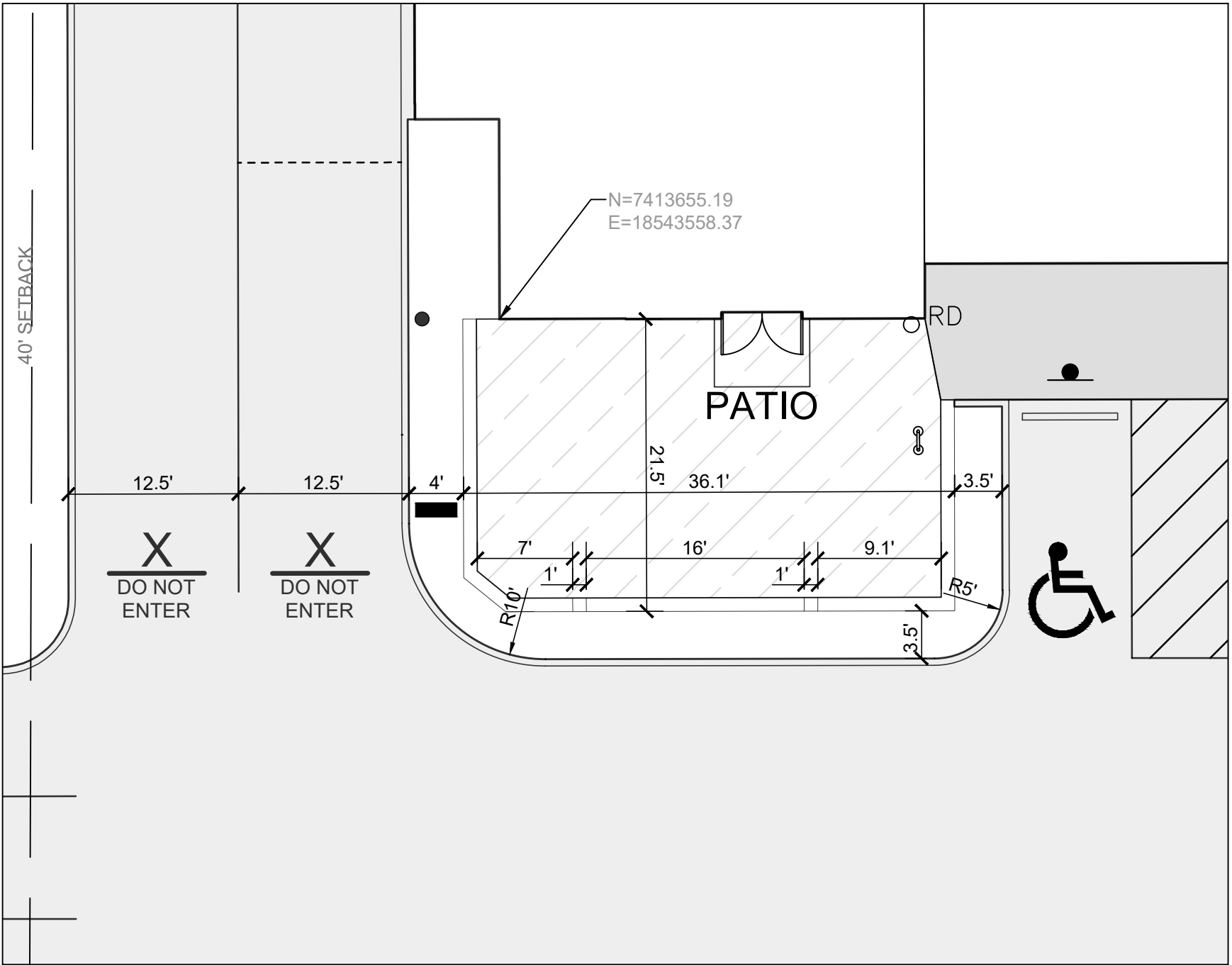
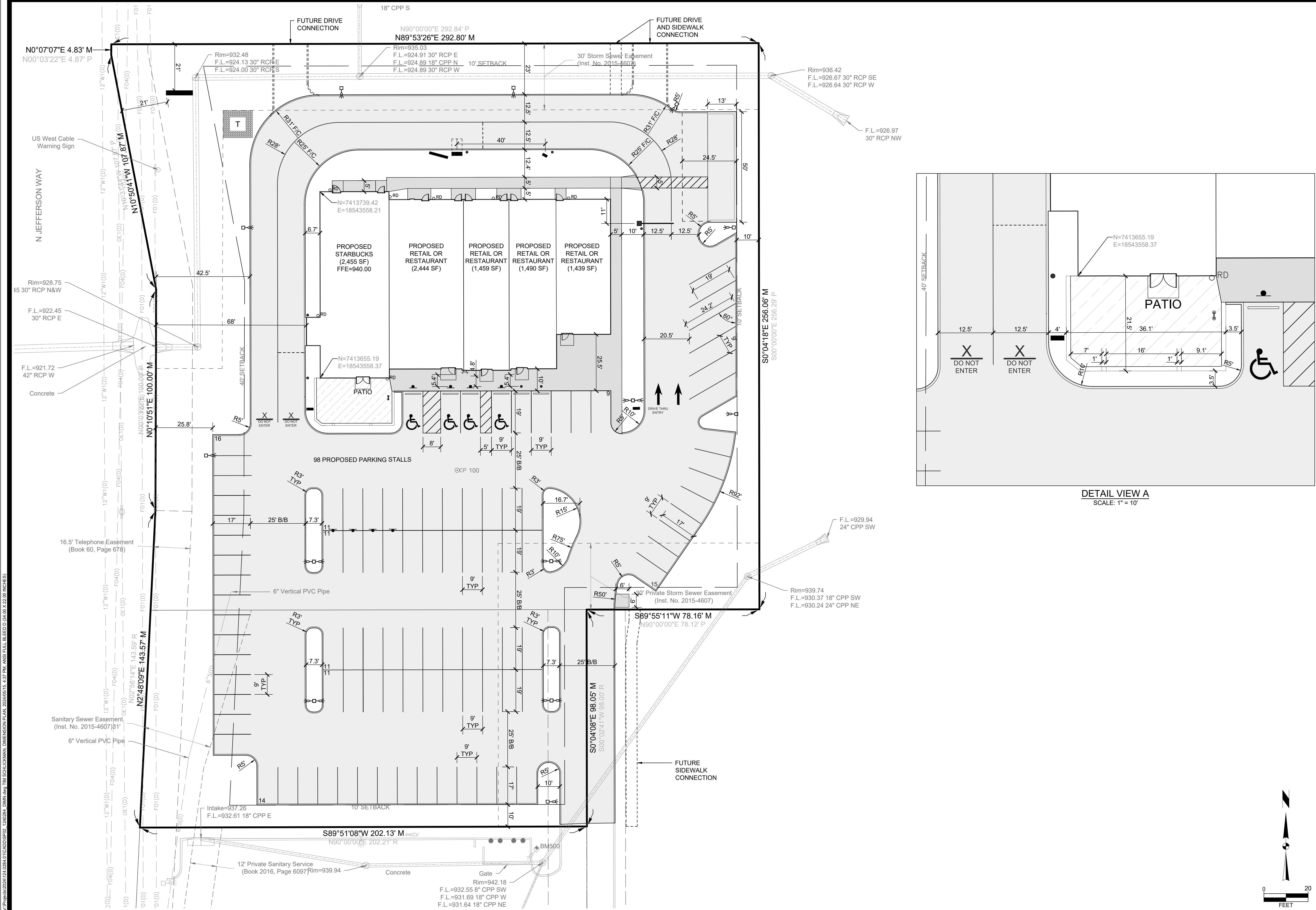
SNYDER & ASSOCIATES, INC. | 2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-364-2020 | www.snyder-associates.com

Project No: 124.0284.01

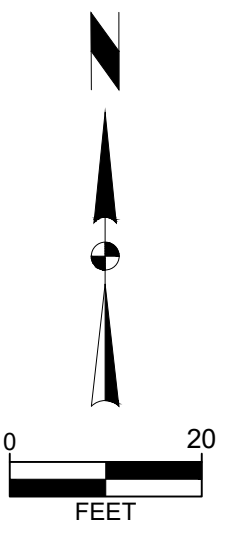
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Engineer:	JRC	Checked By:	MAA
Technician:	TLS	Date:	05/06/2024
		T-R-S:	TIN-RRW-SS

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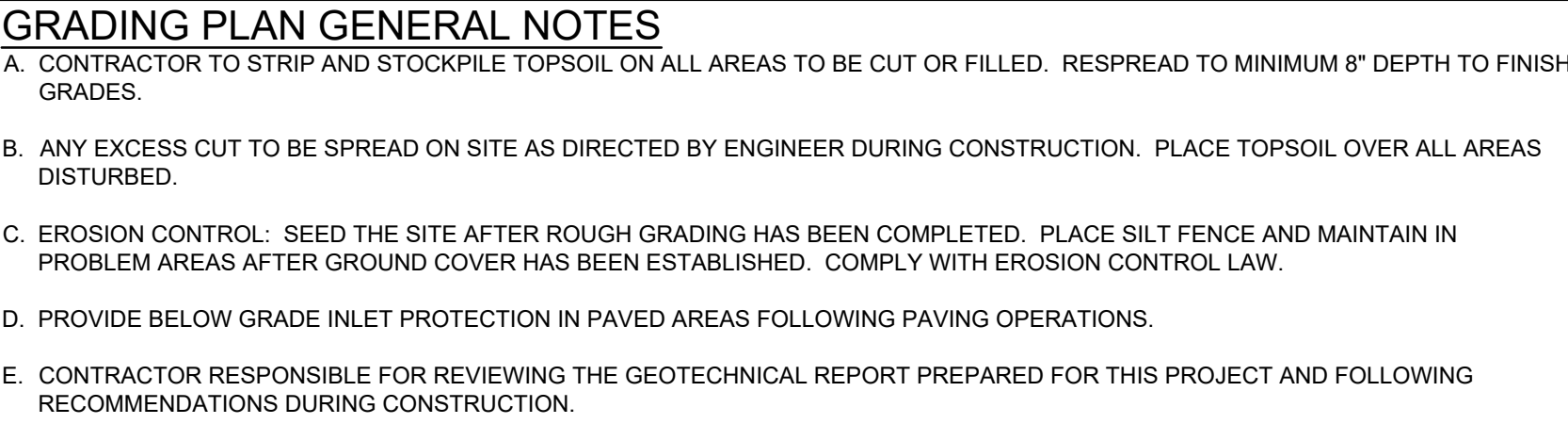


DETAIL VIEW A
SCALE: 1" = 10'



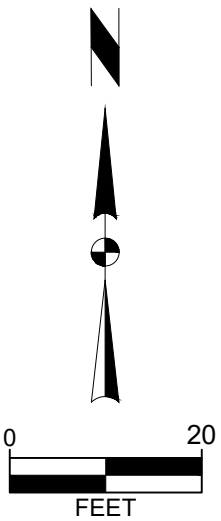
SUMMERCREST PLAZA		INDIANOLA, IOWA	
DIMENSION PLAN		SNYDER & ASSOCIATES, INC.	
		2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-364-2020 www.snyder-associates.com	
Project No: 124.0284.01		Sheet C201	
Sheet C201		Sheet C201	

1	REVISED PER CITY COMMENTS	05/15/24	TLS
MARK	REVISION	DATE	BY
Engineer: JRC	Checked By: MAA	Scale: 1" = 20'	
Technician: TLS	Date: 05/06/2024	T-R-S: TTN-RRW-SS	



NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

- | | |
|-------|--|
| BM500 | N=7413443- E=18543656- Z=944.22
SET CUT TRIANGLE AT TOP OF CONCRETE LIGHT POLE BASE LOCATED WEST SIDE OF FRONTAGE ROAD, EAST SIDE OF DUMPSTER AREA, AT NORTH END OF ROAD, SE CORNER OF SITE. (AS SHOWN ON SURVEY) |
| BM501 | N=7413884- E=18543883- Z=947.31
BURY BOLT ON HYDRANT AT SE CORNER OF THEISENS, NORTH SIDE OF ACCESS DRIVE, +20' OF SE CORNER OF BUILDING. (AS SHOWN ON SURVEY) |

[illegible]

INDIANOLA, IOWA

SUMMERCREST PLAZA

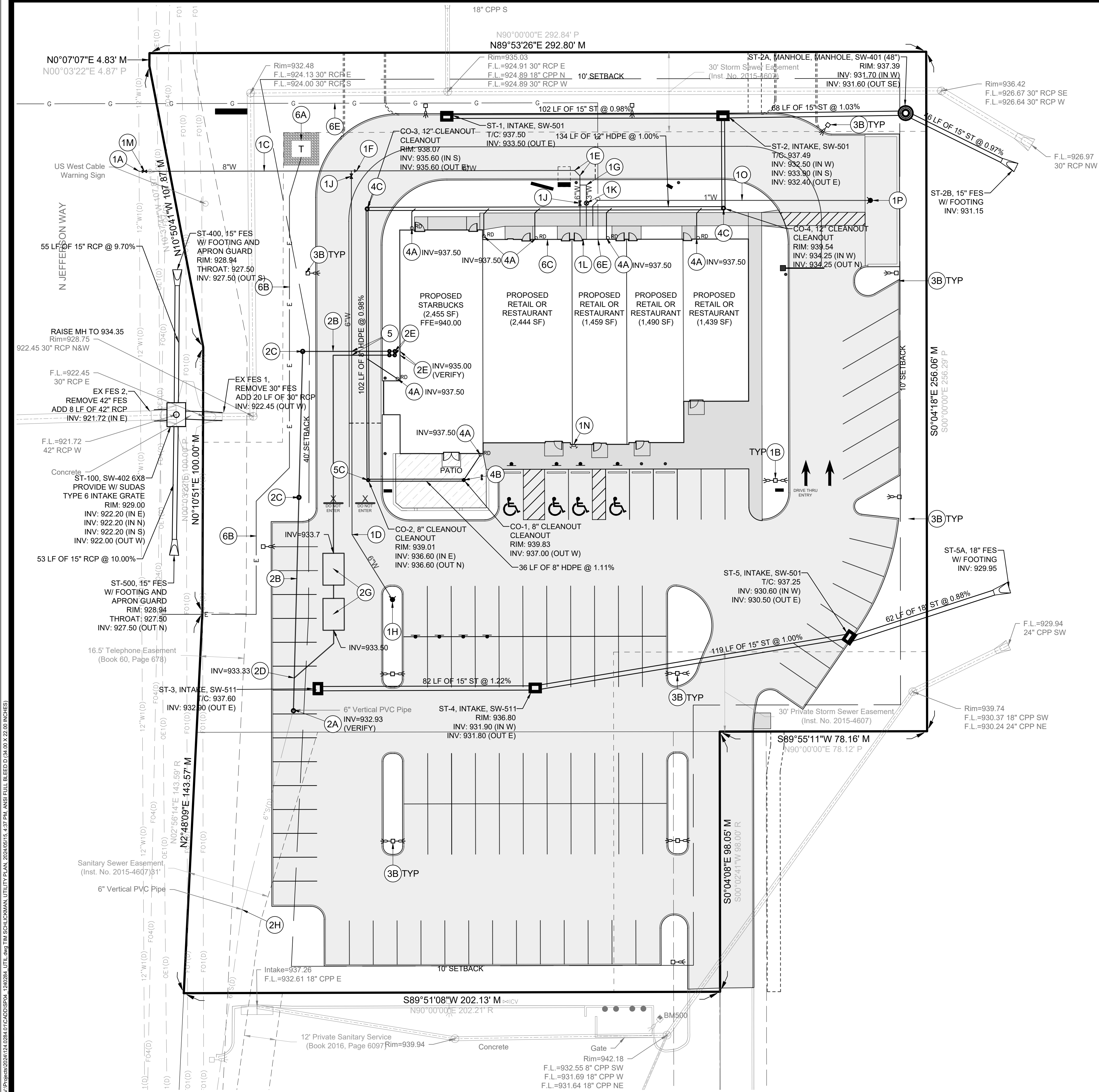
GRADING AND EROSION CONTROL PLAN



Project No: 124.0284.01

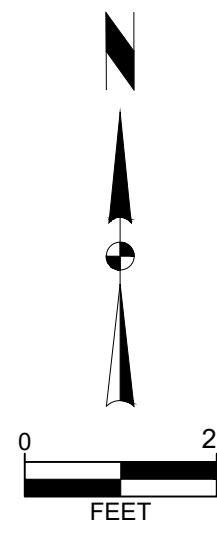
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UTILITY PLAN CONSTRUCTION NOTES

- WATER SERVICES. PROVIDE THE FOLLOWING:
 - TAP EXISTING 12" WATER MAIN WITH TAPPING SLEEVE AND VALVE. COORDINATE CONNECTION WITH THE CITY OF INDIANOLA WATER DEPARTMENT AND IOWA DOT FOR PERMIT.
 - 6" WATER SERVICE WITH TRACER WIRE. INSTALL WITH MINIMUM 5' COVER TO TOP OF PIPE.
 - 8" WATER SERVICE WITH TRACER WIRE. INSTALL WITH MINIMUM 5' COVER TO TOP OF PIPE.
 - 22.5" BEND.
 - 45" BEND.
 - 8"x8" REDUCER.
 - DOMESTIC WATER SERVICE WITH CURB STOP SPLIT EXTERIOR TO BUILDING. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - FIRE HYDRANT ASSEMBLY. COORDINATE LOCATION WITH ELECTRIC IMPROVEMENTS.
 - TEE 8" HYDRANT SERVICE FROM 8" FIRE SERVICE.
 - 6" RW VALVE.
 - 3" CURB STOP.
 - CONFIRM FINAL SERVICE LOCATION AND DEPTH OF FIRE AND DOMESTIC SERVICES WITH ARCHITECTURAL AND PLUMBING PLANS.
 - 8" RW VALVE INSTALLED AS PART OF THE TAPPING SLEEVE.
 - WALL MOUNTED FIRE DEPARTMENT CONNECTION. CONFIRM FINAL LOCATION WITH ARCHITECTURAL PLANS.
 - 1" WATER SERVICE WITH TRACER WIRE. INSTALL WITH MINIMUM 5 FOOT COVER TO TOP OF PIPE.
 - FROST FREE YARD HYDRANT WITH LOCKABLE ASSEMBLY HANDLE. COORDINATE LOCATION WITH TRASH ENCLOSURE IMPROVEMENTS.
- SANITARY SEWER SERVICES. PROVIDE THE FOLLOWING:
 - CONNECT TO EXISTING 6" SANITARY SERVICE STUB. ADJUST EXISTING CLEANOUT AND PROVIDE SUDAS SW-203 CASTING. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - 6" SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE (1/8" PER FOOT).
 - SANITARY CLEANOUT (SUDAS SW-203).
 - WYE CONNECTION BETWEEN SEWER SERVICE LINES.
 - DOUBLE SANITARY CLEANOUT (SUDAS SW-203) LOCATED OUTSIDE OF BUILDING. PROVIDE SERVICE AT ELEVATION TO SERVICE ENTIRE BUILDING.
 - CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - GREASE INTERCEPTOR. COORDINATE FINAL SIZE WITH MECHANICAL PLANS.
 - EXISTING CLEANOUT TO BE FINISHED WITH SW-203 CASTING.
- SITE LIGHTING. PROVIDE THE FOLLOWING:
 - CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
 - SITE LIGHTING SHOWN. SEE ELECTRICAL PLANS.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN:
 - ROOF DRAINS. PROVIDE 8" PVC ROOF DRAIN LEADER. EXTEND 12" ABOVE GRADE. CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
 - 45 DEGREE BEND.
 - PVC CLEANOUT WITH SUDAS SW-203 CASTING.
- CRITICAL CROSSING. CONTRACTOR TO MAINTAIN MINIMUM 18" SEPARATION.
- SITE FRANCHISE UTILITIES. PROVIDE THE FOLLOWING:
 - TRANSFORMER PAD. COORDINATE FINAL SIZE AND LOCATION WITH MID-AMERICAN ENERGY AND ELECTRICAL SITE PLAN.
 - ELECTRICAL SERVICE ROUTE TO BE FINALIZED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLANS.
 - ELECTRIC METER. SEE ARCHITECTURAL PLANS.
 - GAS METER. SEE ARCHITECTURAL PLANS.
 - GAS SERVICE ROUTE TO BE FINALIZED BY UTILITY PROVIDER.



SUMMERCREST PLAZA

UTILITY PLAN

INDIANOLA, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 124.0284.01

Sheet C400

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515-364-2020 | www.snyder-associates.com

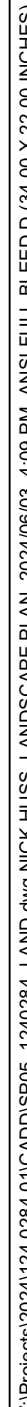
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Sheet C400

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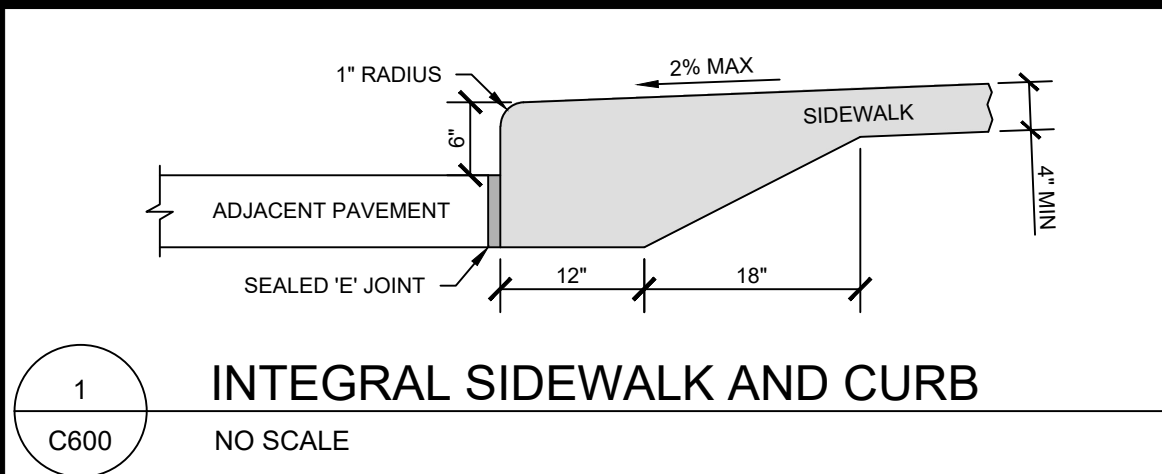
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Technician: TLS

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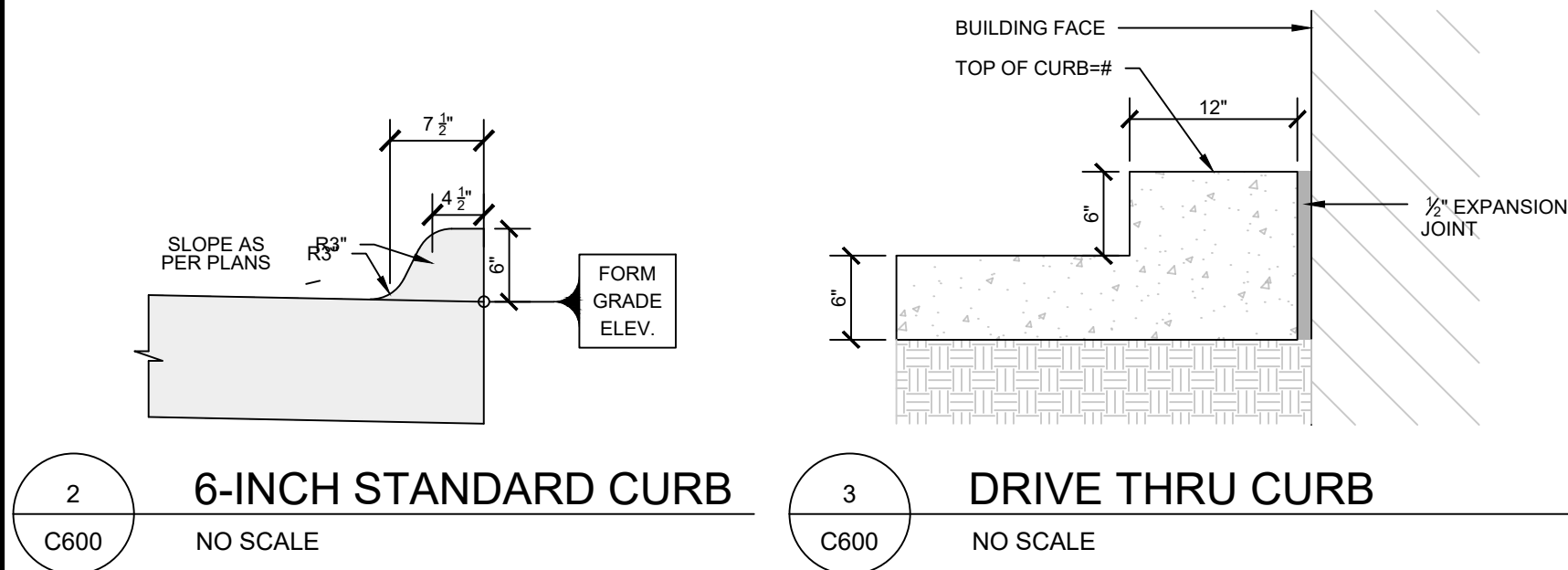


Page 23 of 29

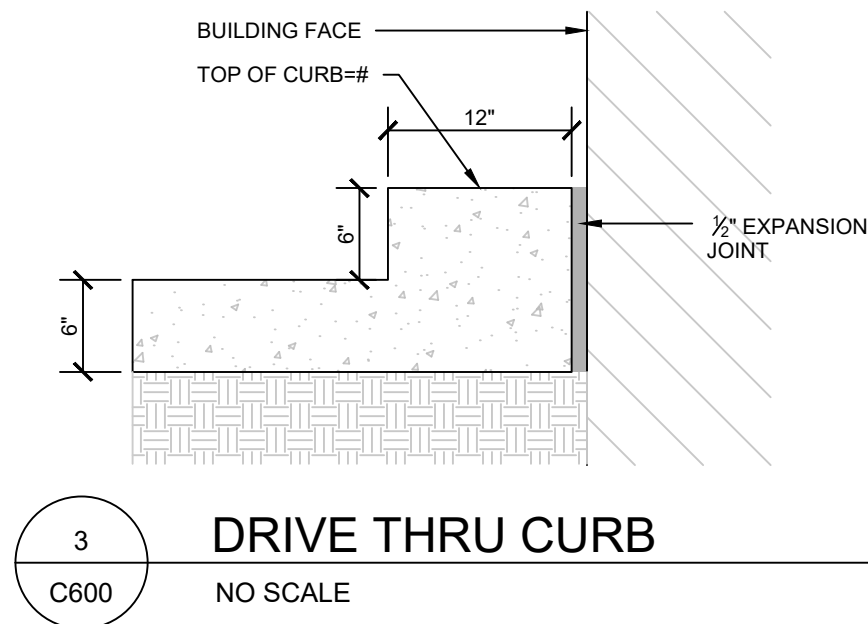
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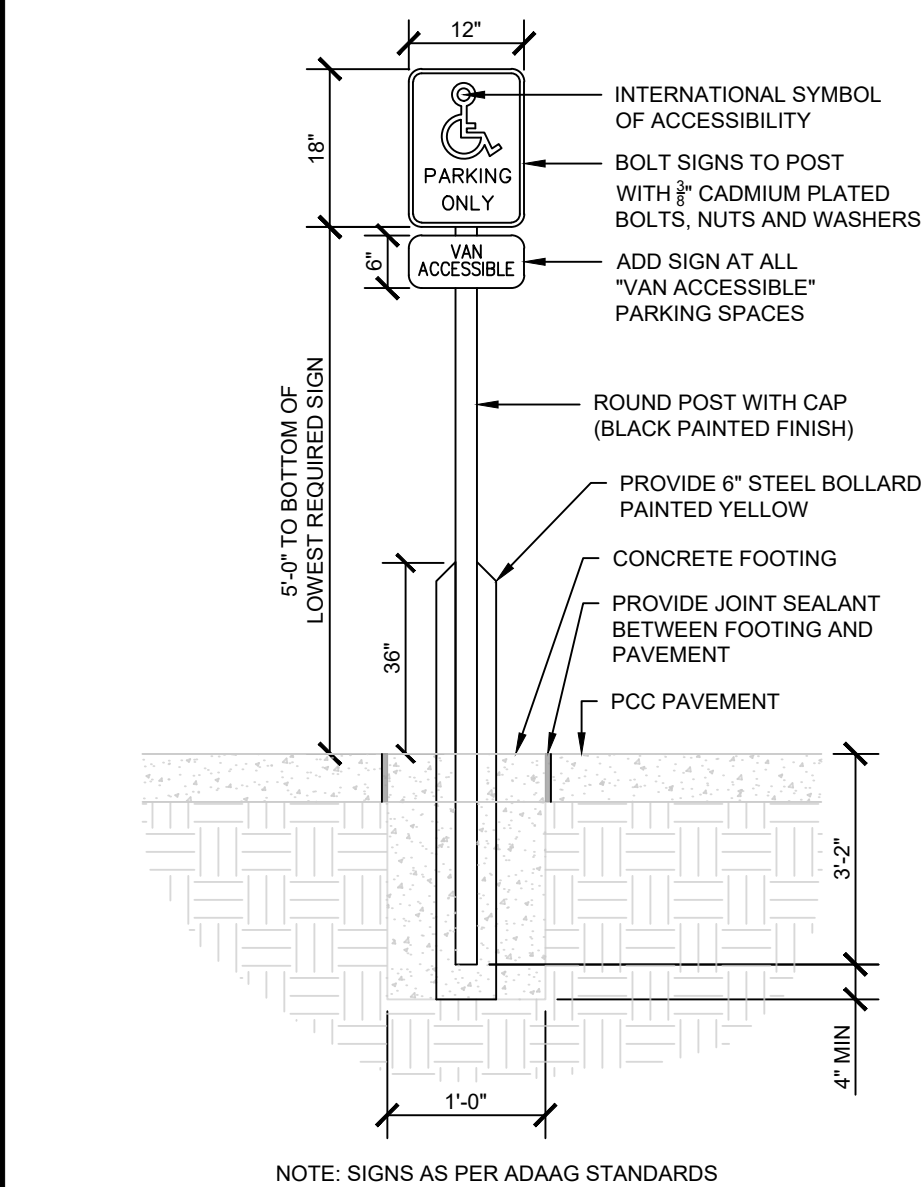
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C600
INTEGRAL SIDEWALK AND CURB
NO SCALE



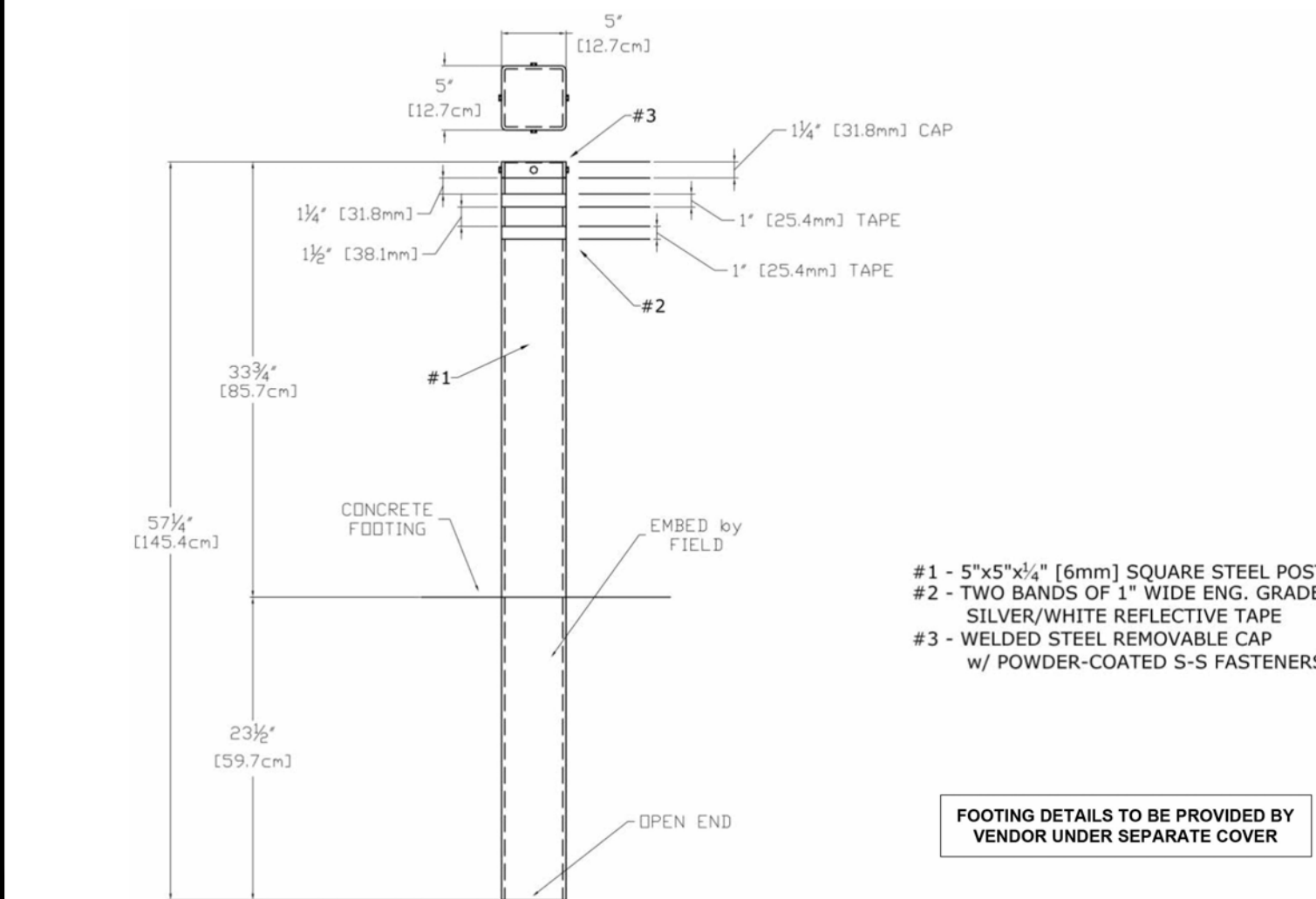
2
C600
6-INCH STANDARD CURB
NO SCALE



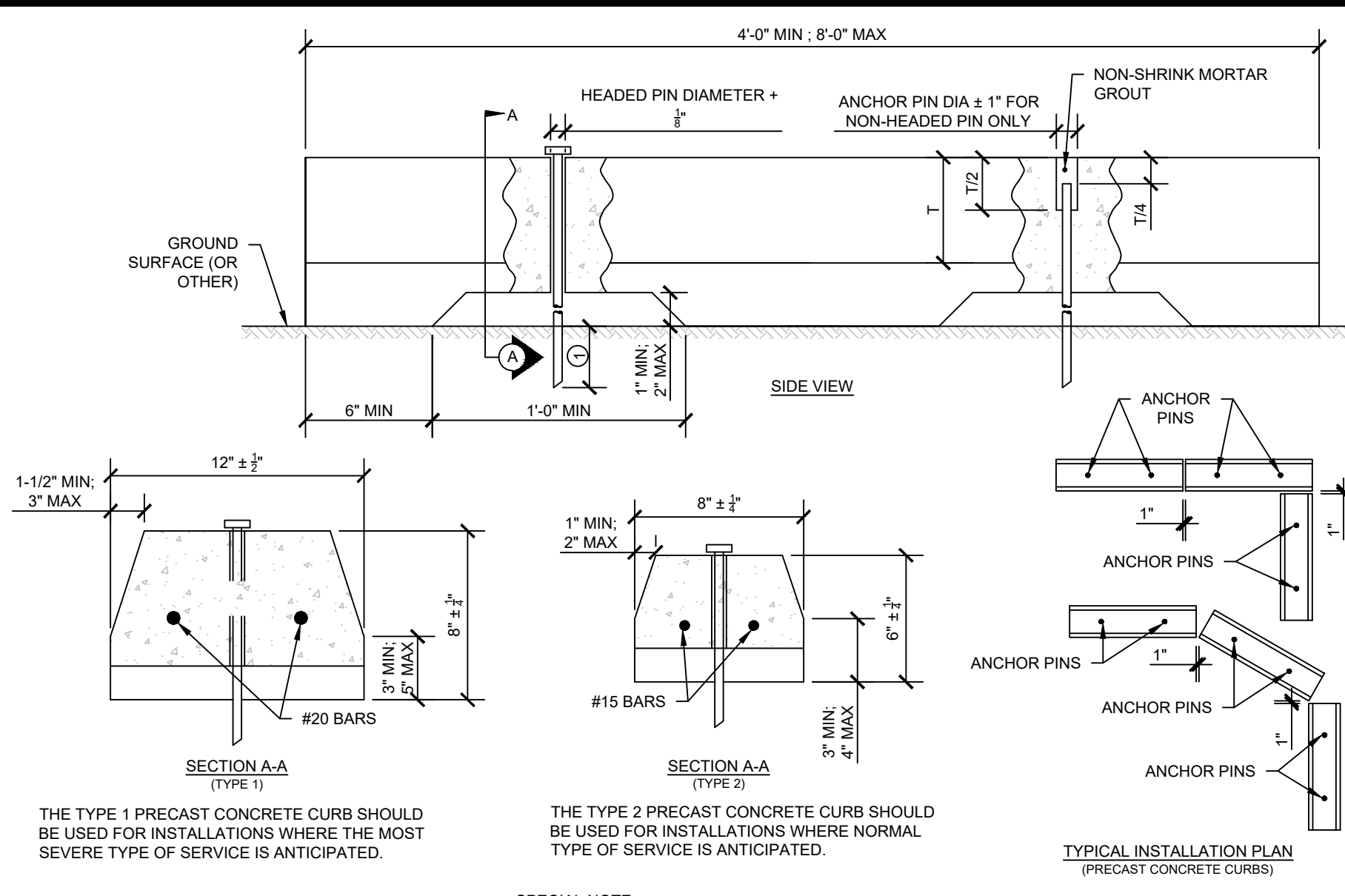
3
C600
DRIVE THRU CURB
NO SCALE



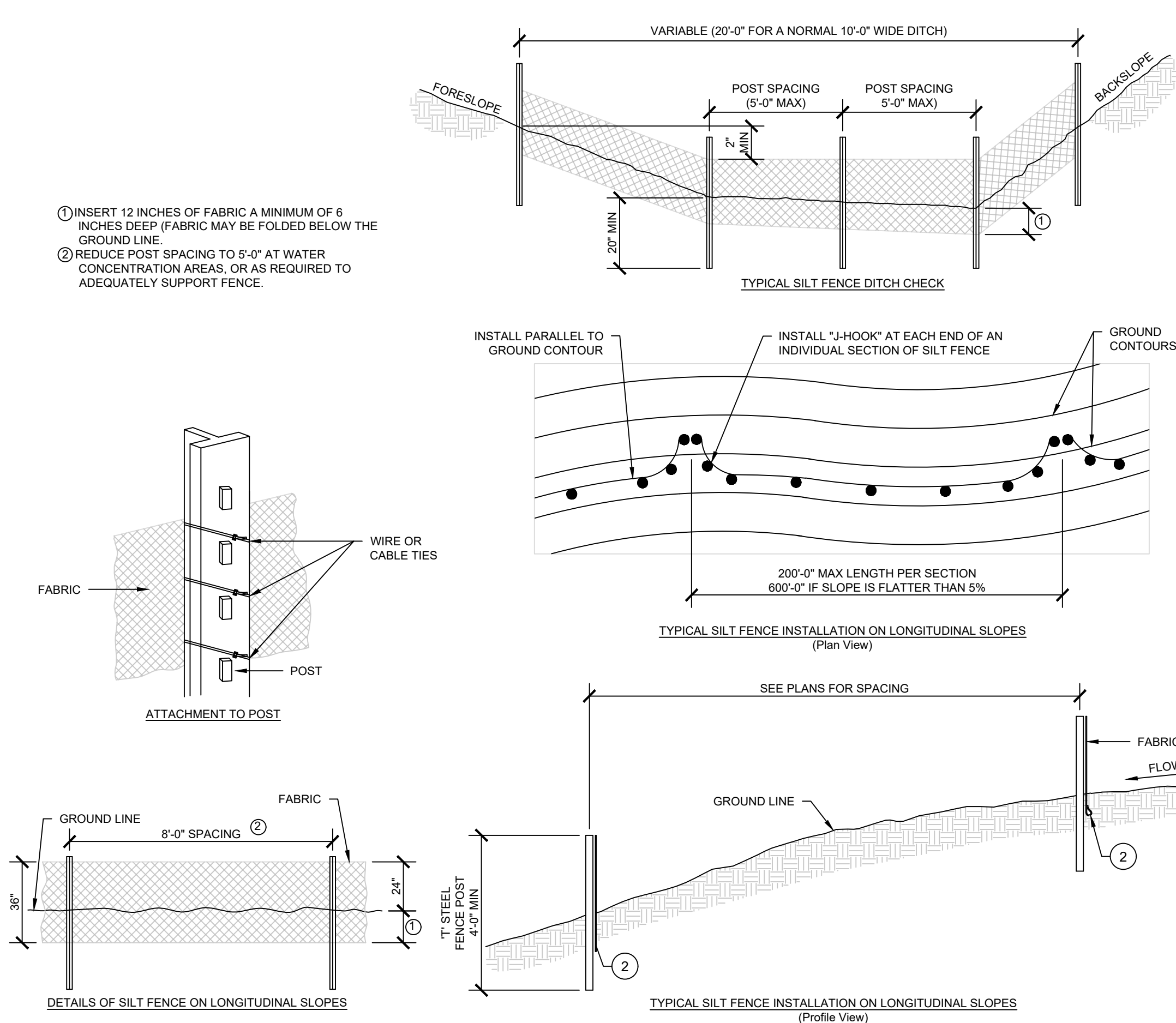
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C600
ACCESSIBLE PARKING SIGN
NO SCALE



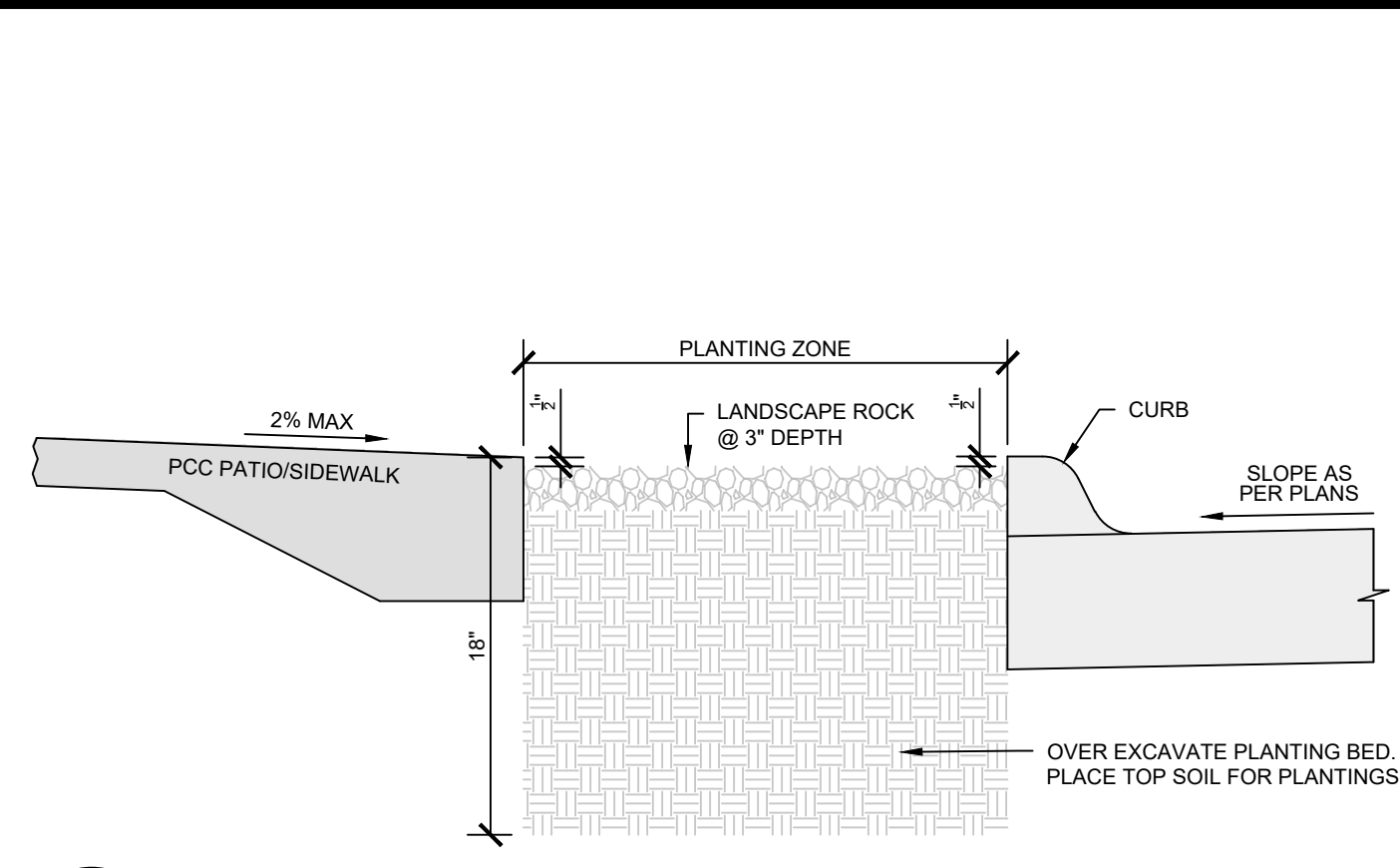
5
C600
NON-ILLUMINATED BOLLARD
NO SCALE



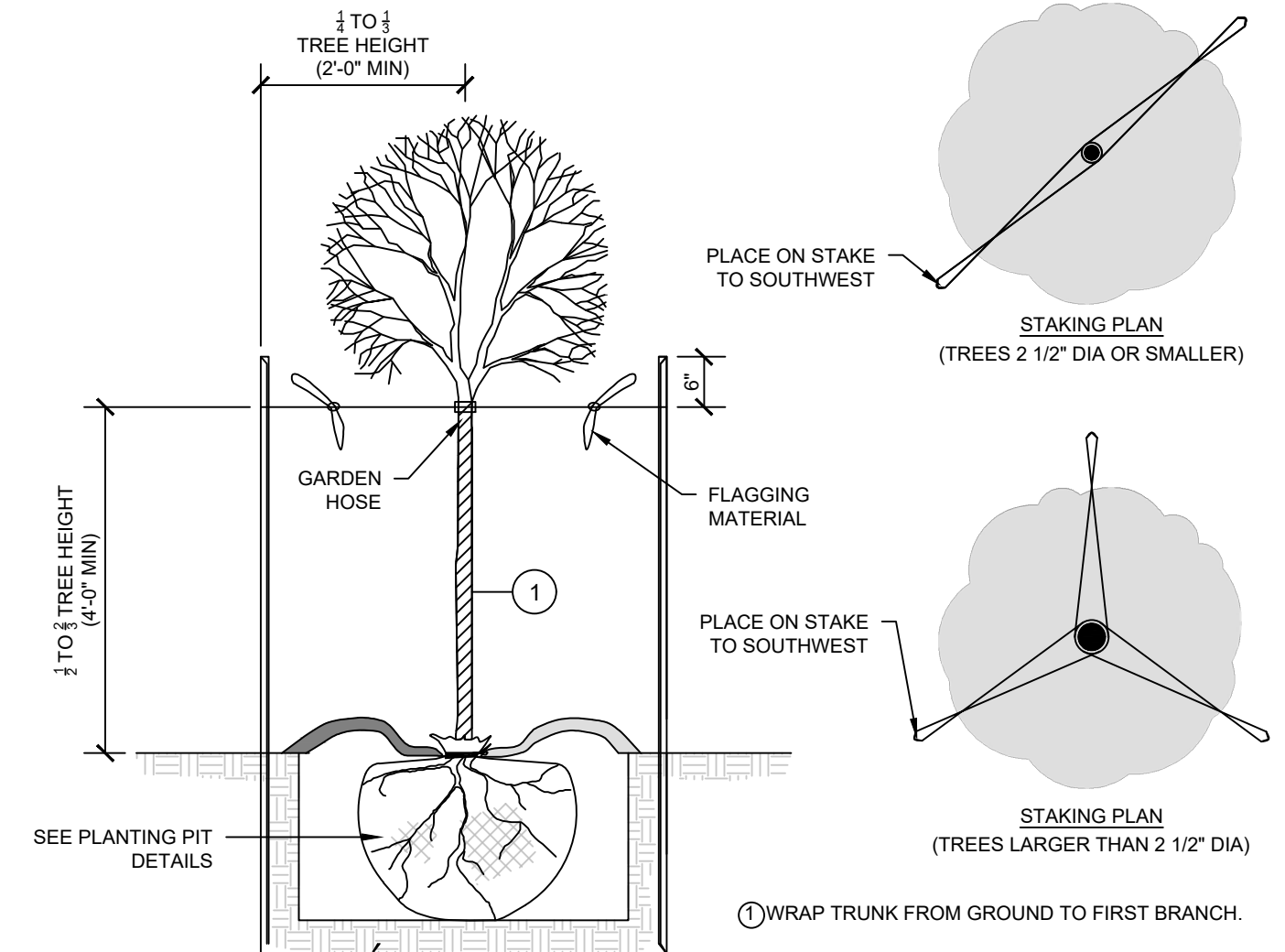
6
C600
PRECAST P.C. CONCRETE CURB
NO SCALE



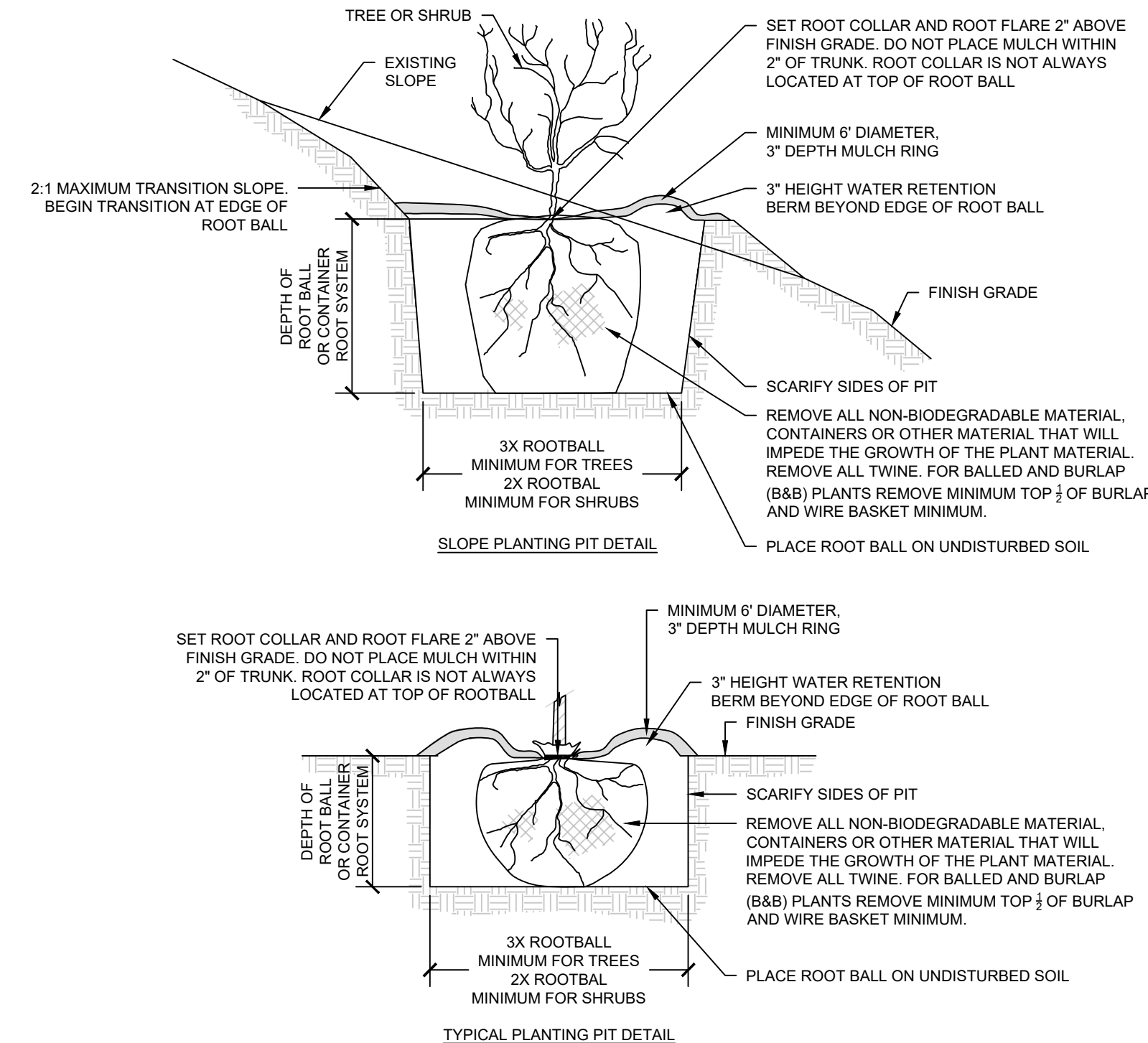
7
C600
SILT FENCE
NO SCALE



8
C600
PLANTING BED
NO SCALE



9
C600
DECIDUOUS TREES STAKING
NO SCALE



10
C600
PLANTING PIT
NO SCALE



PROVIDE A HORIZONTAL "BOARD CONCRETE FORMED FINISH" ON HALF WALL

1

SCALE: 1/8" = 1'-0"

COLOR - PRIMARY SOUTH (FRONT) ELEVATION

SIGNAGE CALCULATIONS:

DESIGN CRITERIA:

- MAX. ALLOWED SIGN AREA NOT TO EXCEED 100 S.F. PER TENANT
- NO MORE THAN 2 FACADES

NOTES:

- FINAL SIGNAGE TO BE REVIEWED & APPROVED THROUGH SIGN PERMITTING PROCESS.
- SIGNAGE SHOWN ON LEASE SPACE #1 IS AS MANDATED BY STARBUCKS.
- ANY DEVIATION WILL NEED TO BE APPROVED BY STARBUCKS CORPORATE.

SIGNAGE CALCULATIONS:

NORTH (REAR)

MATERIAL CLASS	DESCRIPTION	(S.F.)
LEASE SPACE #1	TOTAL WALL	615
	MAX. SIGN AREA	61.5
LEASE SPACE #2	TOTAL WALL	542
	MAX. SIGN AREA	54.2
LEASE SPACE #3	TOTAL WALL	329
	MAX. SIGN AREA	32.9
LEASE SPACE #4	TOTAL WALL	329
	MAX. SIGN AREA	32.9
LEASE SPACE #5	TOTAL WALL	402
	MAX. SIGN AREA	40.2

SIGNAGE CALCULATIONS:

PRIMARY WEST (DRIVE-THRU)

MATERIAL CLASS	DESCRIPTION	(S.F.)
LEASE SPACE #1	TOTAL WALL	1,679
	MAX. SIGN AREA	100

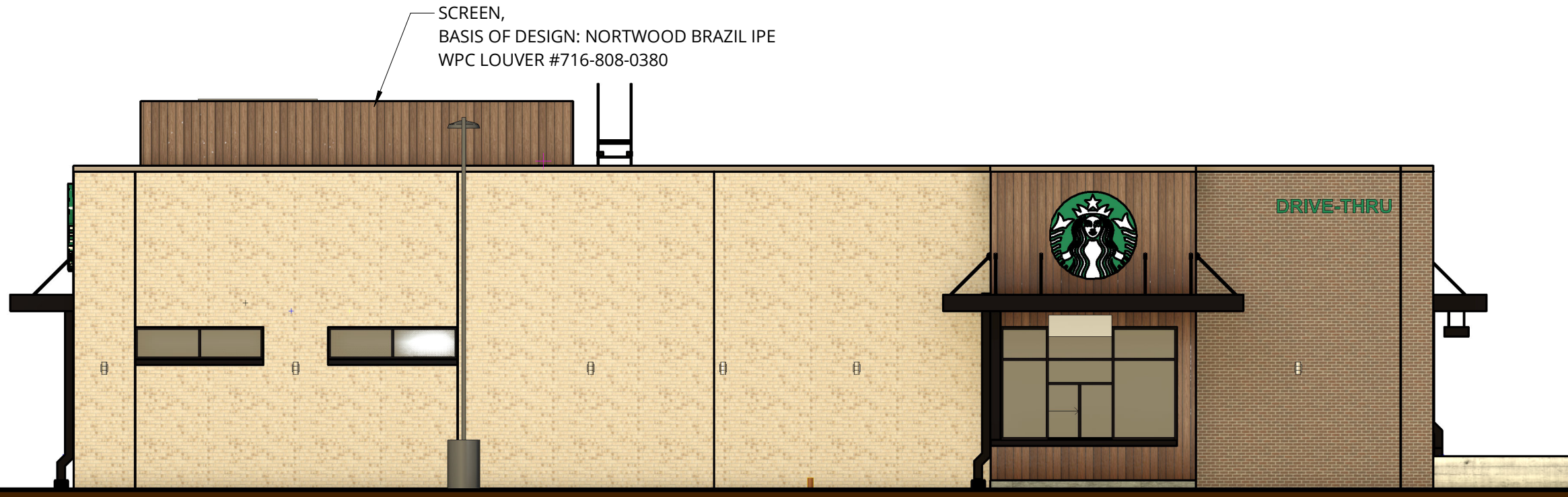
SIGNAGE CALCULATIONS:

PRIMARY SOUTH (FRONT)

MATERIAL CLASS	DESCRIPTION	(S.F.)
LEASE SPACE #1	TOTAL WALL	738
	MAX. SIGN AREA	73.8
LEASE SPACE #2	TOTAL WALL	601
	MAX. SIGN AREA	60.1
LEASE SPACE #3	TOTAL WALL	442
	MAX. SIGN AREA	42.2
LEASE SPACE #4	TOTAL WALL	364
	MAX. SIGN AREA	36.4
LEASE SPACE #5	TOTAL WALL	501
	MAX. SIGN AREA	50.1

PER PALETTE B SPECS:
12" OPEN FACE, REAR GUTTER

COLOR NOTE:
IF MANUFACTURER STANDARD COLORS DO NOT MATCH STOREFRONT FINISH, PROVIDE CUSTOM POWDER COAT FINISH TO MATCH.

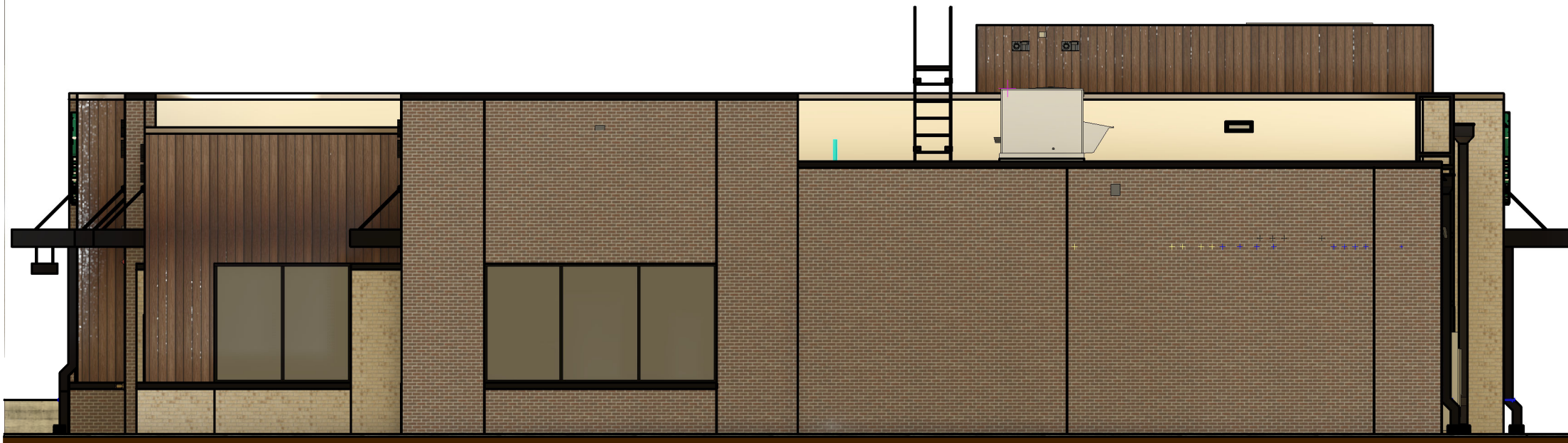


SCREEN,
BASIS OF DESIGN: NORTWOOD BRAZIL IPE
WPC LOUVER #716-808-0380

COLOR - PRIMARY WEST (DRIVE-THRU) ELEVATION

2

SCALE: 1/8" = 1'-0"



COLOR - EAST ELEVATION

3

SCALE: 1/8" = 1'-0"

VENEER CALCULATIONS:

NORTH (REAR)

MATERIAL CLASS	MATERIAL DESCRIPTION	AREA (S.F.)	%	COMBINED %
CLASS-1	BRICK VENEER: C1	572	26	91%
CLASS-1	BRICK VENEER: C2	1,456	65	
CLASS-1	CLEAR GLAZING	0	0	
CLASS-3	WOOD-LOOK SIDING	0	0	
CLASS-OTHER	H.M. DOOR OPENINGS	199	9	
TOTALS:	CLASS-1 OR 2 = (3)	2,227 S.F.	100%	

PRIMARY SOUTH (FRONT)

MATERIAL CLASS	MATERIAL DESCRIPTION	AREA (S.F.)	%	COMBINED %
CLASS-1	BRICK VENEER: C1	492	20	83%
CLASS-1	BRICK VENEER: C2	926	37	
CLASS-1	CLEAR GLAZING	661	26	
CLASS-3	WOOD-LOOK SIDING	438	17	
CLASS-OTHER	H.M. DOOR OPENINGS	0	0	
TOTALS:	CLASS-1 OR 2 = (3)	2,517 S.F.	100%	

PRIMARY WEST (DRIVE-THRU)

MATERIAL CLASS	MATERIAL DESCRIPTION	AREA (S.F.)	%	COMBINED %
CLASS-1	BRICK VENEER: C1	1,104	66	90%
CLASS-1	BRICK VENEER: C2	294	18	
CLASS-1	CLEAR GLAZING	108	6	
CLASS-3	WOOD-LOOK SIDING	176	10	
CLASS-OTHER	H.M. DOOR OPENINGS	0	0	
TOTALS:	CLASS-1 OR 2 = (3)	1,682 S.F.	100%	

EAST

MATERIAL CLASS	MATERIAL DESCRIPTION	AREA (S.F.)	%	COMBINED %
CLASS-1	BRICK VENEER: C1	67	5	89%
CLASS-1	BRICK VENEER: C2	975	73	
CLASS-1	CLEAR GLAZING	152	11	
CLASS-3	WOOD-LOOK SIDING	148	11	
CLASS-OTHER	H.M. DOOR OPENINGS	0	0	
TOTALS:	CLASS-1 OR 2 = (3)	1,342 S.F.	100%	

EXTERIOR MATERIAL SELECTIONS

NOTE:
THESE SELECTIONS ARE PROVIDED TO SHOW
"COLOR INTENT".

FINAL SELECTIONS CAN/ OR WILL BE MADE BY THE OWNER
AND/ OR STARBUCKS AS THIS PROJECT PROGRESSES.

ROOFING:

- PER SPECIFICATIONS
- TPO
- WHITE

ROOFING: COPING @ BRICK C1

- PER SPECIFICATIONS
- COLOR MATCH: BRICK C1
- T.B.D.

ROOFING: COPING @ BRICK C2

- PER SPECIFICATIONS
- COLOR MATCH: STOREFRONT
- ANODIZED DARK BRONZE

ROOFING: GUTTER & DOWNSPOUTS

- PER SPECIFICATIONS
- COLOR MATCH: BRICK C1
- T.B.D.

ROOFING: ARCHITECTURAL METAL CANOPIES

- BASIS OF DESIGN:
- AMERICANA (or SIMILAR)
- COLOR MATCH: S.F.
- ANODIZED DARK BRONZE
- INCLUDES FLASHINGS
- CANOPY DOWNSPOUTS
- PER SPECIFICATIONS
- COLOR MATCH: STOREFRONT
- ANODIZED DARK BRONZE

300: WOOD-LOOK SIDING

- NEW TECH
- JOHATHAN WALKER
- 832-810-3970
- BRAZILIAN IPE
- BELGIAN BOARDS

200: BRICK MASONRY VENEER: C1

- ACME BRICK
- MODULAR SIZED
- 2 1/4"(H)x7 5/8"(L)x3 5/8"(D)
- STADLEBROOK
- DTP707
- MORTAR COLOR: SM100

BRICK MASONRY VENEER, ACCENT COLOR: C2

- ACME BRICK
- MODULAR SIZED
- 3 5/8" x 7 5/8" x 3 5/8"
- MOCHA IRONSPOT

STOREFRONT DOORS & WINDOWS

- KAWNEER
- ANODIZED DARK BRONZE
- FINISH:
- TRIFAB 451T VERSA GLAZE
- ALTERNATE:
- TUBLITE
- T14000 SERIES
- INCLUDE VISIBLE FLASHINGS

METAL WINDOW SILL TRIM/ LOW BRICK CAPS

- PER SPECIFICATIONS
- COLOR MATCH: STOREFRONT
- ANODIZED DARK BRONZE

HOLLOW DOORS

- PER SPECIFICATIONS
- COLOR MATCH: STOREFRONT
- ANODIZED DARK BRONZE
- INCLUDING FLASHINGS

THIS PLAN IS THE PROPERTY OF
DOWNING CONSTRUCTION INC.

ANY USE WITHOUT WRITTEN
PERMISSION IS STRICTLY
PROHIBITED!

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www.downingplanroom.com

Summerview Plaza

302 E. Trail Ridge Ave - T.B.D.

Indianola, Iowa 50125

CONSTRUCTION DOCUMENT SET - PLANS FOR CONSTRUCTION

DELIVER

COMMIT

DEVELOP

DISCOVER/ ANALYZE

PROJECT
DESIGNER-INTERIOR
CGL

ISSUED DATE:
06/04/2024

REVISIONS

REV #	DESCP.	DATE

PLAN NO. = 90-186

DWG. LIST

COLOR EXTERIOR
ELEVATIONS

SHEET NO.

A-202

CITY OF INDIANOLA, IOWA

BOARD OF ADJUSTMENT

IN THE MATTER OF THE APPLICATION OF:

Alex Gross for a variance under the terms of Section 165.02(3)(B) of the Code of Ordinances of Indianola, Iowa, to decrease the minimum required 20% clear glass fenestrations for the west street-facing façade by 14% for a minimum required of 6%, to which if allowed as requested, would not be in conformity with the requirements of Section 165.09.7.B(6)b of the Code of Ordinances of Indianola, Iowa.

FINDINGS OF FACT

The City of Indianola, Iowa Board of Adjustment has reached the following Findings of Fact:

- 1. The property identified as 302 E. Trail Ridge Avenue is owned by SHDC LLC.*
- 2. The property identified as 302 E. Trail Ridge Avenue is in the C-2 Highway Commercial Zoning District.*
- 3. City Zoning Code Section 165.09.7.B(6)b requires at least one-street facing façade to contain a minimum of 20% clear glass fenestrations.*
- 4. The west façade is considered to be the only street-facing façade for the proposed commercial development at 302 E. Trail Ridge Avenue.*
- 5. City Zoning Code Section 165.09.7.B(6)b additionally requires the façade containing main customer entrances to contain a minimum of 20% clear glass fenestrations.*
- 6. The south façade is considered to be a primary façade due to it containing main customer entrance points for the commercial development.*
- 7. The south façade exceeds minimum glass fenestration required for the façade, and is visible from East Trail Ridge Avenue.*
- 8. The commercial development would be accessed from the south through a private access drive, off of Trail Ridge Avenue.*
- 9. City Zoning Code Section 165.09.4.B does not allow for those facades oriented towards a frontage or internal drive to be considered as a street-facing façade.*
- 10. A variance is requested in order to vary from zoning code requirements which requires a minimum of 20% clear glass fenestrations along the west street-facing façade, by 14% for a required minimum of 6% clear glass fenestrations.*
- 11. The variance is created by the regulations and does not arise from an action (desire) of the applicant.*
- 12. Lot and property characteristics are considered unique or peculiar, including access to the site. These characteristics impact the applicability of the clear glass fenestrations required of the site.*
- 13. The building exceeds building material requirements for other visible primary facades located on the site.*
- 14. Granting the variance would not provide a right and privilege that other properties do not have under the City of Indianola's Zoning Code Regulations.*
- 15. An unnecessary hardship does exist if the request is denied.*

16. Deviation from the Zoning Code Regulations would be in harmony with the intent and purpose of the Zoning Code.

DECISION

According to Section 165.02(3)(B)(3)(b) of the Code of Ordinances of Indianola, Iowa to grant a variance from the terms of the Zoning Ordinance when a property owner can show that the owner's property was acquired in good faith and where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property, or where by reason of exceptional topographical conditions or other extraordinary or exceptional situation, the strict application of the terms of the Zoning Ordinance actually prohibits the use of such property in a manner reasonably similar to that of other property in the same district, and where the Board is satisfied under the evidence before it that a literal enforcement of the provisions of the Zoning Ordinance would result in unnecessary hardship; provided, however, all variations granted under this clause shall be in harmony with the general purpose and intent of the Zoning Ordinance. Furthermore, the following findings shall be made in order to grant a variance:

- i. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district;
- ii. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance;
- iii. That the special conditions and circumstances do not result from the actions of the applicant;
- iv. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district. No nonconforming use of neighboring lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

In granting any variance, the Board may prescribe appropriate conditions and safeguards in conformity with this Ordinance. Violation of any such conditions and safeguards shall be deemed a violation of this Ordinance. Under no circumstances shall the Board grant a variance to allow a use not permissible under the terms of the Zoning Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of the Zoning Ordinance in said district. If relevant and applicable, the Board may prescribe a time limit within which the action for which the variance is required shall begin or be completed, or both. Failure to begin or complete, or both, such action within the time limit shall void the variance. If no time limit is set by the Board and if relevant to the variance, then the granted variances shall become void eighteen months after the date of the Board approval unless a building permit has been issued for the construction provided for by the variance. In the event the building permit for the construction provided for by the variance expires or is canceled, then the variance approval shall become void.

Analysis of Code Criteria

Alex Gross, of Downing Construction, on behalf of SHDC LLC, is requesting a variance for a recently approved site plan at 302 E. Trail Ridge Avenue. The applicant is requesting to vary from the minimum clear glass fenestration requirement of 20% by 14% to a minimum clear glass fenestration requirement of 6% along the west primary façade.

The lot and property characteristics are considered unique or peculiar to the land, including the sites access to the commercial development. These characteristics impact the applicability of the clear glass fenestrations required of the site. In specific, the site has street frontage along North Jefferson Highway, however, access from North Jefferson Way for this site would not be permitted due to access spacing requirements. The site instead takes access off of a private access drive from East Trail Ridge Avenue. This is considered an internal or private drive and does not qualify the south building elevation from being considered a street-facing façade.

The applicant is requesting a decrease in minimum glass fenestration requirements for the west building elevation however they are also proposing building materials that exceed building material requirements for the west façade and the north façade, which are both visible from North Jefferson Way.

ORDER

MOTION:

Move to approve the request from Alex Gross for a variance under the terms of Section 165.02(3)(B) of the Code of Ordinances of Indianola, Iowa, to decrease the minimum required 20% clear glass fenestrations for the west street-facing façade by 14% for a minimum required of 6%, to which if allowed as requested, would not be in conformity with the requirements of Section 165.09.7.B(6)b of the Code of Ordinances of Indianola, Iowa.

VOTE:(_____ - _____) (_____ - _____)

WHEREFORE, it is ordered that the application from Alex Gross for a variance under the terms of Section 165.02(3)(B) of the Code of Ordinances of Indianola, Iowa, to decrease the minimum required 20% clear glass fenestrations for the west street-facing façade by 14% for a minimum required of 6%, to which if allowed as requested, would not be in conformity with the requirements of Section 165.09.7.B(6)b of the Code of Ordinances of Indianola, Iowa is hereby **approved**, as evidence by the Board's finding that all code criteria **have** been met as required by the Code of Ordinances of Indianola, Iowa; and

WHEREFORE, any taxpayer, or any officer, department, board or bureau of the City, or any person or persons jointly or severally aggrieved by any decision of the Board may present to a court of record a petition, pursuant to Iowa Code 17A.19, duly verified, setting forth that such decision is illegal, in whole or in part, specifying the grounds of the illegality. Such petition shall be presented to the court within thirty (30) days after the filing of the decision in the office of the Board.

Ordered this 3rd day of July, 2024

Lee Bash
Chairperson
Board of Adjustment
City of Indianola, Iowa

FILING DATE: