



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

April 6, 2022

6:00 PM

City Council Chambers

Agenda

- 1. Call to Order**
- 2. Roll Call**
- 3. Agenda Approval**
- 4. Minutes Approval**
 - A. Approval of February Minutes
- 5. New Business**
 - A. 5.A. Consider request from Art Sathoff, on behalf of the Indianola Community School District for a special use permit, under the terms of Section 165.02 (3)(B)(3)(c) of the Code of Ordinances of Indianola, Iowa, that would permit the use of a public or private elementary, middle, or high school located at 403 South 15th Street.
 - B. 5.B. Consider request from Ethan Christensen for a variance under the terms of Section 165.02 (3)(B) of the Code of Ordinances of Indianola, Iowa, to permit construction of a fence at a height of six (6) feet in the side yard at 1712 East Boston Place. Such fence would not be in conformity to the height requirements found in Section 165.04(4)(A)(2) of the Code of Ordinances of Indianola, Iowa.
- 6. Comments**
- 7. Adjourn**



CITY OF INDIANOLA BOARD OF ADJUSTMENT MEETING

February 2, 2022

6:00 PM

City Council Chambers

Minutes

1. Call to Order

Called to order at 6:00 PM

Charlie Dissell opened the meeting and announced that Chairperson Bill Mettee was not able to join the meeting tonight, so a chair needs to be named.

Motion made by Lee Bash to act on agenda item 5. B and nominate Renee Soldwisch as vice-chair.

Second made by Amy Mitchell (motion carried unanimously)

2. Roll Call

Present: Lee Bash, Renee Soldwisch, Amy Mitchell, Jane Whalen

Staff Present: Charlie Dissell

3. Agenda Approval

Motion made by Mitchell to approve the agenda. Second by Bash. (motion carried unanimously)

4. Minutes Approval

Motion made by Bash to approve the minutes. Second by Mitchell. (motion carried unanimously)

A. January 05, 2022 Minutes

5. New Business

Item 5. A

Charlie Dissell explained the variance request, noting that the applicant explored two different variances, but staff supported the side setback variance over the drive width.

Dissell further noted that one public comment was received from Sherie Jones, who represents the property directly north of this property. The concern of that person was stormwater issues. Dissell explained that the stormwater issues would be addressed with the site plan review process.

Jane Whalen asked how far the parking lot of Walgreens was setback from this property line, and how the proposed variance may affect future redevelopment of that property. Dissell noted that while the side setback would still be met, the 20' separation may require the building to be setback more than 10' or request a variance.

Jane Whalen asked for clarification on the concerns from the neighbor and how it affects this request. Dissell provided some background on this site and noted that the engineer would be responsible for providing the data on the stormwater mitigation of this site.

Matthew Hovda, representing the applicant, noted that this site drains to the north, and the site would include stormwater infrastructure to catch rainfall on impervious surfaces and direct it to the north ditch.

Mitchell asked what, if any, action the Board needed to take regarding concerns of the neighbor. Dissell noted that no action was needed on the variance request as the concern would be addressed on the site plan.

Motion by Bash to approve the request as submitted. Second by Mitchell. (motion carried unanimously)

- A. Consider request from Lee Adams for a variance under the terms of Section 165.02 (3)(B) of the Code of Ordinances of Indianola, Iowa, to permit the construction of a new commercial building with a 6.23' side setback, which would not be in conformity to the requirements found in Section 165.05(3) of the Code of Ordinances of Indianola, Iowa.

- B. Election of Vice Chairperson

Motion made by Lee Bash to act on agenda item 5. B and nominate Renee Soldwisch as vice-chair. Second by Amy Mitchell (motion carried unanimously)

6. Comments

Dissell welcomed Jane Whalen to the Board.

7. Adjourn

Motion by Mitchell to adjourn meeting. Second by Bash. The meeting adjourned at 6:19 PM



MEMORANDUM

To: Board of Adjustment

From:

Date: April 6, 2022

Subject: 5.A. Consider request from Art Sathoff, on behalf of the Indianola Community School District for a special use permit, under the terms of Section 165.02 (3)(B)(3)(c) of the Code of Ordinances of Indianola, Iowa, that would permit the use of a public or private elementary, middle, or high school located at 403 South 15th Street.

Recommendation:

Attachments:

1. 1- Staff Report_ICSD
2. 2- Application Form
3. 3- Application Letter
4. 4- 2022-03-08_Indianola-AuxBldg_SP_1210688R
5. 5- AuxBldgDrivewayAppeal011922
6. 6- 2022.02.24_ICSD_AuxB architectural response
7. 7- ICSD Auxiliary Building-Elevations Revised



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

Staff Report

Board of Adjustment

Date of Meeting: April 6, 2022

Agenda Item: 5.A. Consider request from Art Sathoff, on behalf of the Indianola Community School District for a special use permit, under the terms of Section 165.02 (3)(B)(3)(c) of the Code of Ordinances of Indianola, Iowa, that would permit the use of a public or private elementary, middle, or high school located at 403 South 15th Street.

Application Type: Special Use permit

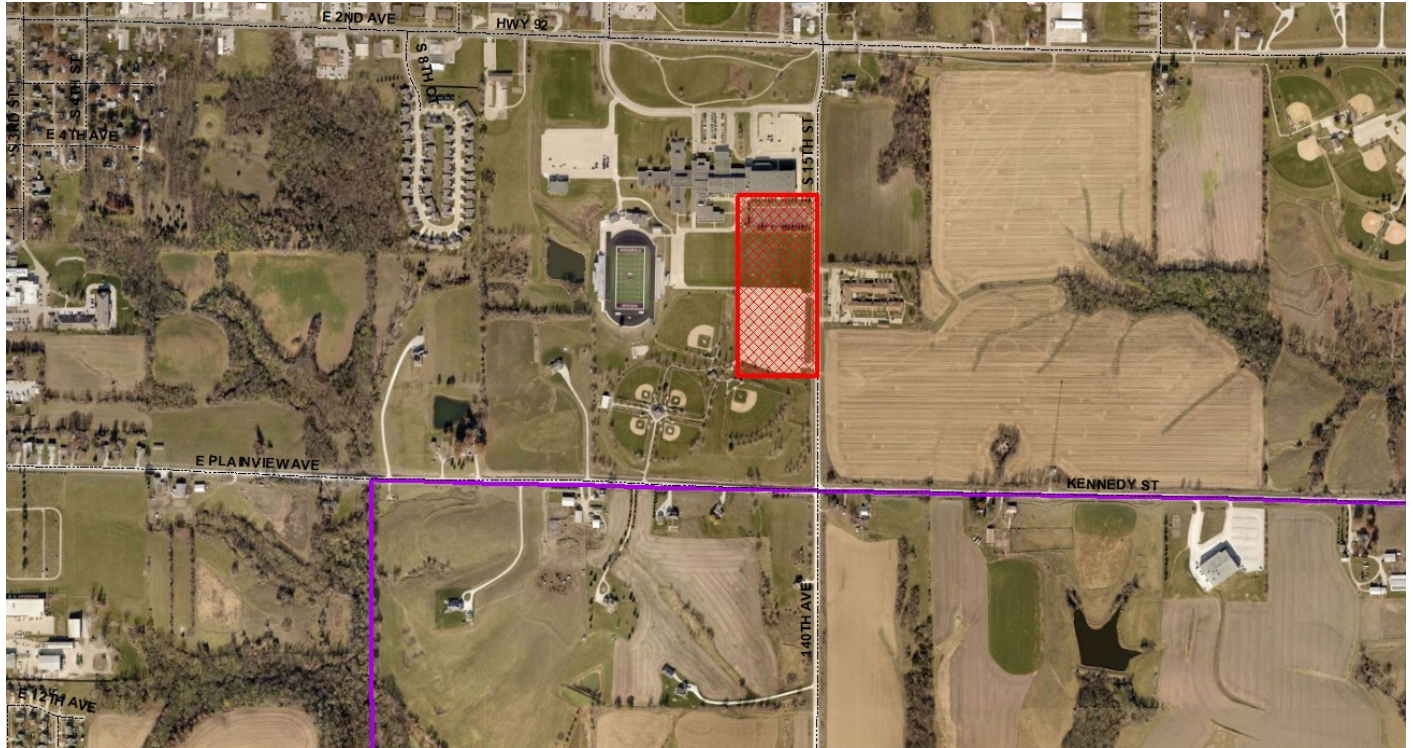
Applicant: Art Sathoff, on behalf of the Indianola Community School District

Property Address: 403 South 15TH Street

Zoning: R-2 Single-Family Residential Attached Zoning District

Application Summary: A special use permit is requested to allow for a new building and site improvements, including the relocation of bus parking, south of the Indianola Middle School campus, located at 403 South 15th Street, to be used by the Indianola Community School District.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

165.02 POWERS AND DUTIES OF THE BOARD OF ADJUSTMENT. The Board of Adjustment has the following powers and duties:

C. ***Special Use Permits*** - To review and consider approval of a Special Use Permit for a Special Use as identified Permitted and Special Uses Table contained in CHAPTER 165.05 of the Zoning Regulations. The following shall be required:

- i. Special Use Permit Application - A site plan (including number of copies), application form, and any additional information and details as specified and required by the Zoning Administrator as necessary to determine compliance with all applicable codes and requirements shall be submitted to the Zoning Administrator along with the Special Use Permit Application fee as established by resolution of the City Council.
- ii. Special Use Permit Procedure - The Special Use Permit Application shall be reviewed by the Zoning Administrator, or their designee, for completeness. Incomplete applications shall be returned to the applicant with a list of the missing items or details. Applications deemed completed shall be distributed to other city departments and other agencies as necessary for review and comment as to its compliance with all zoning regulations and other pertinent city codes, regulations, and policies.
- iii. Special Use Permit Review by Board of Adjustment - Subsequent to review by the Zoning Administrator and other city departments and agencies, the Zoning Administrator, or their designee, shall submit to all members of the Board a copy of the Special Use Permit Application along with a written recommendation as to the application's conformity with the rules and regulations of the city.
- iv. The Board shall subsequently hold a duly noticed public hearing as prescribed by their rules of procedures, and the noticing requirements contained herein, and review the Application for conformity with the zoning regulations and standards. The Board may approve, approve with conditions, or deny the Special Use Permit Application.

165.05(1)(4) PERMITTED AND SPECIAL USES. The following table identifies the allowable uses within each zoning district. A use identified with a “P” within a given zoning district column is a Permitted use. A use identified with a “S” within a given zoning district column requires approval of a Special Use Permit from the Board of Adjustment in accordance with city code. A blank space indicated that use is not permitted within the given zoning district. Uses not listed shall be considered not permitted uses. The definitions for each listed use shall coincide first with the definition contained within Chapter 165.03 of the Zoning Code, second as may be defined elsewhere in the City Code, and finally the commonly understood definition as determined by the Zoning Administrator. A proposed use may follow under more than one category; however, for the purposes of this section, the proposed use shall follow the closest, most similar or specific use as listed in the Use Matrix. It shall be the sole discretion of the Zoning Administrator to make the determine as to where a proposed use falls within the Uses Table, whether it fits within or is similar to a use listed within the Uses Table or is otherwise not listed and therefore not permitted. The determination by the Zoning Administrator is appealable to the Board of Adjustment per the procedures as provided in city code.

PERMITTED AND SPECIAL USE TABLE										
USE	ZONING DISTRICT									
	A-1	R-1	R-2	R-3	R-4	C-1	C-2	C-3	M-1	M-2
PUBLIC AND CIVIC USES										
Public or private elementary, middle, or high school	S	S	S	S	S	S	S	S		

ANALYSIS

Art Sathoff, on behalf of the Indianola Community School District, is requesting a special use permit to allow for a new building and site improvements, including the relocation of bus parking, south of the Indianola Middle School campus. The property at 403 South 15th Street is located within the R-2 Single-Family Residential Attached Zoning District. Public or private elementary, middle, or high school are permitted through a special use permit request in the R-2 Single-Family Residential Attached Zoning District.

The area where the proposed improvements are located would take access off South 15th Street. According to the 2016 Iowa Department of Transportation (Iowa DOT) Annual Average Daily Traffic (AADT) Maps, this portion of South 15th Street has an AADT count of 1,050. While those numbers are from 2016, which is the latest traffic data the City has from the Iowa DOT, it is not anticipated the current numbers would be much different as there has not been any development on this corridor since that time. There is proposed to be an additional driveway entrance along South 15th Street. The City’s comprehensive plan classifies South 15th Street as an arterial (minor) street, where driveways must be either aligned with the existing driveways or have a setback of 150 feet from existing driveways. The proposed driveway is separated the required 150 feet from any other driveway entrances. Additionally, there are already five (5) different driveway access points from the school property on 15th street, which exceeds the maximum number of permissible driveways on South 15th Street, according to the City’s driveway Code. The applicant has requested design approval that would vary this requirement and allow an additional driveway entrance onto South 15th Street. This request is attached. This variation is allowed, provided that the roadway drainage can still be designed without adversely affecting private properties and driveway design with variations will not adversely affect public safety.

The subject improvements propose a parking lot surrounding the new building which provides 67 parking spots. Chapter 165.07 Off-Street Parking Table stipulates that there must be one (1) off-street space per employee at max shifts. At max shift, there would be 40 bus drivers, 10 maintenance/facility personnel, 10 administrative staffers and 5 visitors, so 65 spaces are required. The proposed parking provides for three (3) ADA van accessible parking spaces and required bicycle parking as well as a new curb, markings/signage, and required landscaping islands. There are also 40 proposed bus parking spaces. The bus parking spaces are proposed to be enclosed by an 8’ galvanized chain link fence with anti-climbing devices. According to Section 165.04(4)(J), fences associated with governmental (federal, state, county, city) facilities and properties are excepted from fencing requirements.

A stormwater management plan was submitted as part of this application. The stormwater is planned to be captured via inlets within the new parking lot and will connect to the School's existing stormwater network. This was reviewed by Fox Engineering who reviewed and approved the plan.

This site requires 14 shade trees, 28 ornamental trees and 28 shrubs. In lieu of providing ornamental trees, one (1) shade tree can be provided for each ornamental tree required. The applicant has proposed 14 additional shade trees, bringing the total number of required shade trees to 28. The site plan shows the addition of 37 new shade trees and 132 shrubs. Parking lot screening was also required along South 15th Street for the entire length of the proposed improvements. This requires a total of 13 deciduous trees and 26 deciduous ornamental trees. In lieu of providing ornamental trees, five (5) shrubs can be provided for each ornamental tree required. The site plan shows the addition of 16 new shade trees, 16 new ornamental trees and 97 shrubs.

Regarding the building design standards of the existing building, office and civic buildings require that each primary façade shall contain no less than three (3) different class 1 or class 2 façade materials, together composing at least 75% of the primary façade area. Class 3 and class 4 façade materials in aggregate shall not exceed 25% of any primary façade area. Class 4 façade materials shall not exceed 5% of any primary façade area. The proposed building has two (2) primary facades on the east and the north sides. The east elevation is comprised of three (3) class 1 materials, including architectural quality precast concrete wall panels, insulated metal doors, a glass lite in one door and an architectural grade insulated metal panel over the 2nd door. The north elevation is comprised of three (3) class 1 materials, which include architectural quality composite metal wall panel system with concealed fasteners, architectural quality precast concrete wall panels, and clear glass windows. No primary façade shall exceed 80 feet in length without interruption by a projection or recess in the wall plane of at least two (2) feet in depth, or columns, piers, pilasters or other equivalent structural and/or decorative elements. On the two (2) primary facades, the east elevation has a decorative element at the door locations above the transoms. The north elevation has two (2) current recesses planned in the building and a decorative element is incorporated with signage above the primary entry and secondary entry. Neither elevation exceeds 80' between a recess or decorative feature. Lastly, all structures shall utilize Class 1 or 2 roofing materials. The roofing material are proposed to be Class 2-membrane-non-visible materials.

FINDINGS OF FACT

165.02(V) FINDINGS FOR APPROVAL. In order to approve a Special Use Permit, the Board shall make the following findings:

1. The proposed use, site improvements, and site plan comply with the minimum requirements of the zoning district in which it is proposed to be located

The applicant has provided a site plan with their application which shows that the proposed use and proposed site improvements will comply with the minimum requirements of the R-2 Zoning District. This site plan has been reviewed by all members of the City's development review team, which includes Community Development, Fire, Parks and Recreation, Public Works, Water Pollution Control, IMU Electric, IMU Fiber and IMU Water.

2. The property is of adequate size to accommodate the proposed use and site improvements including setbacks, open space, stormwater management, and off-street parking

The total area of this portion of the school's campus is 111,100 square feet. The site plan has been reviewed as to proposed setbacks, open space, and off-street parking. Additionally, Fox Engineering, the City's backup Engineer, has reviewed the proposed Stormwater Management Plan submitted by the applicant. After these reviews, staff has no concerns regarding the size of the property and its proposed use.

3. The proposed use and site improvements will not unduly impact the health, safety, and general welfare of persons residing or working in adjoining property or surrounding areas

Based on the proposed use and improvements, the health, safety, and welfare of citizens would not be impacted. There is landscaping provided along South 15th Street that will help buffer this proposed use from the surrounding properties to the east.

4. The proposed use and site improvements shall not unduly increase traffic congestion

Traffic congestion may increase some with the proposed improvements, but not unduly. South 15th Street is a paved, 31' road that is classified as a minor arterial on the City's Comprehensive Plan. Minor arterials are moderate- to high-capacity streets that primarily provide for the movement of through traffic and provide access to lower-capacity collector streets. Traffic will generally flow freely on these streets and lower classification roads will be STOP controlled when intersecting. Minor arterial intersections with major arterials will generally be controlled with a traffic signal or roundabout. These streets will have more access than major arterials, may have two or four lanes, may provide turn lanes at intersections, and will have speed limits ranging from 25 to 45 mph.

5. The proposed use and site improvements will not unduly burden public utilities or increase risk to flooding

The proposed use will not unduly burden the existing public utilities available along South 15th Street. As previously mentioned, a storm-water management plan has been submitted and reviewed and concluded there will not be an increased risk to flooding from the proposed improvements.

6. The proposed use and site improvements are compatible with the surrounding neighborhood and shall not diminish or impair established property values in adjoining or surrounding property

As this is an existing campus site for the school district with a proposed improvement, its compatibility with the surrounding neighborhood will not diminish established property values in the surrounding area.

7. The issuance of the Special Use Permit will not endanger, jeopardize, or harm the health, safety or welfare of the properties and the community

As previously mentioned, the proposed use and site improvements will not endanger or harm the health safety and welfare of properties or the community.

ALTERNATIVES

The City of Indianola Board of Adjustment may consider the following alternatives:

- 1)** The City of Indianola Board of Adjustment approves the special use permit request, as submitted.
- 2)** The City of Indianola Board of Adjustment approves the special use permit request, with conditions.
- 3)** The City of Indianola Board of Adjustment denies the special use permit request.
- 4)** The City of Indianola Board of Adjustment remands the special use permit request back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Board of Adjustment agenda.

RECOMMENDATION

Staff recommends that the City of Indianola Board of Adjustment move alternative 1, approving the special use permit request as submitted.

SITE DEVELOPMENT APPLICATION

Community Development

110 North 1st Street, Indianola, Iowa 50125-0299
(515) 961-9430 • comdev@indianolaiowa.gov



PROPERTY OWNER

(Last Name) Indianola Community School District, Art Sathoff (Superintendent)
(First Name) _____
(Address) 1301 East Second Avenue
(City) Indianola (State) IA (Zip) 50125
(Phone) 515-961-9500 (Email) art.sathoff@indianola.k12.ia.us

APPLICANT (if not Property Owner)

(Last Name) _____
(First Name) _____
(Address) _____
(City) _____ (State) _____ (Zip) _____

☐ CONSTRUCTION DOCUMENTS

Submittal Requirements:

All submittal requirements must be completed. Incomplete applications will not be considered

- ☐ Completed Application
- ☐ Filing Fee: \$100, plus OEC
- ☐ Subdivision: _____
- ☐ Proposed construction documents (hard copy)
- ☐ Proposed construction documents (electronic copy)
- ☐ Stormwater Management Plan
- ☐ Other Information as required by Director

☒ SITE PLAN

Submittal Requirements:

All submittal requirements must be completed. Incomplete applications will not be considered

- ☒ Completed Application
- ☒ Property Address: New Building south of 403 South 15th Street
- ☒ Filing Fee: \$225, plus OEC
- ☒ Current Zoning: R-2
- ☒ All items as required by Chapter 165.06 of the Code of Ordinances of Indianola, Iowa
- ☐ Proposed site plan hard copy
- ☒ Proposed site plan (electronic copy)
- ☒ Stormwater Management Plan
- ☐ Other Information as required by Director

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with the knowledge, consent and authority of the owner(s) of the property. Pursuant to said authority, I hereby permit City officials to enter upon the property for the purpose of inspection related to this application.

Signature _____

Name (printed) Art Sathoff, Superintendent

Date 12/20/21

FOR OFFICE USE ONLY: Code to 45683 (Const Docs)
45680 (Site Plan)

Date Received: _____

Receipt No: _____

Receipt Amount: _____

December 20, 2021

Charlie Bissell, AICP
Director of Community & Economic Development
City of Indianola
110 North 1st Street
Indianola, IA 50125

RE: AUXILIARY FACILITY- INDIANOLA COMMUNITY SCHOOLS
SITE PLAN SUBMITTAL FOR REVIEW

Dear Charlie:

On behalf of Indianola Community School District, please find the attached Site Plan and supporting materials associated with a new building and site improvements located east of South 15th Street, south of the Indianola Middle School. Improvements include an approximate 18,000 sf auxiliary building, accommodating School District functions such as bus storage and maintenance, deliveries and distribution, and facilities and maintenance operations. The project site improvements include demolition, earthwork, utility service connections, construction of pavements and sidewalks, and landscaping and restoration.

Please find the attached submittal items:

- Signed Site Plan Application form
- Electronic (.pdf) copy of colored building elevations
- Electronic (.pdf) copy of the Site Plan Drawings
- Electronic (.pdf) copy of the drainage calculations

A hard copy of each of these items, along with a check for \$225, has been mailed to your office as well. Please review the above items and feel free to contact us with any questions or requests for additional information.

Sincerely,

SNYDER & ASSOCIATES, INC.



Tim West, PLA
Project Manager

cc: Bernie Brueck, Indianola School District
Kerry Weig, Invision Architects

SITE PLAN
FOR
INDIANOLA AUXILIARY BUILDING
403 S. 15TH STREET
INDIANOLA, IOWA

OWNER / DEVELOPER
INDIANOLA COMMUNITY SCHOOLS
1301 EAST SECOND AVENUE
INDIANOLA, IA 50125
CONTACT: BERNIE BRUECK
515-961-9500

ARCHITECT
INVISION
303 WATSON POWELL JUNIOR PARKWAY
DES MOINES, IA 50309
CONTACT: KERRY WEIG
515-633-2941

CIVIL ENGINEER
SNYDER AND ASSOCIATES, INC.
2727 SW SNYDER BLVD
JANNEY, IA 50023
CONTACT: TIM WEST
515-964-2020



VICINITY MAP

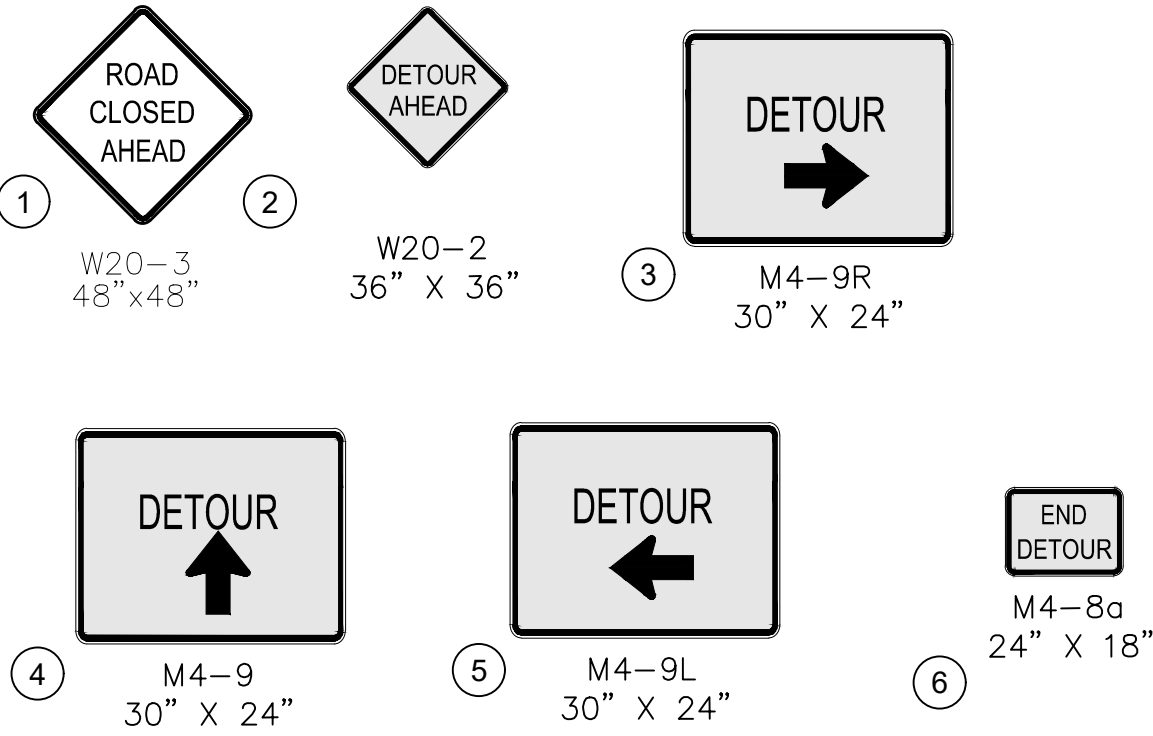
Index of Sheets	
Sheet Number	Sheet Title
C0.00	TITLE SHEET
C0.01	PROJECT INFORMATION
C0.02	TRAFFIC CONTROL
C1.00	DEMOLITION PLAN
C2.00	OVERALL SITE LAYOUT PLAN
C2.01	DIMENSION PLAN
C2.02	BUS PARKING PLAN
C3.00	UTILITY PLAN
C3.01	SITE DETAILS
C4.00	GRADING, EROSION CONTROL, AND POLLUTION PREVENTION PLAN
C5.00	PLANTING PLAN
C5.01	PLANTING PLAN



TRAFFIC CONTROL NOTES

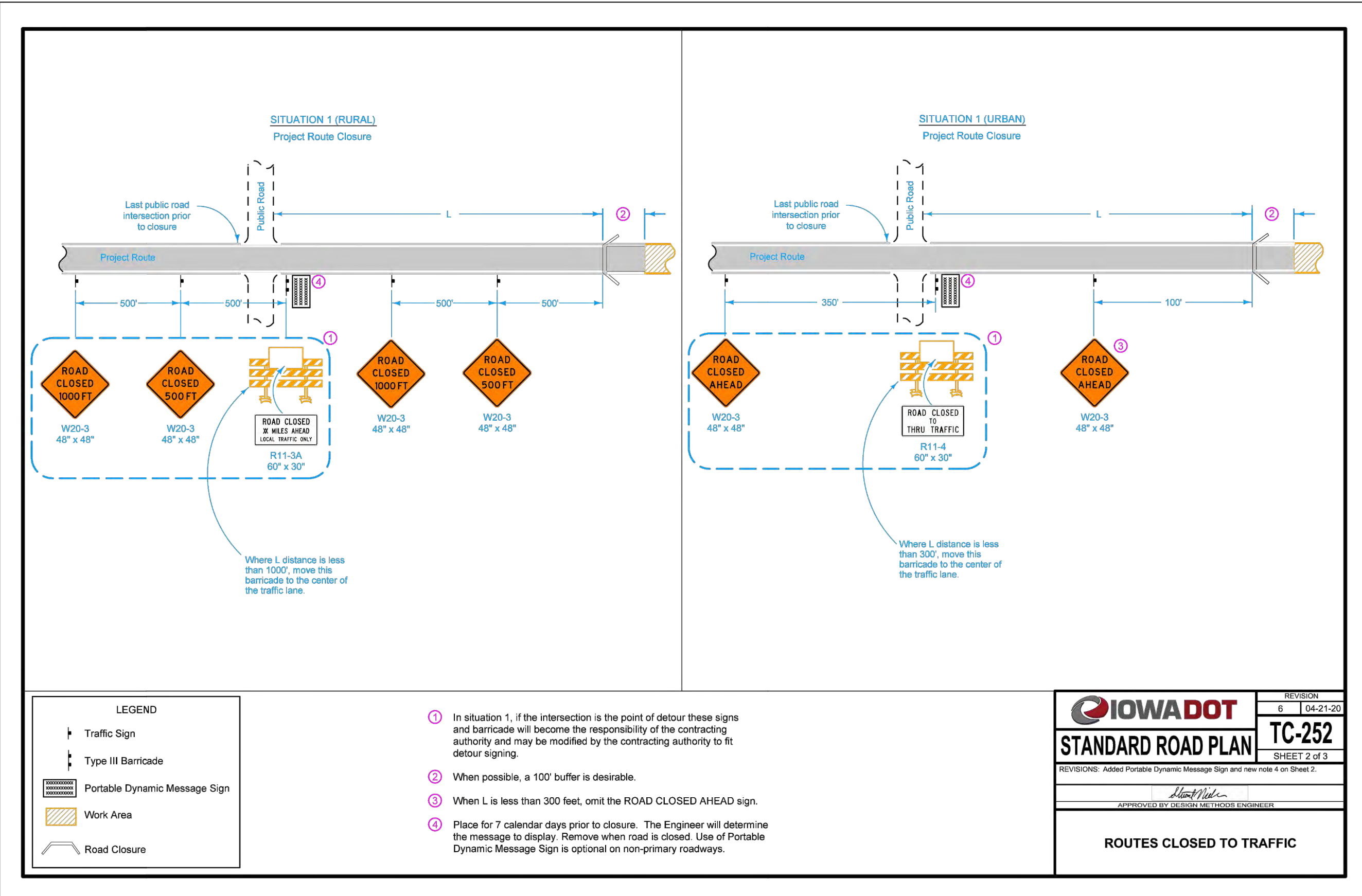
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), AS ADOPTED BY THE IOWA DEPARTMENT OF TRANSPORTATION PER 761 IOWA ADMINISTRATIVE CODE, CHAPTER 130.
- FURNISH AND INSTALL ALL TRAFFIC CONTROL DEVICES AND MAINTAIN IN THE CORRECT POSITION. PROMPTLY CLEAN AND REPLACE DAMAGED TRAFFIC CONTROL DEVICES. PATROL THE WORK AREAS AS FREQUENTLY AS NEEDED TO ENSURE ALL TRAFFIC CONTROL DEVICES ARE PROPERLY SET.
- CONTRACTOR WILL REMOVE AND REPLACE THE EXISTING PERMANENT TRAFFIC CONTROL SIGNS LOCATED WITHIN THE LIMITS OF THE PROJECT IN CONFLICT WITH TEMPORARY TRAFFIC CONTROL. CONTRACTOR WILL PROVIDE TEMPORARY SIGNAGE FOR ANY REGULATORY SIGNS REMOVED.
- ALL TRAFFIC CONTROL SIGNS SHALL BE PLACED A MINIMUM OF FOUR (4) FEET CLEAR FROM THE FACE OF CURB OR A MINIMUM OF SIX (6) FEET CLEAR FROM THE TRAVELED WAY WHEN NO CURB IS PRESENT.
- ALL SIGNS SHALL BE POST MOUNTED EXCEPT AS SHOWN ON TYPE III BARRICADES. ALL SIGN FACES SHALL BE RETROREFLECTIVE MEETING THE REQUIREMENTS OF ASTM-D4956 TYPE III (HIGH INTENSITY) OR GREATER REFLECTIVE SHEETING UNLESS OTHERWISE NOTED.
- THE PROPOSED SIGNING MAY BE MODIFIED TO MEET FIELD CONDITIONS, PREVENT OBSTRUCTIONS AND ACCOMMODATE CONSTRUCTION SCHEDULING UPON APPROVAL OF THE ENGINEER.
- ALL TYPE III BARRICADES SHALL HAVE TYPE "A" FLASHING LIGHTS. THE BACK SIDE OF THE BARRICADES SHALL BE REFLECTORIZED BY A MINIMUM OF SIX (6) YELLOW REFLECTORS ONE AT EACH END OF EACH RAIL.
- TYPE "A" ROAD CLOSURE SIGNS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF THE PROJECT LIMITS, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS IN WRITING WHOSE ACCESS MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES AT LEAST 48 HOURS PRIOR TO COMMENCING WORK. THE NOTICE SHALL INCLUDE A TELEPHONE NUMBER WHERE THE CONTRACTOR CAN BE REACHED 24 HOURS A DAY IN THE EVENT OF AN EMERGENCY. THE CONTRACTOR SHALL ALSO ATTEMPT TO VERBALLY CONTACT ALL PROPERTY OWNERS.
- WHEN SIDEWALK SECTIONS ARE CLOSED DURING CONSTRUCTION ACTIVITIES IN THIS AREA, PROVIDE ADEQUATE PROTECTION FOR PEDESTRIANS. USE APPROPRIATE BARRICADING AND SIGNING. THESE DEVICES SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITIES. REOPEN TO PEDESTRIAN TRAFFIC AFTER CONSTRUCTION ACTIVITIES ARE FINISHED AT THE END OF THE DAY. COST FOR THE INSTALLATION AND MAINTENANCE OF THE DEVICES FOR SIDEWALK TRAFFIC CONTROL ARE CONSIDERED INCIDENTAL TO THE LUMP SUM BID FOR TRAFFIC CONTROL.
- TRAFFIC CONTROL INCLUDES FURNISHING, OPERATING, MAINTAINING, MOVING, AND REMOVING ALL TRAFFIC CONTROL DEVICES AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. ITEM DOES NOT INCLUDE PERMANENT TRAFFIC SIGNS.
- A PHASING PLAN AND PROJECT SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO COMMENCING WORK THAT OUTLINES THE TIMELINE AND PROCESS TO COMPLETE THE STAGED CONSTRUCTION. THE DURATION OF THE CLOSURE IS LIMITED TO 3 WEEKS.
- REFER TO IDOT STANDARD ROAD PLAN TC-252 (BELOW) FOR REQUIREMENTS FOR URBAN TRAFFIC CONTROL LAYOUT. FURNISH AND INSTALL TRAFFIC CONTROL DEVICES AS SHOWN.
- THE PROPERTY OWNER/CONTRACTOR IS RESPONSIBLE FOR APPLYING CALCIUM CHLORIDE FOR DUST CONTROL ON THE GRAVEL ROAD SURFACE OF EAST PLAINVIEW AVENUE. THE DUST CONTROL APPLICATION MUST BE APPLIED ONE WEEK PRIOR TO THE TEMPORARY ROAD CLOSURE. IF ANY COMPLAINTS ARE RECEIVED ABOUT DUST ON KENNEDY STREET AND/OR 150TH AVENUE, THE OWNER/CONTRACTOR SHALL APPLY THE SAME TREATMENT TO THESE ROAD SURFACES AS DETERMINED BY THE CITY OF INDIANOLA.

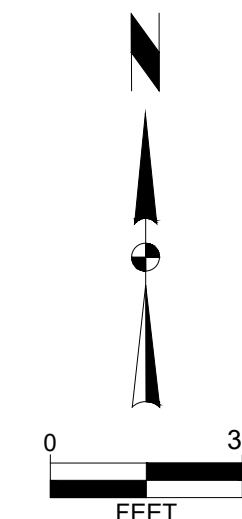
ROAD AND LANE CLOSURE SIGNS



LEGEND

- WORK AREA
- CONSTRUCTION SIGN IDENTIFICATION





1. PROTECT THE FOLLOWING FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION ACTIVITIES:
 - A. EXISTING PAVEMENT.
 - B. EXISTING FENCING.
 - C. CONCRETE STEPS AND HANDRAILS.
 - D. CONCRETE SIDEWALK.
 - E. PLANT MATERIAL. FURNISH AND INSTALL 4" HT. ORANGE CONSTRUCTION FENCE TO LIMITS SHOWN TO PROTECT PLANTS. DO NOT STORE MATERIALS OR PARK VEHICLES OR EQUIPMENT IN FENCED AREAS. MAINTAIN LAWN AND PLANT MATERIAL WITHIN FENCED AREAS THROUGHOUT CONSTRUCTION.
 - F. EXISTING UNDERGROUND UTILITY/APURTANCE.
 - G. EXISTING STRUCTURE BUILDING.
2. TENNIS COURT DEMOLITION (BY OTHERS). REMOVE AND DISPOSE OF THE FOLLOWING IN AN APPROXIMATELY MINIMUM 24" BELOW GRADE, CAP DRAIN LINES AND:
 - A. TENNIS COURT PAVEMENT, INCLUDING NET POSTS, SAND AND GRANULAR BASE AND UNDER-PAVEMENT SUB-DRAIN.
 - B. CHAIN LINK FENCING, INCLUDING FABRIC, POSTS, GATES AND CONCRETE FOOTINGS.
 - C. STORM INTAKES. SAW CUT ADJACENT SIDEWALK TO THE NEAREST JOINT AND REMOVE THE TOP OF THE SIDEWALK TO A MINIMUM 24" BELOW GRADE LINES AND BACKFILL WITH GRANULAR FILL. COMPACT GRANULAR BASE AND INSTALL PCC SIDEWALK TO MATCH IN WIDTH AND THICKNESS. PROTECT ADJACENT SIDEWALKS FROM DAMAGE.
 - D. REMOVE PLANT MATERIAL, INCLUDING STUMPS/ROOT MASS TO A MINIMUM 24" DEPTH.
3. OFF-SITE DEMOLITION. REMOVE AND DISPOSE OF THE FOLLOWING IN AN APPROVED SITE LOCATION:
 - A. CONCRETE PAVEMENT, 6" DEPTH. REMOVE PAVEMENT TO THE NEAREST JOINT. SAW-CUT TO FULL DEPTH AT REMOVAL LIMIT.
 - B. CONCRETE PAVEMENT, 4" DEPTH. REMOVE PAVEMENT TO THE NEAREST JOINT. SAW-CUT TO FULL DEPTH AT REMOVAL LIMIT.
 - C. CHAIN LINK FENCING, INCLUDING FABRIC, POSTS, AND CONCRETE FOOTINGS.
4. CONTRACTOR TO COORDINATE REMOVAL OF IRRIGATION SYSTEM WITH PROJECT AREA. LOCATIONS OF IRRIGATION LINES SHOWN ON THE PLAN ARE APPROXIMATE; LOCATE LINE, HEAD AND VALVE LOCATION WITH OWNER AND FLAG COMPONENTS TO BE REMOVED PRIOR TO REMOVAL OF IRRIGATION SYSTEM AND MAKE ADJUSTMENTS WITH A LAWN IRRIGATION PROFESSIONAL TO ENSURE THE REMAINING IRRIGATION SYSTEM IS OPERATIONAL DURING CONSTRUCTION. REMOVE ALL SALVAGE ALL IRRIGATION HEADS AND VALVES TO THE OWNER UPON REMOVAL.
5. CONSTRUCTION LIMIT. INSTALL 6" HEIGHT CHAIN LINK FENCING. SEE NOTE 1 SHEET C2.01.
6. REMOVE EXISTING 4" SANITARY SEWER. CURBS, SIDEWALK AND PAVEMENT TO ACCOMMODATE NEW 6" SEWER SERVICE.
7. CONTRACTOR TO REMOVE AND SALVAGE EXISTING STREET SIGNS AND REINSTALL SOUTH OF CURRENT LOCATION AS PER CITY OF INDIANOLA APPROVAL.

TECHNOLOGY
MODUS ENGINEERING

REVISIONS:		
DESCRIPTION	DATE	N

[illegible]

OWNER SIGN-OFF:
DATE _____ NAME _____

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1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

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PROJECT NO:
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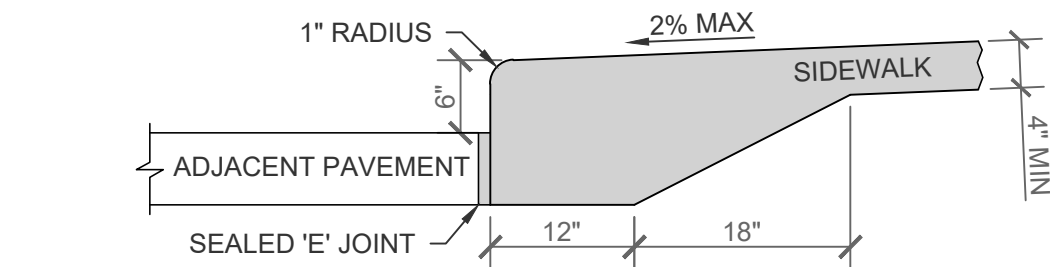
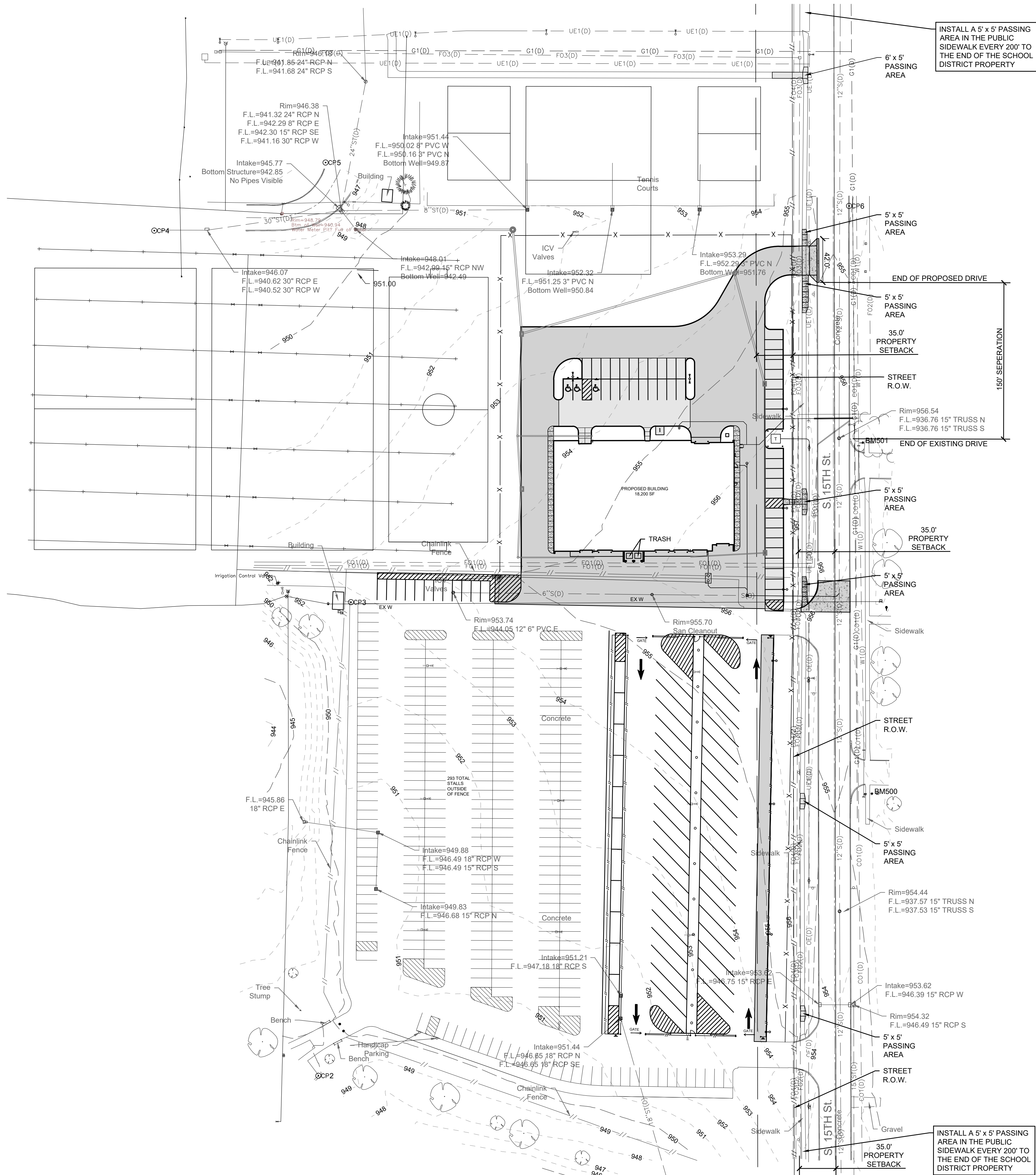
DATE:
03.08.2022

SITE PLAN

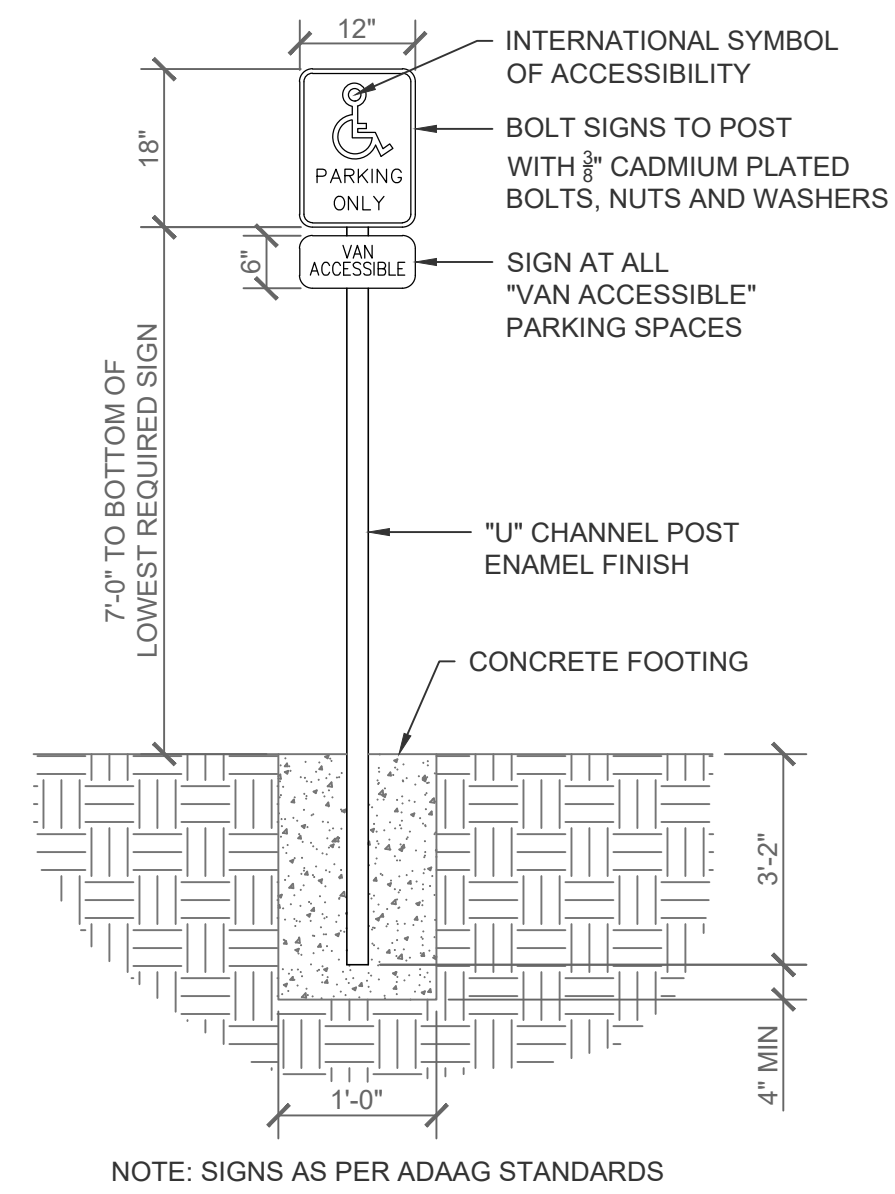
SHEET NAME:
DEMOLITION PLAN

SHEET:

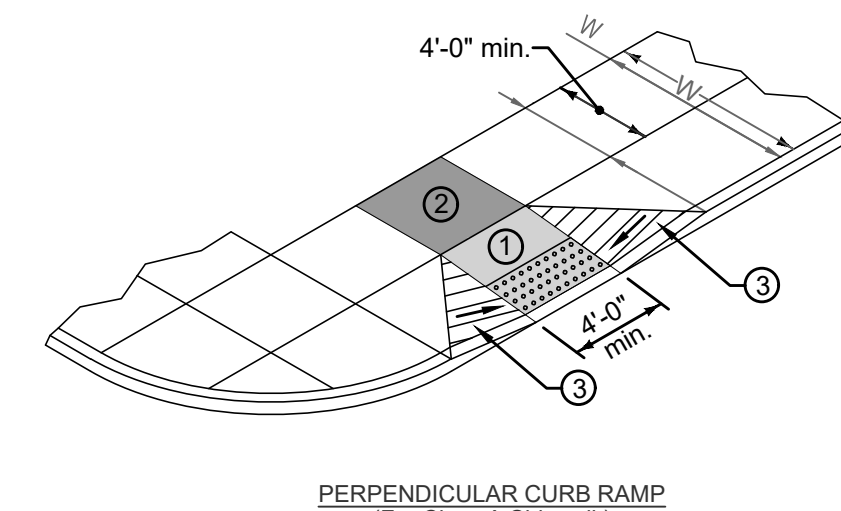
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5 INTEGRAL SIDEWALK AND CURB DETAIL
C2.00 NO SCALE

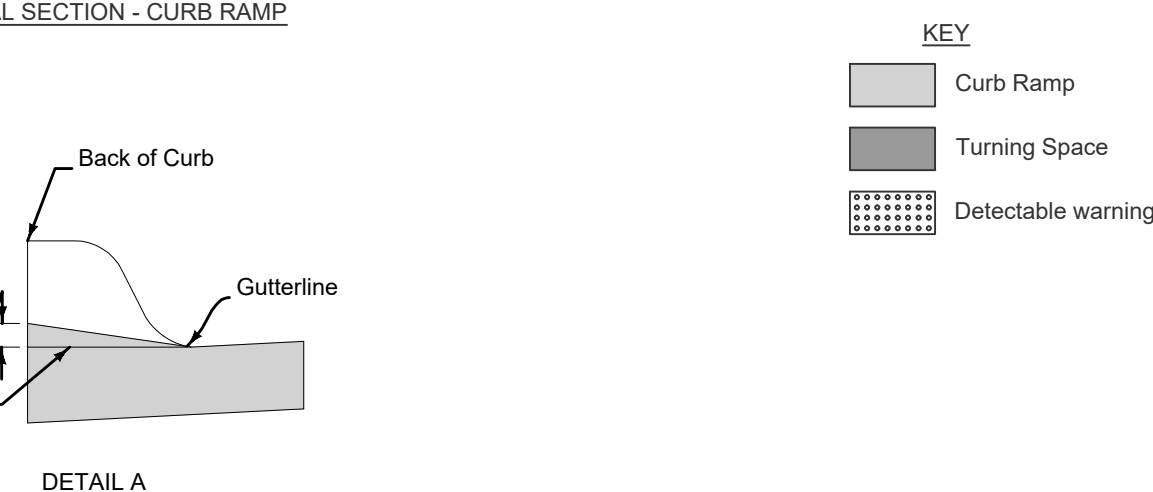
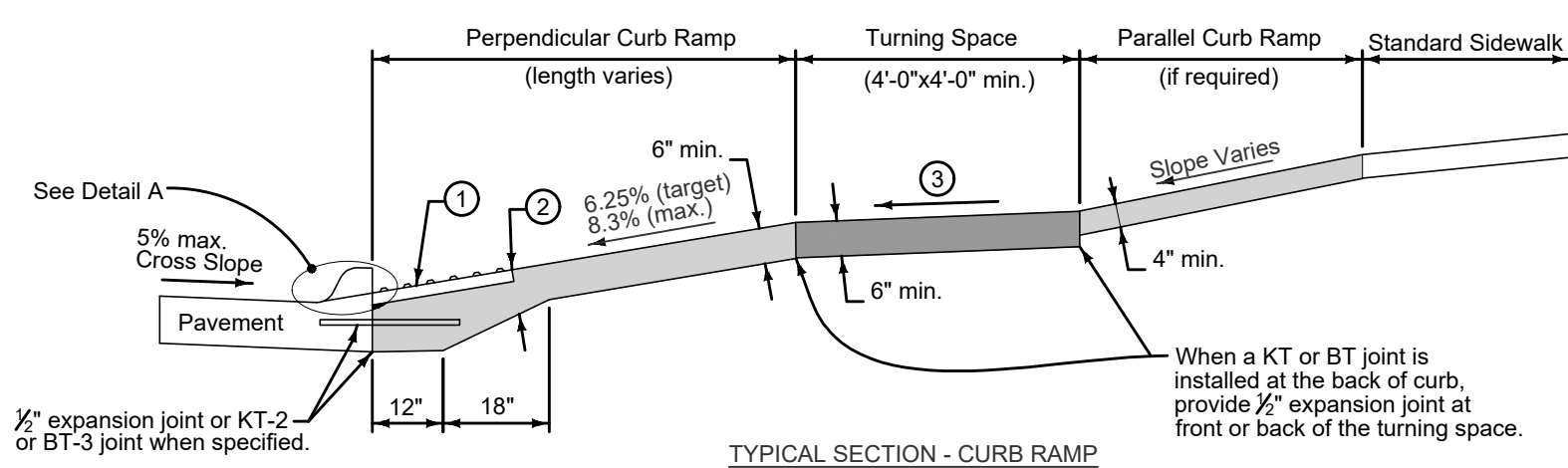


6 ACCESSIBLE PARKING SIGN
C2.00 NO SCALE

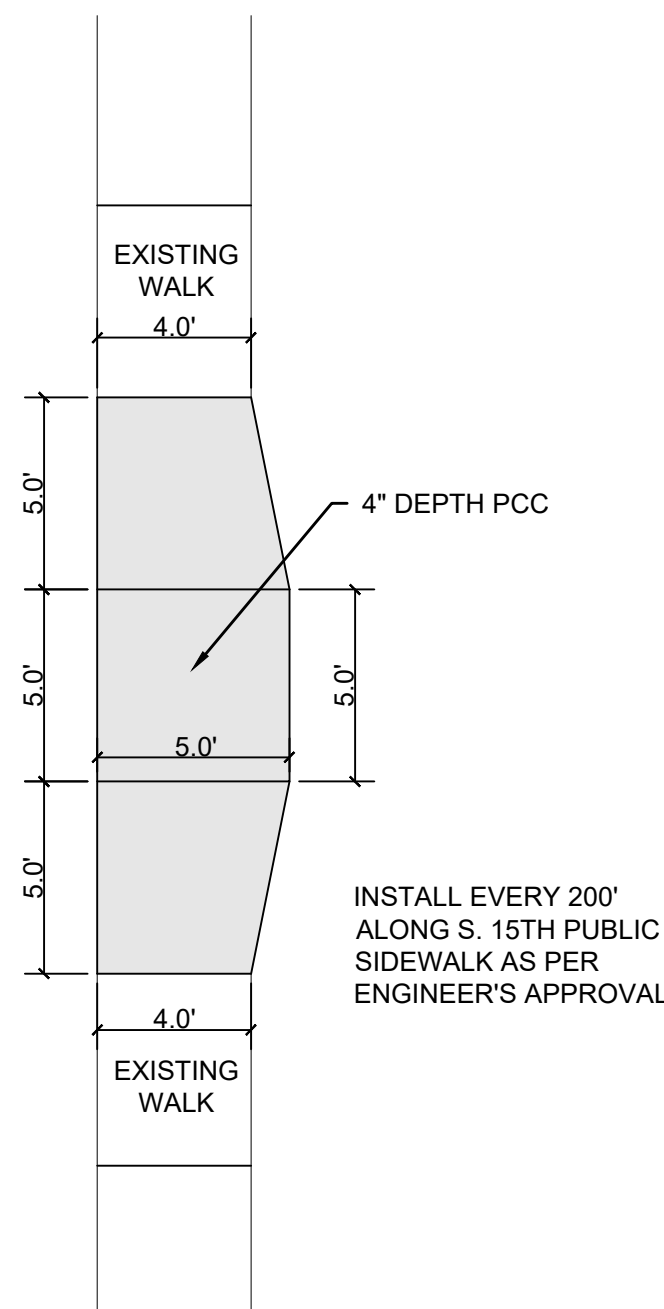


- KEY
- 1 Perpendicular Curb Ramp: Target running slope of 6.25% with maximum running slope of 8.3%. Match pedestrian street crossing cross slope at back of curb. At mid-block crossings, cross slope may exceed 2.0% to match roadway grade.
 - 2 Turning Space: Target slope of 1.5% with a maximum slope perpendicular to the travel directions of 2.0%. At mid-block crossings, cross slope of landing may exceed 2.0% to match roadway grade. Minimum 4 feet by 4 feet.
 - 3 Flare (10:1 max.) required if ramp is contiguous with sidewalk.

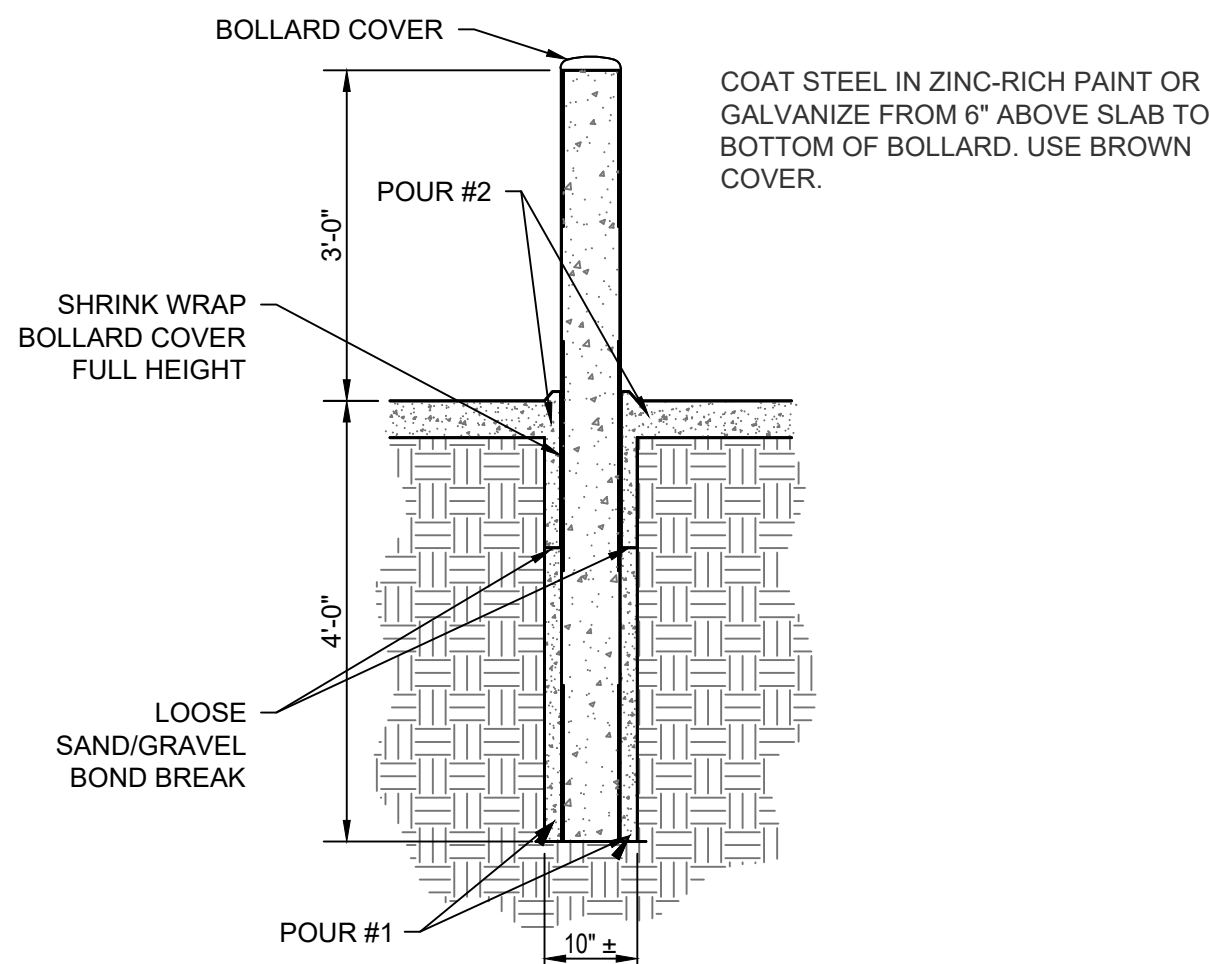
7 ACCESSIBLE RAMP - PLAN
C2.00 NO SCALE



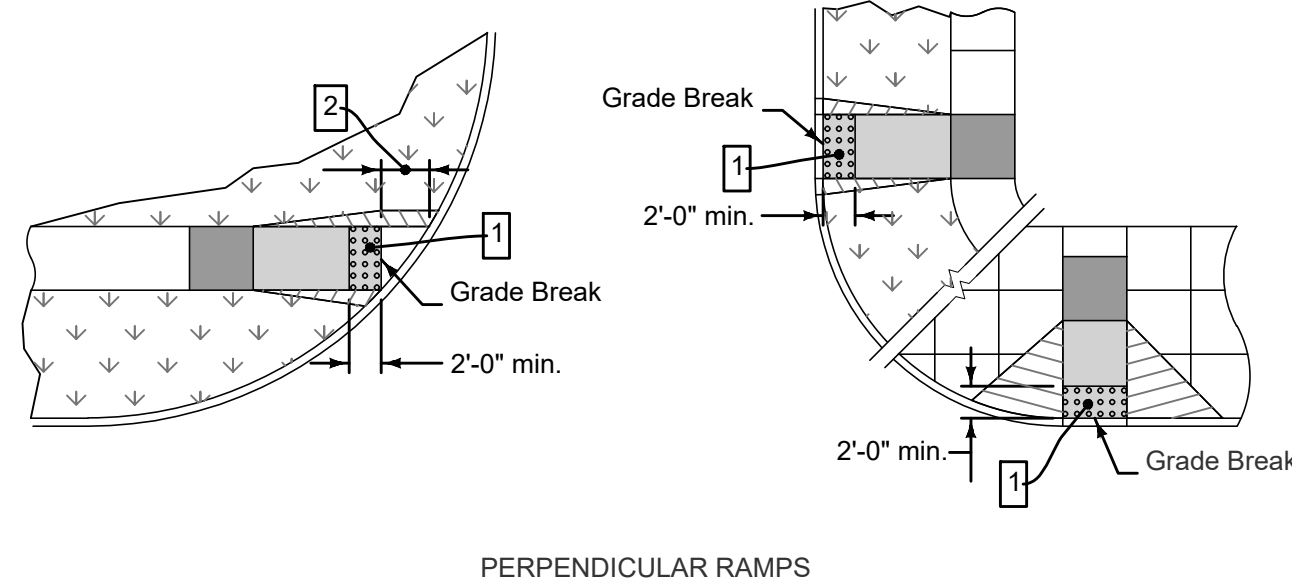
4 ACCESSIBLE RAMP - SECTION
C2.00 NO SCALE



1 5' x 5' PASSING AREA (TYP.)
C2.00 NO SCALE

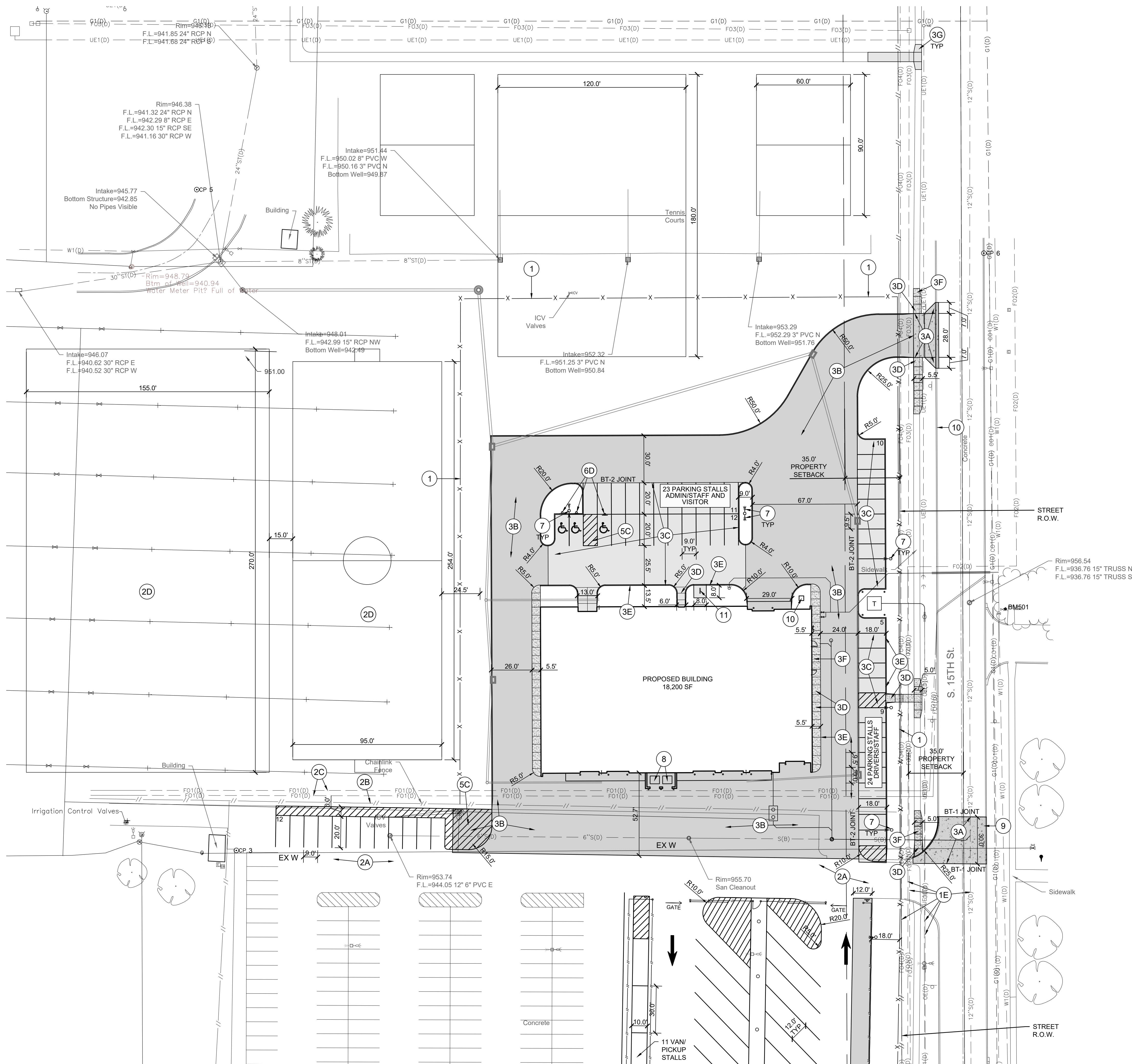


2 TYPICAL 6\"/>



3 DETECTABLE WARNING PLACEMENT
C2.00 NO SCALE

- Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
- 1 When detectable warning is located on curb ramp surface, orient domes in the direction of pedestrian travel.
 - 2 When the distance between the grade break and the back of curb is less than 5 feet, place detectable warning surface at the bottom of the curb ramp.
- Where one corner of the curb ramp is more than 5 feet from the back of curb, construct curb ramp as a parallel curb ramp. Move grade break back as required to place detectable warning on turning space at the back of curb.
- Key
- Curb Ramp
 - Turning Space
 - Detectable Warning



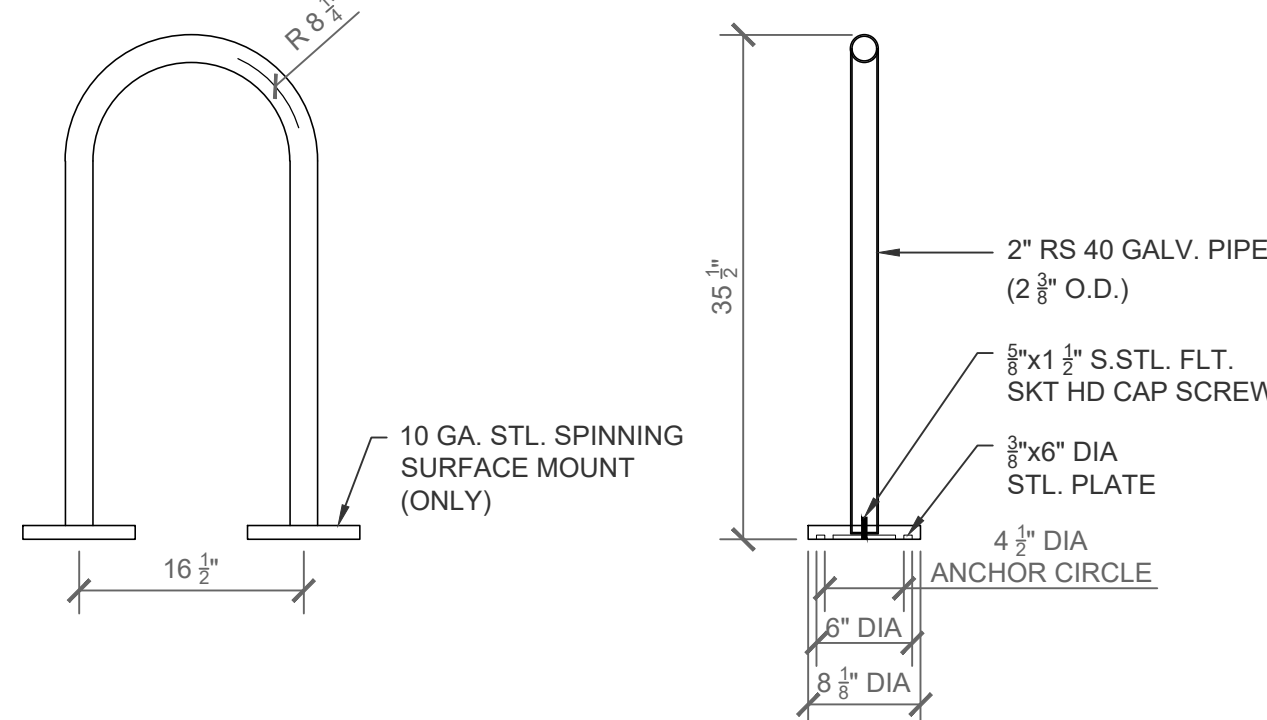
SITE CONSTRUCTION NOTES

- CONSTRUCTION PROJECT LIMIT. INSTALL 6' HT. CHAIN LINK FENCING ON DRIVEN METAL POSTS TO LIMIT SHOWN. CONTAIN ALL CONSTRUCTION ACTIVITY, STORAGE, RECEIVING, EQUIPMENT, ETC. WITHIN CONSTRUCTION LIMIT. MAINTAIN AREAS WITHIN CONSTRUCTION LIMIT, INCLUDING MOWING, WEED CONTROL, TRASH AND DEBRIS PICK-UP, ETC.
- EXISTING FEATURE. PROTECT THE FOLLOWING:
 - PAVEMENT.
 - FENCING.
 - UNDERGROUND UTILITIES.
 - ADJACENT SPORTS FIELDS.
- PAVEMENT. PROVIDE AND INSTALL THE FOLLOWING:
 - 8" DEPTH PCC PAVEMENT ON 12" MIN. DEPTH MODIFIED SUBBASE.
 - 7" DEPTH PCC PAVEMENT ON 12" MIN. DEPTH COMPACTED NATIVE SUBGRADE.
 - 6" DEPTH PCC PAVEMENT ON 12" MIN. DEPTH COMPACTED NATIVE SUBGRADE.
 - PEDESTRIAN RAMP. MAX 8.33% SLOPE.
 - 6" PCC CURB, INTEGRAL TO ADJACENT PAVEMENT.
 - 5" DEPTH SIDEWALK ON 6" MIN. DEPTH COMPACTED NATIVE SUBGRADE.
 - 4" DEPTH SIDEWALK ON 6" MIN. DEPTH COMPACTED NATIVE SUBGRADE.
- FENCING:
 - 8' HT. GALVANIZED CHAIN LINK FENCING WITH ANTI-CLIMBER.
 - 2' WIDE BY 8' HT. SLIDING CANTILEVER GATE. TO MATCH ADJACENT CHAIN LINK FENCING.
 - 5' WIDE BY 8' HT. GATE. TO MATCH ADJACENT CHAIN LINK FENCING.
- PAVEMENT MARKINGS:
 - 6" WIDE YELLOW LINE.
 - 4" WIDE YELLOW LINE.
 - 4" WIDE STRIPING, 3" O.C. ON 45-DEGREE ANGLE.
 - DIRECTIONAL ARROW.
 - ACCESSIBLE PARKING SYMBOL AS PER ADAAG REQUIREMENTS.
- SIGNAGE:
 - 'DO NOT ENTER' SIGN
 - 'INDIANOLA SCHOOL DISTRICT AREA. AUTHORIZED PERSONNEL ONLY' SIGN
 - 'GATE' SIGN
 - ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE SIGN MOUNTED TO A 2" ALUMINUM ROUND POST WITH BRACKETS ON CONCRETE FOOTINGS, AS PER ADAAG REQUIREMENTS.
- LIGHTING/ELECTRICAL. LOCATIONS SHOWN FOR REFERENCE. SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.
- TRASH AREA WITH ARCHITECTURAL ENCLOSURE.
- ANY PAVEMENT CUT AND REMOVED IN S. 15TH STREET SHALL REQUIRE THE REMOVAL OF FULL PANELS, INCLUDING ANY INTEGRAL CURBS AND JOINT SEALING. NEW PAVEMENT MUST BE REPLACED TO FULL DEPTH TO MATCH THE EXISTING STREET PAVEMENT. THESE PAVEMENT SECTIONS SHALL BE MARKED THROUGH THE USE OF EXPANSION JOINTS AT THESE MARGINS.
- LOGO/SCULPTURE SIGN.
- BIKE RACK AND ROLL CURB. SEE DETAIL.

LEGEND

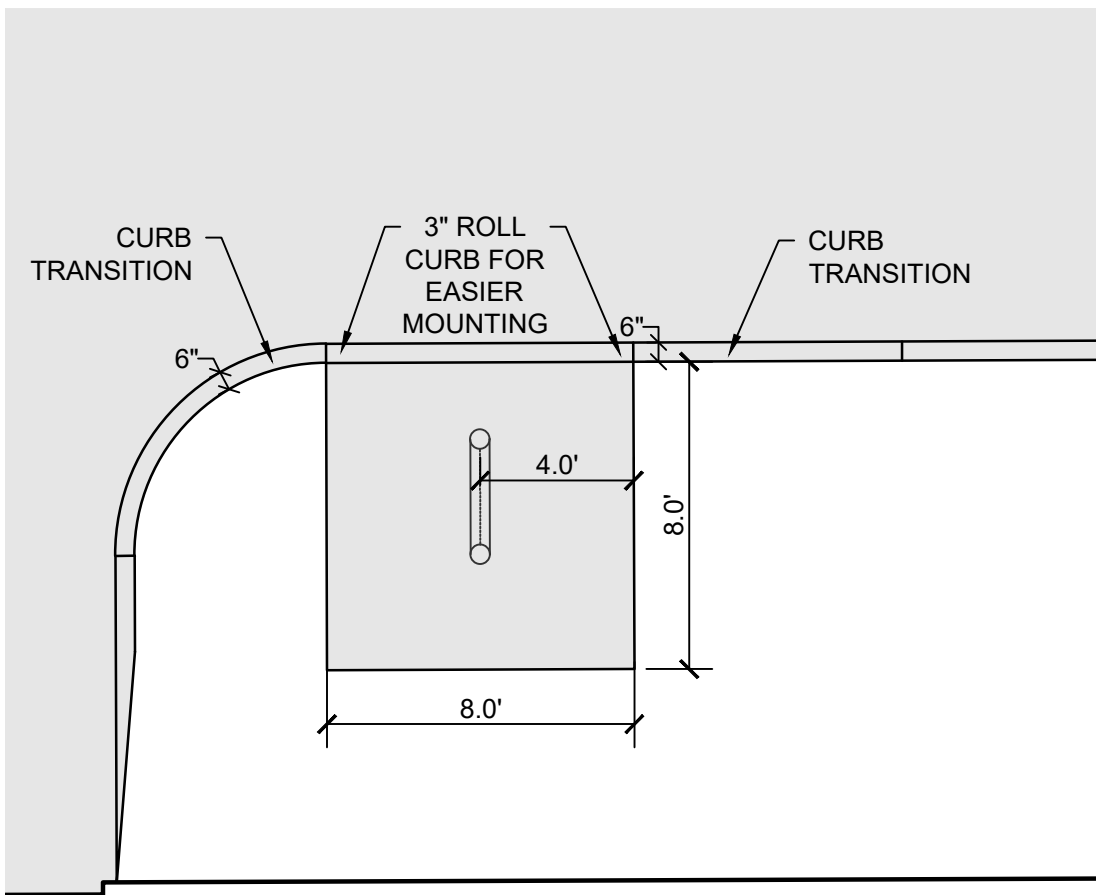
- 8" DEPTH PCC PAVEMENT
- 7" DEPTH PCC PAVEMENT
- 6" DEPTH PCC PAVEMENT
- 5" DEPTH PCC SIDEWALK

NOTE: CONTRACTOR TO SUBMIT PAVEMENT JOINTING PLAN FOR ENGINEERS REVIEW PRIOR TO PAVEMENT INSTALLATION. JOINTS TO MEET SUDAS SECTION 7010 REQUIREMENTS.



FINISH OPTIONS:
COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER COATING. COLOR AS PER OWNER.

- NOTES:
- INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
 - 3/4"x3 1/2" EXPANSION ANCHOR BOLTS PROVIDED FOR SURFACE MOUNT.



1
C2.01
LOOP BIKE RACK
NO SCALE

INVISION
PLANNING ARCHITECTURE ENGINEERING

303 Watson Powell Jr. Way
Suite 200
Des Moines, Iowa 50309
515.633.2941
515.633.2942 Fax
www.invisionarch.com

CONSULTANT:
CIVIL ENGINEER
SNYDER & ASSOCIATES

STRUCTURAL ENGINEER
KPF CONSULTING
ENGINEERS

MECHANICAL ENGINEER
MODUS ENGINEERING

ELECTRICAL ENGINEER
MODUS ENGINEERING

PLUMBING ENGINEER
MODUS ENGINEERING

TECHNOLOGY
MODUS ENGINEERING

REVISIONS:
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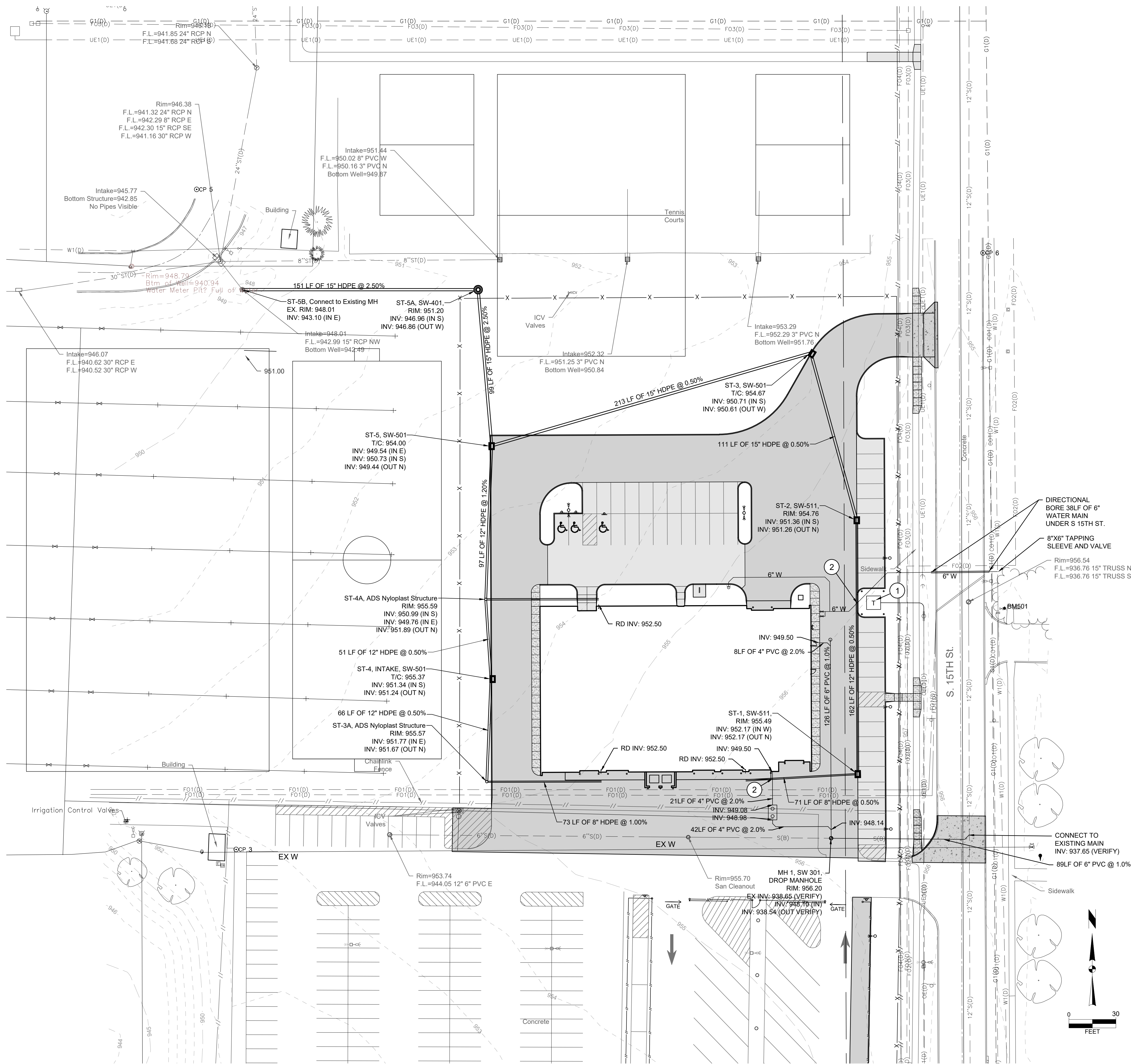
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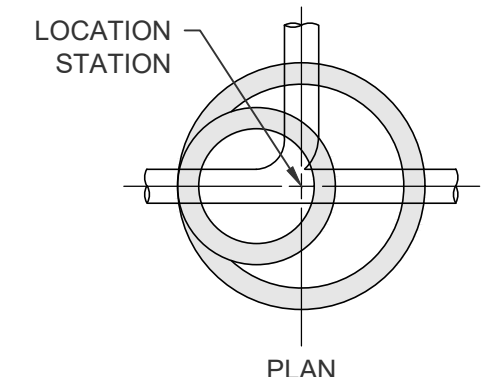


UTILITY CONSTRUCTION NOTES

- ELECTRICAL SERVICE: TRANSFORMER LOCATION. CONTRACTOR TO CONTACT MIKE METCALF FROM INDIANOLA MUNICIPAL UTILITIES TO COORDINATE ELECTRICAL SERVICE. LEAD TIMES FOR ELECTRICAL MATERIALS ARE SIGNIFICANT, RANGING FROM SEVERAL MONTHS TO A YEAR OUT.
- UTILITY CROSSING. MAINTAIN MIN. 18" SEPERATION BETWEEN UTILITIES.
- MANHOLES AND CLEANOUTS SHALL CONFORM WITH SDAS SECTION 6010 AND UTILIZE EJ3025 CASTING IN CONCRETE WITH CRETEX PRO RINGS (SW-203).

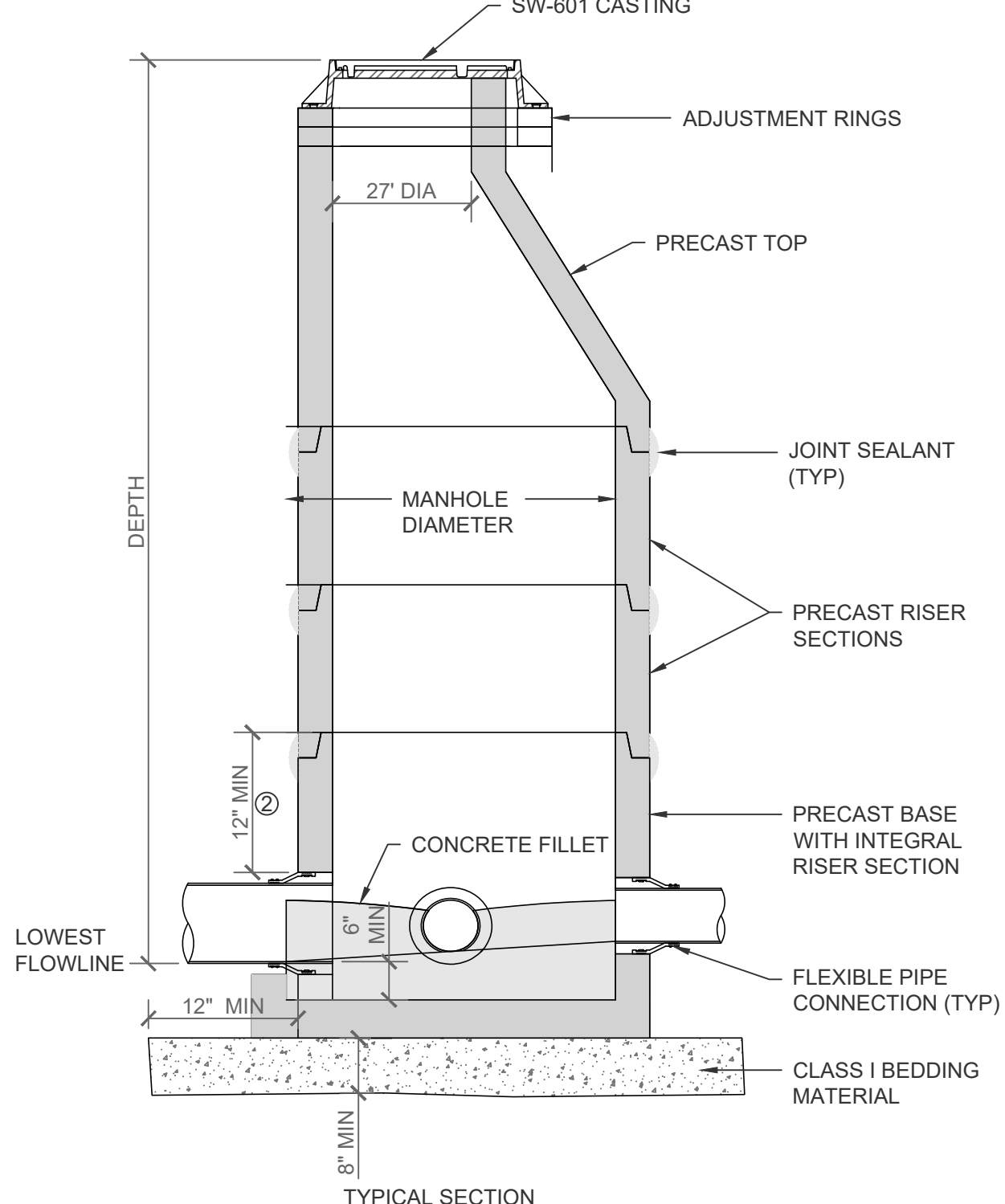
EXTERIOR LIGHTING NOTES

- ALL SITE AND BUILDING LIGHTING SHALL BE LED TYPE (LIGHT PRODUCED VIA LIGHT EMITTING DIODES) OF A SOFT-WHITE OR BRIGHT-WHITE LIGHT COLOR AND QUALITY.
- ALL LIGHT FIXTURES SHALL BE DOWNCAST IN NATURE AND MUST POSSESS SHARP, OUT-OFF QUALITIES TO LIMIT OFF-SITE GLARE. WALL-PACK TYPE LIGHT FIXTURES ARE PROHIBITED.
- ALL PARKING LOT, BUILDING EXTERIOR, AND SITE LIGHTING SHALL BE DESIGNED, ANGLED, OR SHIELDED SO AS NOT TO GLARE OR SHINE ONTO ADJUTING PROPERTIES OR TO CAUSE GLARE UPON THE ADJONING PUBLIC RIGHTS-OF-WAY.
- BUILDINGS AND SIGNAGE MAY BE UP-CAST OR DOWNCAST ILLUMINATED PROVIDED SAID LIGHTING DOES NOT SHINE OR GLARE OFF OR PAST THE SIGN OR BUILDING WALL.
- A COPY OF THE SITE ELECTRICAL PLAN AND CUT-SHEETS OF THE PROPOSED EXTERIOR LIGHT FIXTURES HAVE BEEN SUBMITTED TO THE CITY FOR REVIEW TO ENSURE COMPLIANCE WITH CITY REGULATIONS.



IF MANHOLE DEPTH EXCEEDS 20 FEET, INSTALL STEPS.
INSTALL INFILTRATION BARRIER.
① FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
② 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPE OPENINGS.

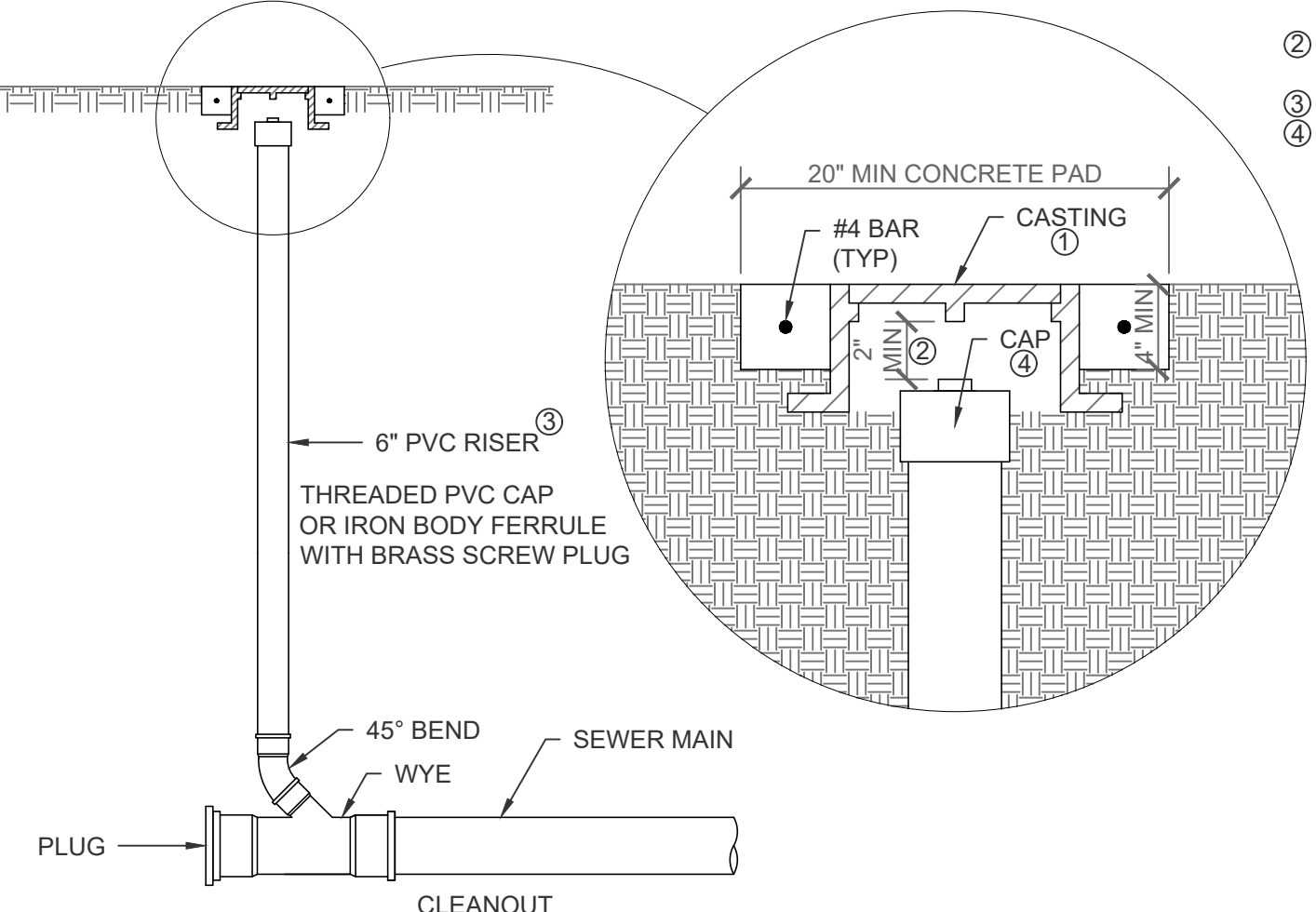
MANHOLE DIAMETER (INCH)	MAXIMUM PIPE DIAMETER ① (INCHES) FOR 2 PIPES AT 180° SEPARATION	AT 90° SEPARATION
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42



SANITARY SEWER MANHOLE (SW-301) DETAIL

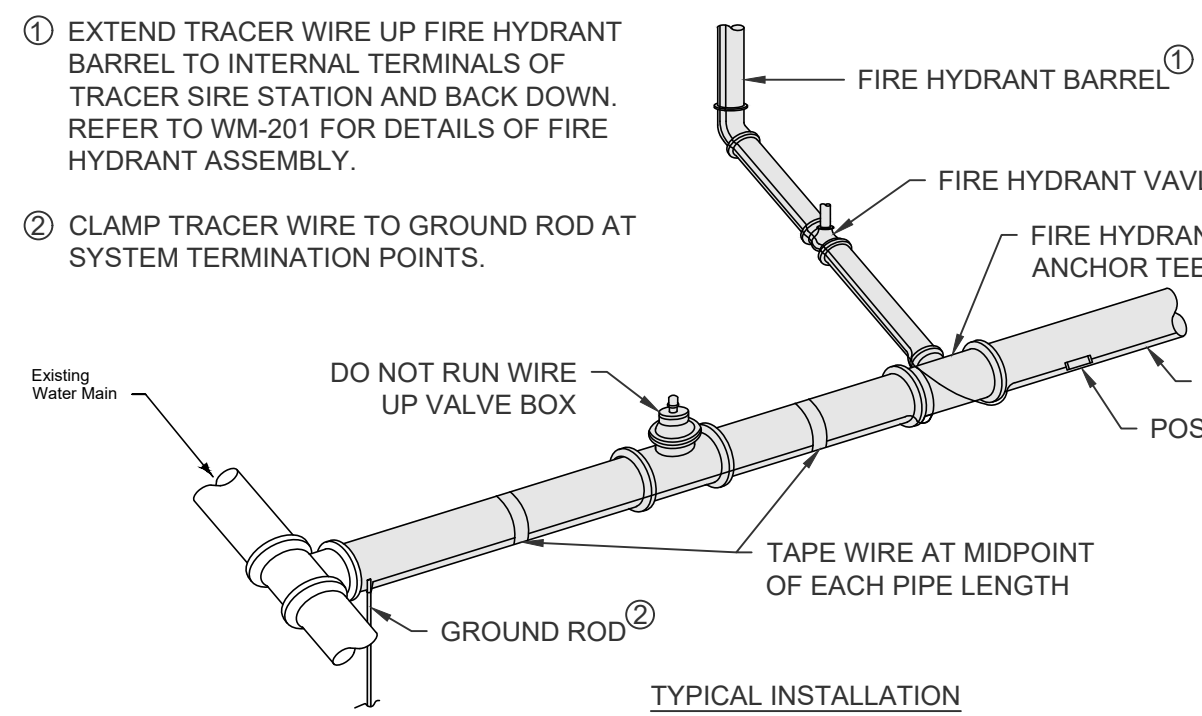
NO SCALE

- STANDARD DUTY CASTING COMPLYING WITH AASHTO M 306. MARK LID WITH "SANITARY" OR "SANITARY C.O."
- DO NOT ALLOW CASTING TO BEAR ON TOP OF RISER PIPE.
- 6-INCH PVC SERVICE PIPE.
- THREADED PVC CAP OR IRON BODY FERRULE WITH BRASS SCREW PLUG.

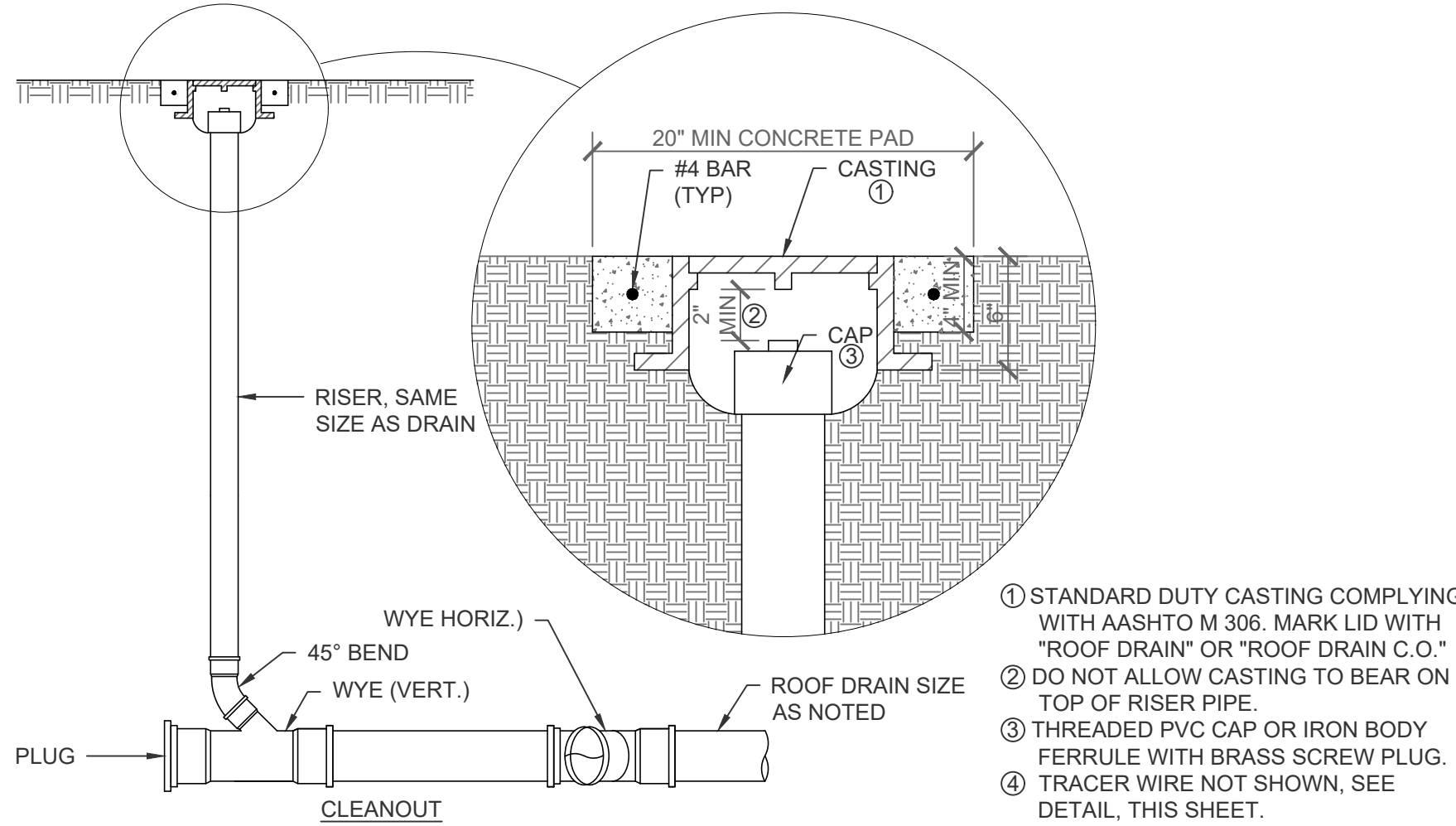


SANITARY SEWER CLEANOUT

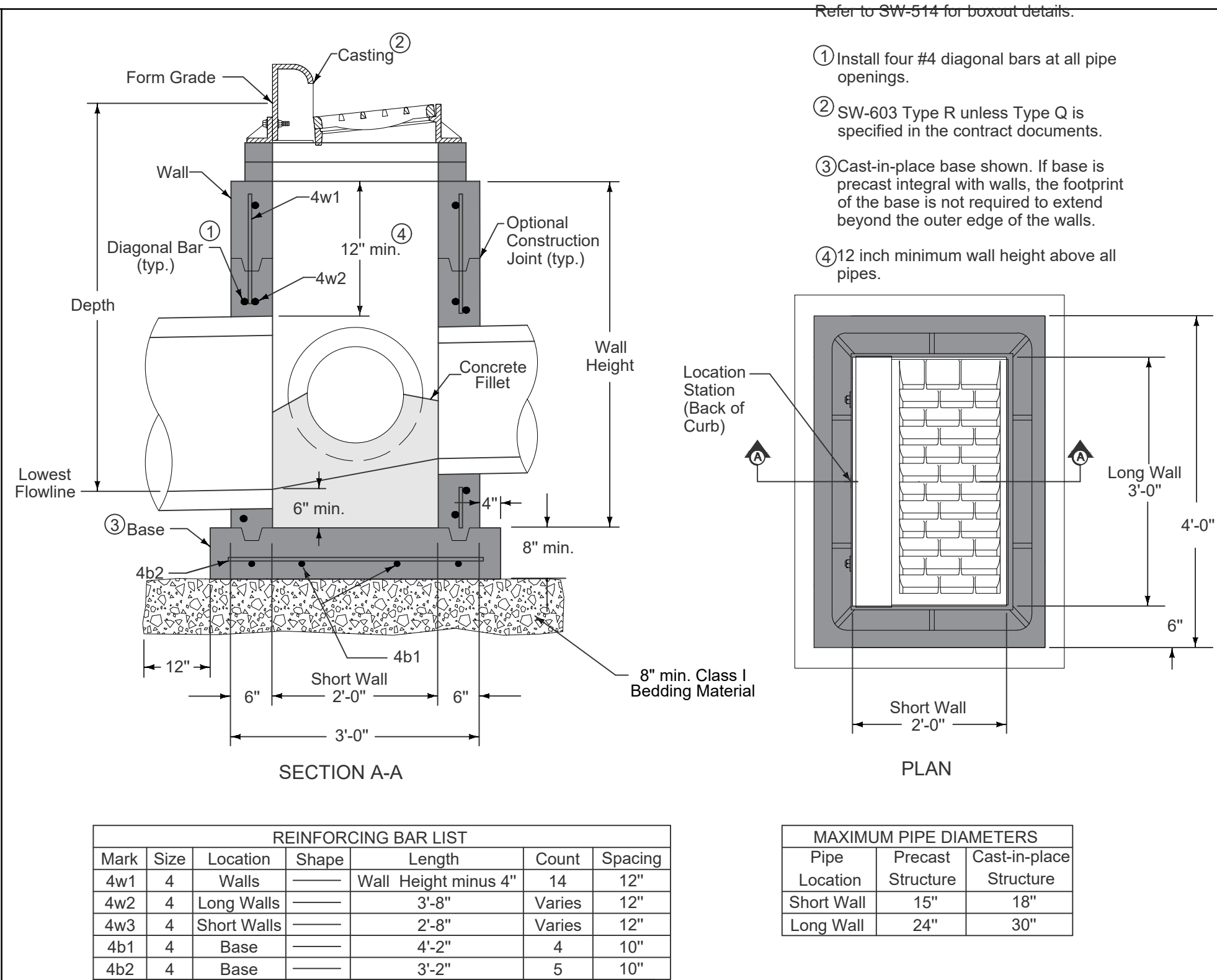
NO SCALE



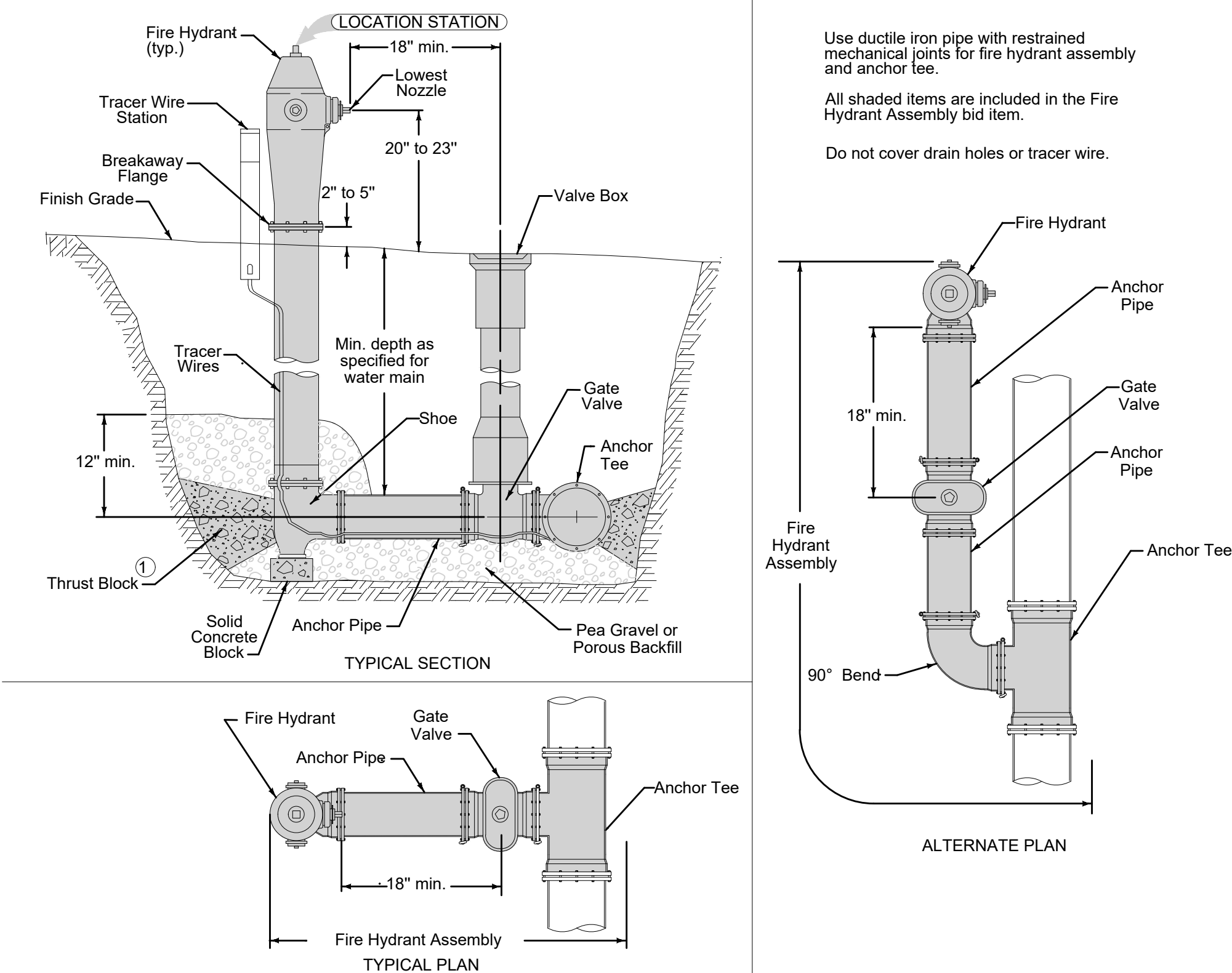
1 TRACER SYSTEM
NO SCALE



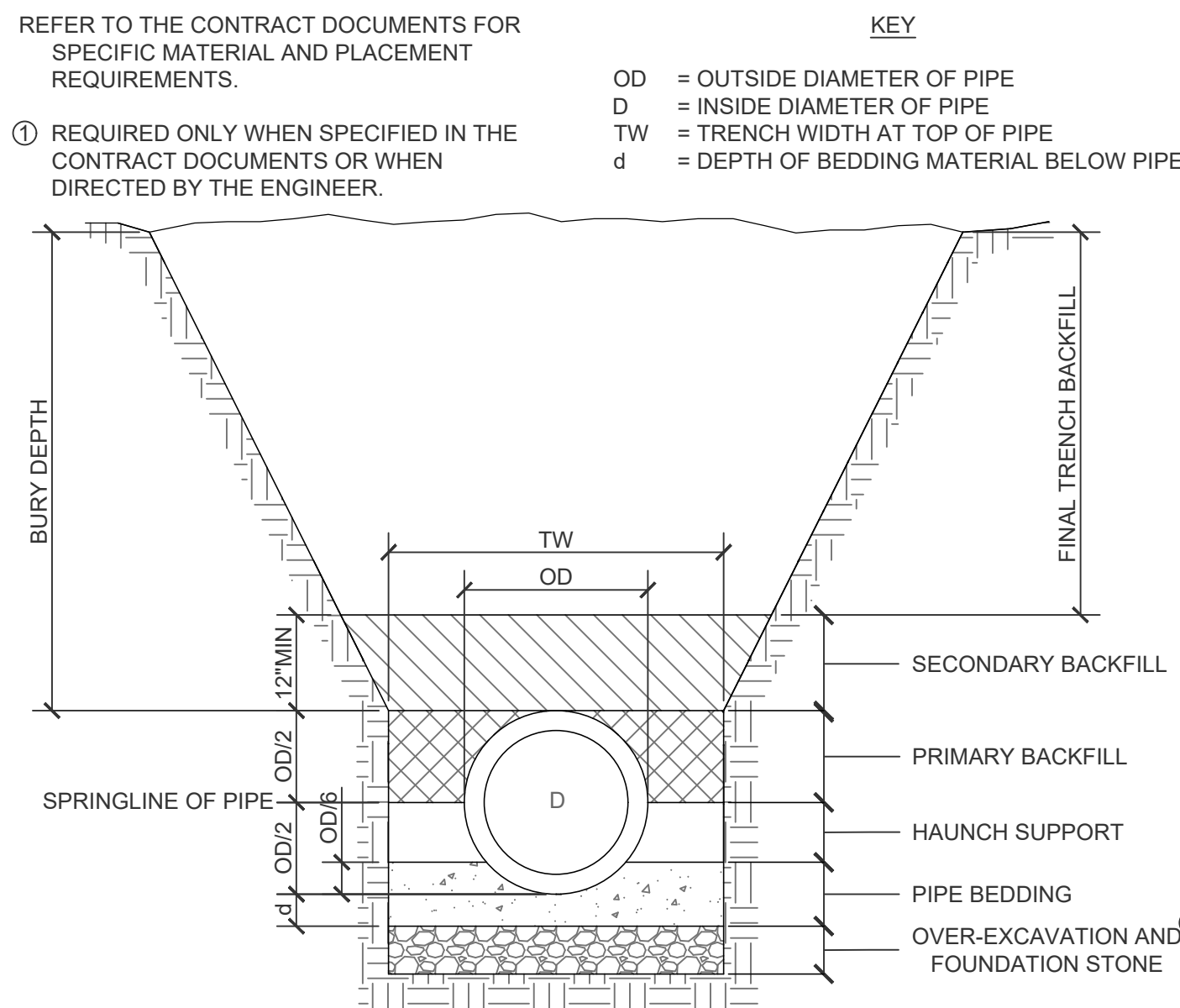
4 STORM SEWER CLEANOUT DETAIL
NO SCALE



7 SW-511 INTAKE DETAIL
NO SCALE



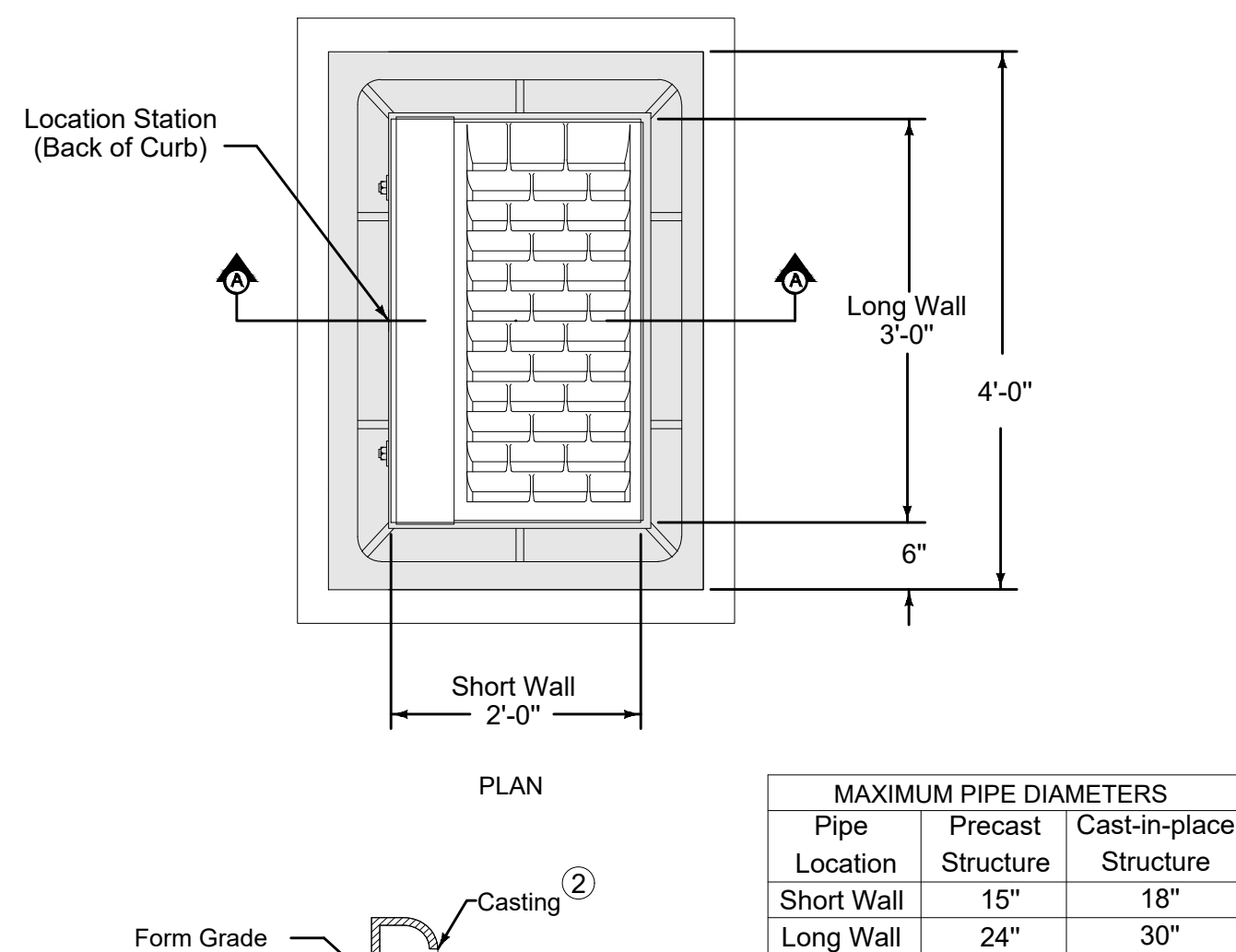
2 FIRE HYDRANT ASSEMBLY
NO SCALE



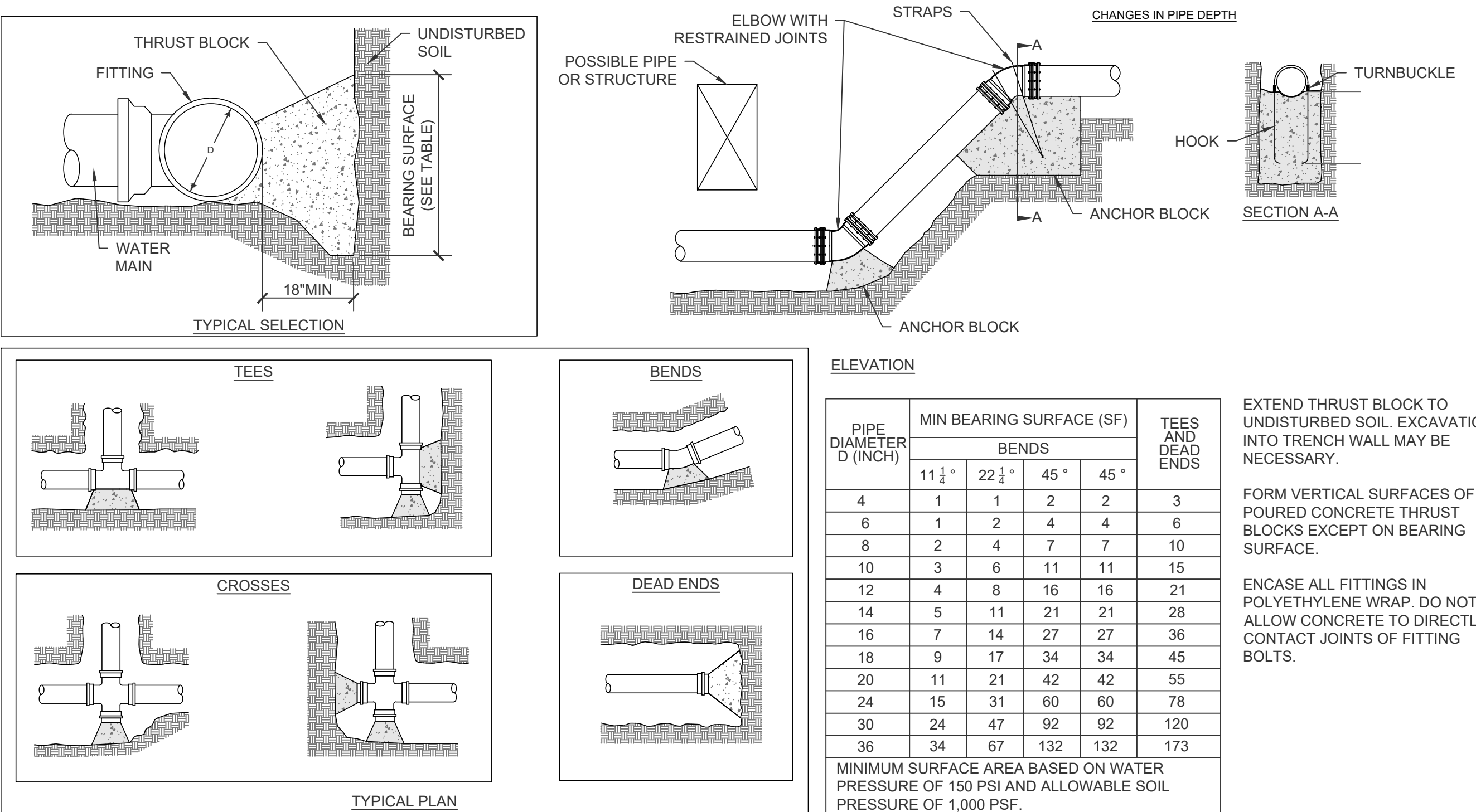
5 TRENCH BEDDING AND BACKFILL ZONES
NO SCALE

Refer to SW-514 for boxout details.

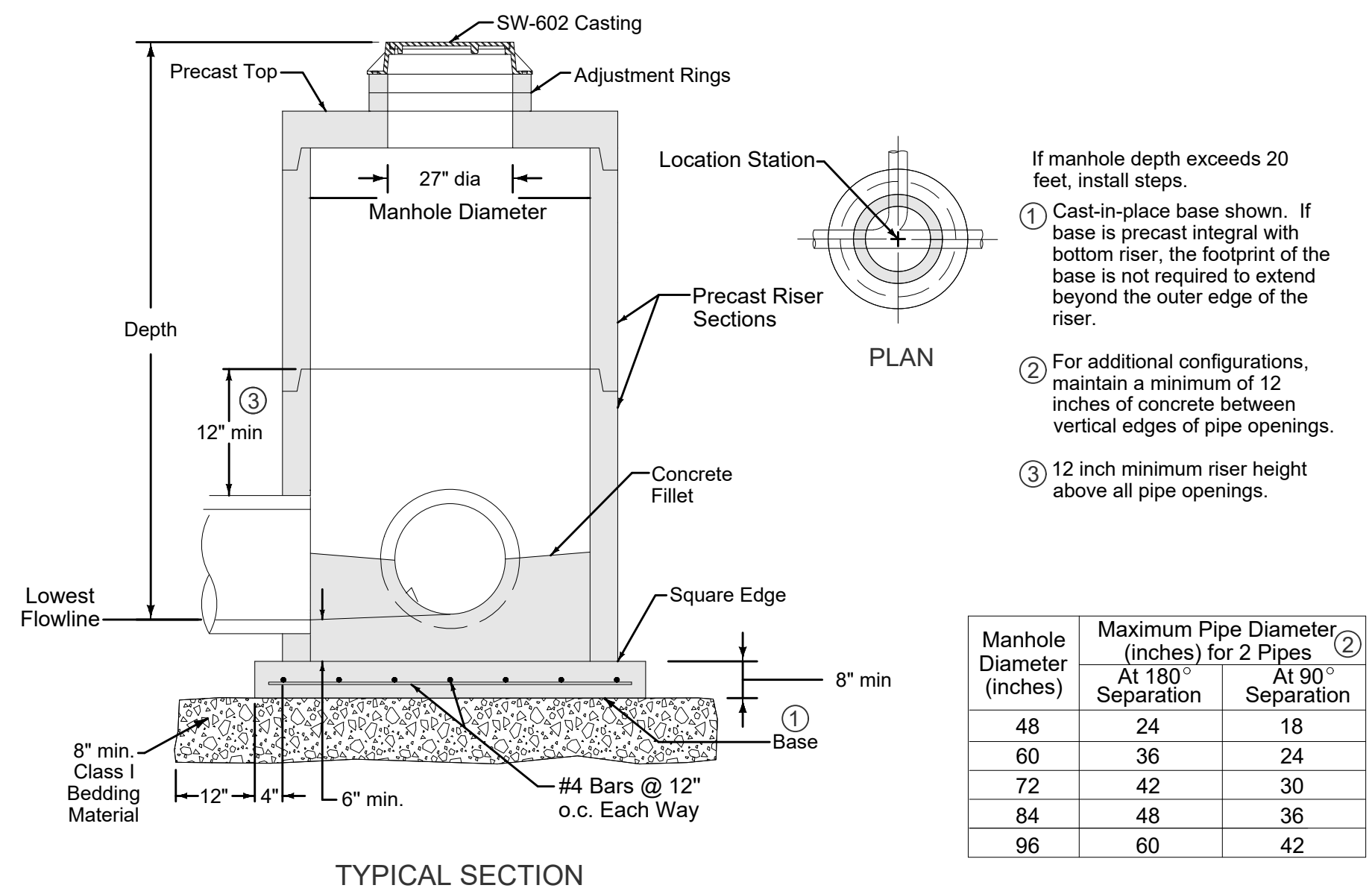
- 1) Install four #4 diagonal bars at all pipe openings.
- 2) SW-603 Type R unless Type Q is specified in the contract documents.
- 3) Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
- 4) 12 inch minimum wall height above all pipes.



8 SW-501 INTAKE DETAIL
NO SCALE

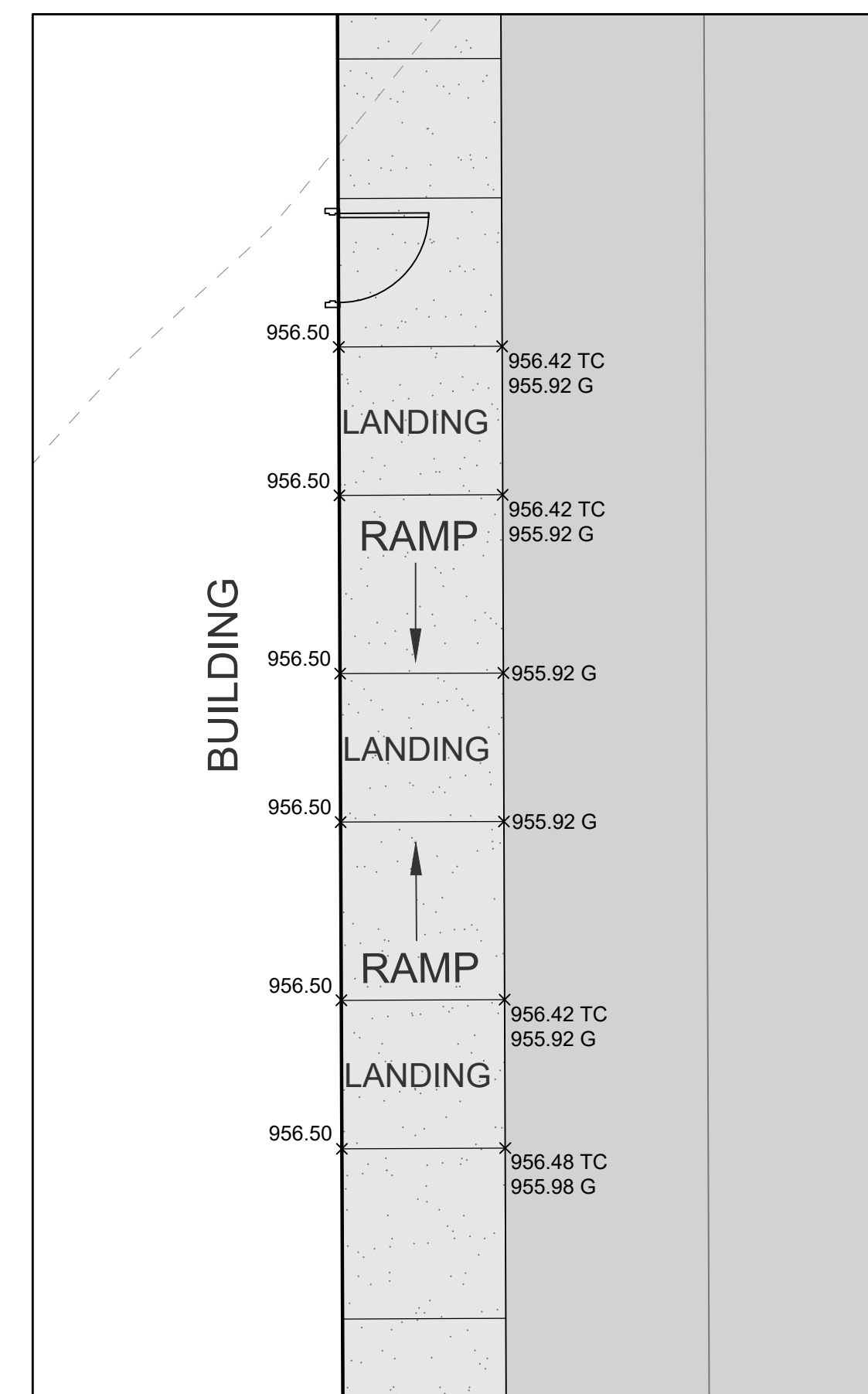
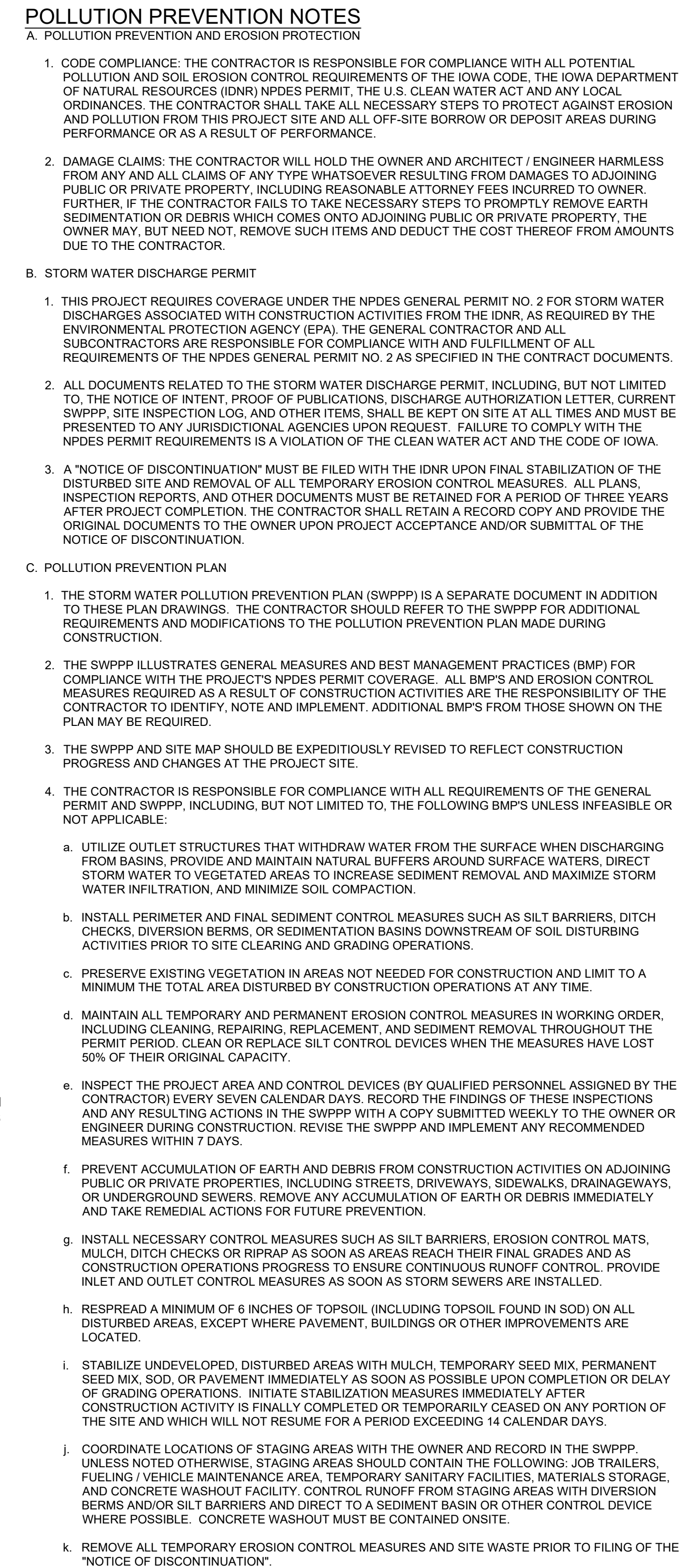


3 THRUST BLOCKS
NO SCALE



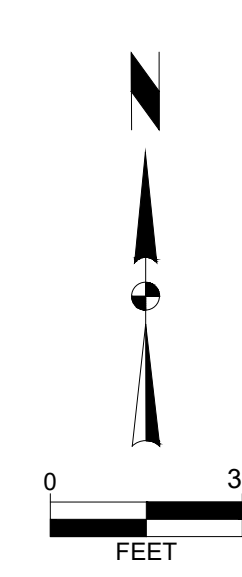
6 CIRCULAR STORM SEWER MANHOLE (SW-401)
NO SCALE

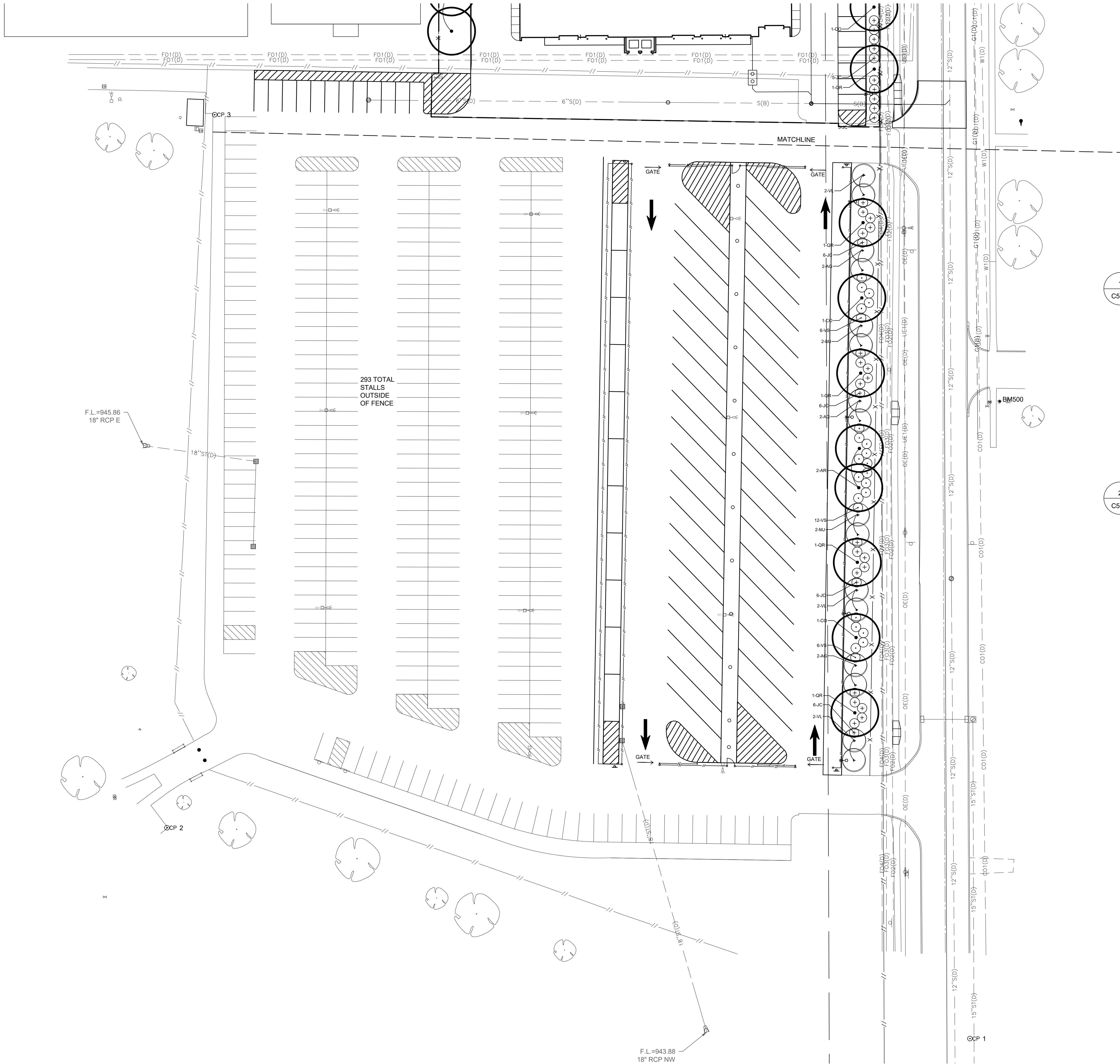
REINFORCING BAR LIST						
Mark	Size	Location	Shape	Length	Count	Spacing
4w1	4	Walls		Wall Height minus 4"	14	12"
4w2	4	Long Walls		3'-8"	Varies	12"
4w3	4	Short Walls		2'-8"	Varies	12"
4b1	4	Base		4'-2"	4	10"
4b2	4	Base		3'-2"	5	10"



1000

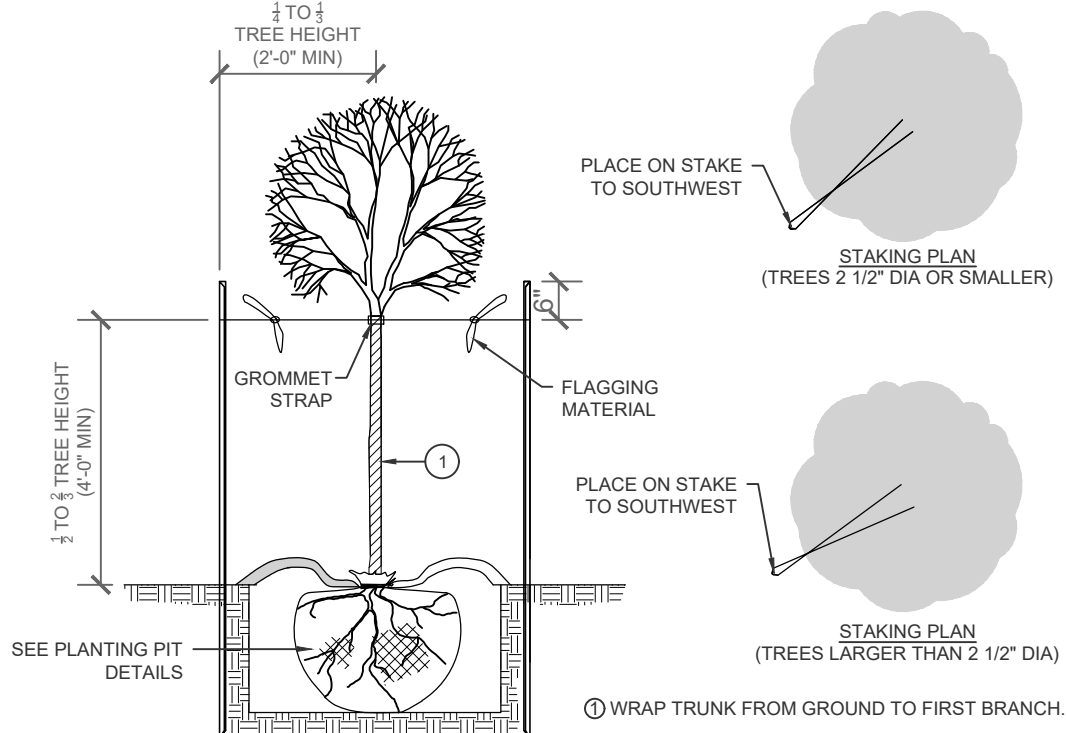
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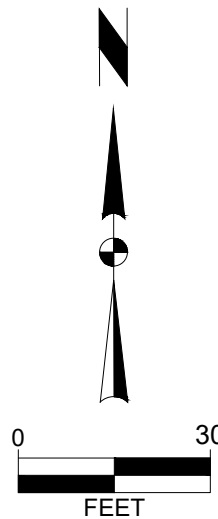
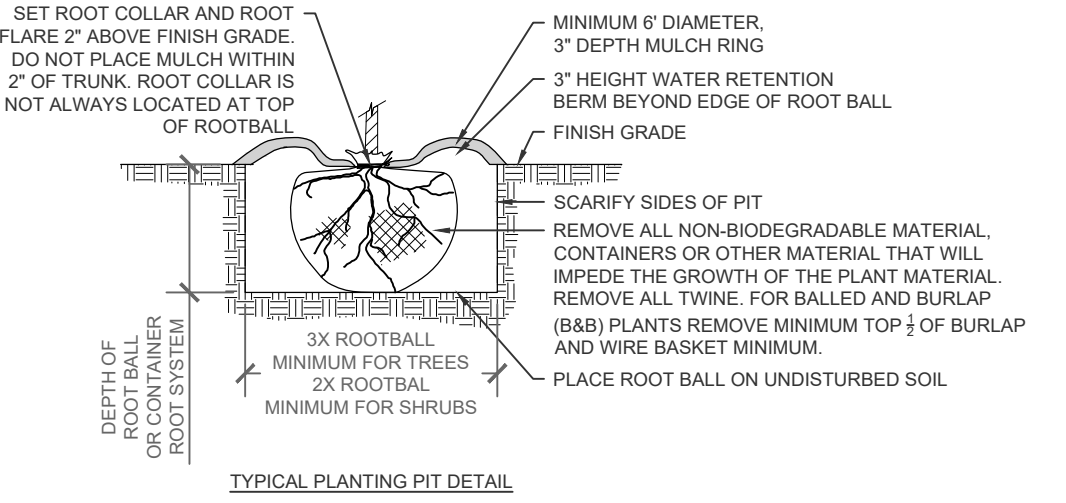
1
C5.01

DECIDUOUS TREE STAKING DETAIL
NO SCALE



2
C5.01

PLANTING PIT DETAILS
NO SCALE



January 19, 2022

Akhilesh Pal, P.E., Director
Indianola Public Works
City of Indianola
110 North 1st Street
Indianola, IA 50125

RE: AUXILIARY FACILITY- INDIANOLA COMMUNITY SCHOOLS
DRIVEWAY REVIEW AND APPEAL

Dear Akhilesh:

The Indianola Community School District plans to construct an additional driveway with access on to S. 15th Street to support the proposed school auxiliary maintenance and facilities building. This building will be used to conduct light maintenance on the District's school bus fleet, receive deliveries in a central location for distribution to multiple school sites across Indianola, and act as the central location for maintenance and facility operations for the District.

In the January 6, 2022 City Staff comments letter, the City states the proposed driveway exceeds the limit for the allowable number of drives on to S. 15th Street from this property. During conversations with Charlie Dissell, if this driveway were to be allowed, it would need to be moved to the north approximately 40' to provide a minimum of 150' of separation from the nearest existing driveway on the east side of the road. This request would also need to be made to the Public Works Director for approval.

Upon review, the Indianola Community School District would like to make an appeal to Public Works to allow this proposed driveway based on the following points:

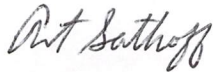
- The building's front door and public entry is located on the north side of the building. This is where visitors, parents and School employees will access the building. Eliminating this driveway forces visitors and parents to navigate around the back of the site near the maintenance and operation areas (loading docks, overhead doors, etc.) to gain access to the north side parking and entrance. This may result in additional conflicts between visitors and school buses and maintenance vehicles, where a more direct path to the north entry would be easier to identify and potentially safer.
- The existing parking lot has over 300 parking stalls to support the existing athletic fields to the south and west during weeknight events and on weekends. The proposed fencing configuration to protect the school buses and other District vehicles will restrict access to the existing north driveway, forcing the public to circle around the Auxiliary building to use the second entrance. By allowing an additional driveway to the north, it allows better access for people coming and going from the sports complex parking and reduces the traffic congestion by only having two entrances to this large parking area.

- The proposed driveway allows for better delivery truck movement on to the site. If forced to use the existing driveways, a truck would need to make four 90-degree turns in order to navigate through the site, versus two. This efficiency not only allows for better access but reduces the pavement widths and overall hard surface area associated with the driveways to accommodate larger delivery vehicles making multiple 90-degree turns.

Please see the attached exhibit showing the revised driveway location for your consideration. Feel free to reach out to me or our team with any questions or requests for additional information.

Sincerely,

INDIANOLA COMMUNITY SCHOOL DISTRICT



Art Sathoff
Superintendent

cc: Bernie Brueck, Indianola School District
Kerry Weig, Invision Architects
Tim West, Snyder & Associates

February 24, 2022

Mr. Charlie E. Dissell
Director of Community & Economic Development
City of Indianola

Charlie-

Please find the attached proposed revisions to the building elevations to meet the City requirements of 165.09 Building Design Standards. We believe these comments resolve your questions/concerns.

165.09(7)(B)(7) Office and Civic Building:

- a. Each primary façade shall contain no less than three (3) different class 1 or class 2 façade materials, together composing at least 75% of the primary façade area. Class 3 and class 4 façade materials in aggregate shall not exceed 25% of any primary façade area. Class 4 façade materials shall not exceed 5% of any primary façade area.

-We have two primary facades, the east and the north

East:

Prior submitted showing (2) different class 1 materials:

- ***Architectural quality precast concrete wall panels***
- ***Insulated metal doors***
- ***We will ADD a glass lite in (1) door and an architectural-grade insulated metal panel over the 2nd door***

Combined, these materials equate to 100% of the primary façade area.

North:

The north elevation is comprised of (3) class 1 materials:

- ***Architectural quality composite metal wall panel system with concealed fasteners***
- ***Architectural quality precast concrete wall panels***
- ***Clear glass windows***

Combined, these materials equate to 100% of the primary façade area.

- b. All structures shall utilize Class 1 or 2 roofing materials.

-Roofing material is proposed to be Class 2-membrane-non-visible

- c. No primary façade shall exceed 80 feet in length without interruption by one or more of the following architectural features:

- Projection or recess in the wall plane of at least two (2) feet in depth.
- Columns, piers, pilasters or other equivalent structural and/or decorative elements.

-We have two primary facades, the east and the north

East:

Prior submitted with no decorative elements or building recesses. We will ADD a decorative element at the door locations above the transoms mentioned above-see attached revised elevations; no dimension exceeds 80' between a recess or decorative feature

North:

-Two current recesses are planned in the building and a decorative element is incorporated with signage above the primary entry.

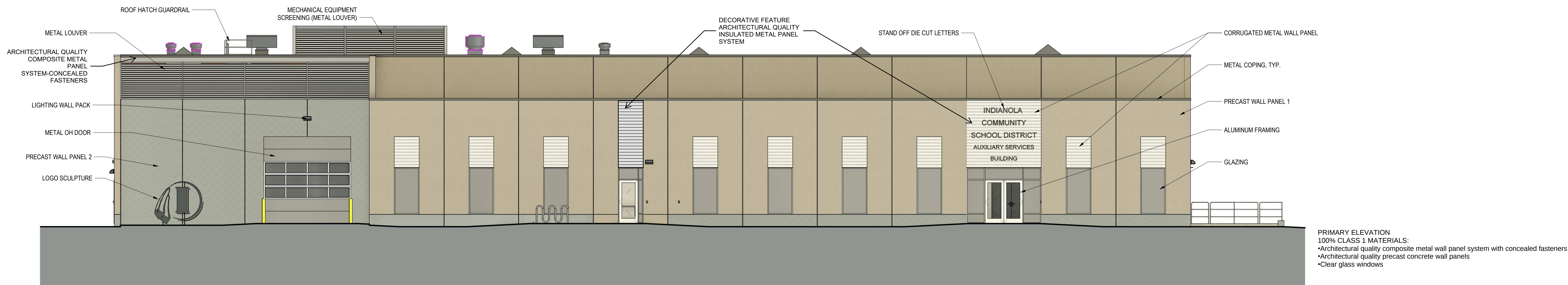
-We will ADD a decorative element above the secondary entry-see attached revised elevations; no dimension exceeds 80' between a recess or decorative feature

Please call or email with any concerns or additional comments.

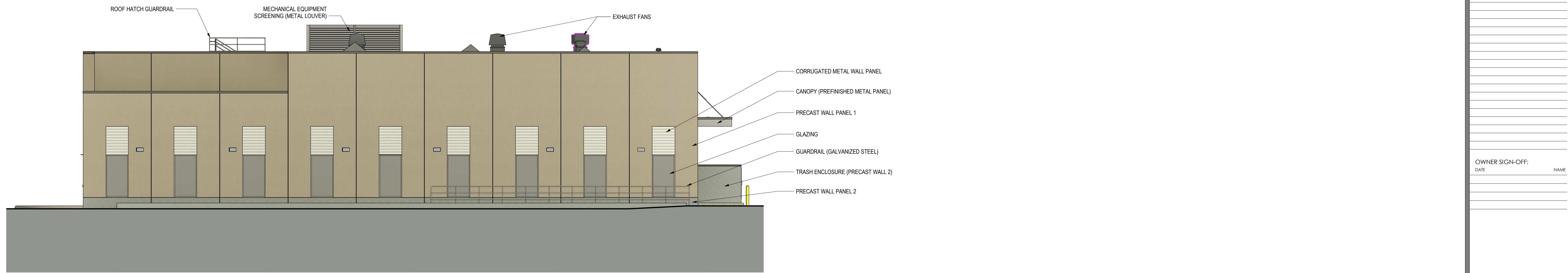
Regards,

Kerry A. Weig, AIA, CDT, LEED AP BD+C
kerryw@invisionarch.com
515.865.1301
INVISION

Attachment-"ICSD Auxiliary Building-Elevations Revised"



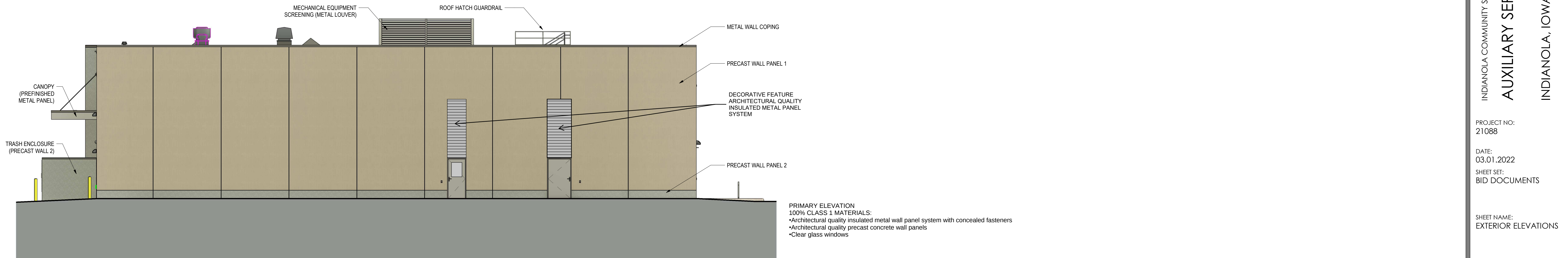
4 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



MEMORANDUM

To: Board of Adjustment

From:

Date: April 6, 2022

Subject: 5.B. Consider request from Ethan Christensen for a variance under the terms of Section 165.02 (3)(B) of the Code of Ordinances of Indianola, Iowa, to permit construction of a fence at a height of six (6) feet in the side yard at 1712 East Boston Place. Such fence would not be in conformity to the height requirements found in Section 165.04(4)(A)(2) of the Code of Ordinances of Indianola, Iowa.

Recommendation:

Attachments:

1. 1- Staff Report
2. 2- 1712 E Boston PI
3. 3- 1712 E Boston PI explanation



Community Development

110 N. First St., Indianola, IA 50125-0299 • www.indianolaiowa.gov
515-961-9430 • comdev@indianolaiowa.gov

Staff Report

Board of Adjustment

Date of Meeting: 04/06/2022

Agenda Item: 5.B. Consider request from Ethan Christensen for a variance under the terms of Section 165.02 (3)(B) of the Code of Ordinances of Indianola, Iowa, to permit construction of a fence at a height of six (6) feet in the side yard at 1712 East Boston Place. Such fence would not be in conformity to the height requirements found in Section 165.04(4)(A)(2) of the Code of Ordinances of Indianola, Iowa.

Application Type: Variance

Property Owner: Ethan Christensen and Amanda Padee Lor

Property Address: 1712 East Boston Place

Zoning: R-2 Single-Family Residential Attached Zoning District

Application Summary: A variance is requested to permit construction of a fence at a height of six (6) feet in the side yard at 1712 East Boston Place. Such fence would not be in conformity to the height requirements found in Section 165.04(4)(A)(2) of the Code of Ordinances of Indianola, Iowa. This section states that residential corner lots contain two (2) front yards, and any fence extending into either front yard shall be a maximum of forty-eight (48) inches in height and shall be subject to all other requirements for front yard fences.

AERIAL MAP



APPLICABLE CODE SECTIONS

The following sections of the Code of Ordinances of Indianola, Iowa apply to this request:

Section 165.02 (3)(B)(3)

Power and Duties: The Board shall have the following powers and duties:

b. Variances - To grant a variance from the terms of the Zoning Ordinance when a property owner can show that the owner's property was acquired in good faith and where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property, or where by reason of exceptional topographical conditions or other extraordinary or exceptional situation, the strict application of the terms of the Zoning Ordinance actually prohibits the use of such property in a manner reasonably similar to that of other property in the same district, and where the Board is satisfied under the evidence before it that a literal enforcement of the provisions of the Zoning Ordinance would result in unnecessary hardship; provided, however, all variations granted under this clause shall be in harmony with the general purpose and intent of the Zoning Ordinance. Furthermore, the following findings shall be made in order to grant a variance:

- i. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district;
- ii. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance;
- iii. That the special conditions and circumstances do not result from the actions of the applicant;
- iv. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district. No nonconforming use of neighboring lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

In granting any variance, the Board may prescribe appropriate conditions and safeguards in conformity with this Ordinance. Violation of any such conditions and safeguards shall be deemed a violation of this Ordinance. Under no circumstances shall the Board grant a variance to allow a use not permissible under the terms of the Zoning Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of the Zoning Ordinance in said district. If relevant and applicable, the Board may prescribe a time limit within which the action for which the variance is required shall begin or be completed, or both. Failure to begin or complete, or both, such action within the time limit shall void the variance. If no time limit is set by the Board and if relevant to the variance, then the granted variances shall become void eighteen months after the date of the Board approval unless a building permit has been issued for the construction provided for by the variance. In the event the building permit for the construction provided for by the variance expires or is canceled, then the variance approval shall become void.

Section 165.04 FENCES AND WALLS

A. Residential Districts.

- 2) Any yard abutting a public street shall be considered a front yard. Residential corner lots contain two (2) front yards, and any fence extending into either front yard shall be a maximum of forty-eight (48) inches in height and shall be subject to all other requirements for front yard fences.

ANALYSIS

Corner lots have their advantages and disadvantages. Frontage on two separate streets is nice and has a lot of... curb... appeal, pun intended! From a zoning and development standpoint they make sense because hey, they cant be avoided right? What doesn't make sense however is city ordinance regarding fencing and accessory structures to SOME, not all corner lots. Unfair would be a better way to put it. Its unfair that Mr. Christiansen's principal structure complies with setback regulations, just like his neighbors but he can't fence in the same amount of rear yard at the same height as his neighbor's fence. It's unfair that a corner lot approximately 1 block away was permitted to install a 6' tall privacy fence in what is considered the front yard of a corner lot. Quite a few properties have done this. But the only thing they have in common with Mr. Christiansen's property is that they're corner lots. The primary concern when constructing a 6' tall privacy fence into the front yard of a corner lot is obstructing vision which is the case for the property a block away. Where Mr. Christiansen is proposing to install his 6' tall privacy fence is well over 25' North of E. Boston Pl. Approximately 80' from the back of curb on the N side of E. Boston Pl. to be exact. There will be no obstruction of vision.

In closing, Mr. Christiansen is asking for the variance to fencing regulations regarding height within a front yard for the purpose of not only creating a level of privacy but also to allow his dog to enjoy as much yard as possible. At 4', his dog is capable of jumping over the fence and a 6' tall fence would prevent that from happening and allow a much bigger area to explore. Mr. Christiansen is also considering the construction of an accessory building in the very near future. The only place for said accessory structure is directly behind the principal structure which will take up a majority of the area enclosed by the 6' privacy fence and limits the greenspace for his pup to run.

ALTERNATIVES

The City of Indianola Board of Adjustment may consider the following alternatives:

- 1) The City of Indianola Board of Adjustment approves the variance request, as submitted.

- 2) The City of Indianola Board of Adjustment approves request, with conditions.
- 3) The City of Indianola Board of Adjustment denies the variance request.
- 4) The City of Indianola Board of Adjustment remands the variance request back to the applicant and/or staff for further review and/or modifications and directs staff to place this item on a future Board of Adjustment agenda.

RECOMMENDATION

Staff recommends approval of the variance as requested.

BOARD OF ADJUSTMENT APPLICATION

Community Development

110 North 1st Street, Indianola, Iowa 50125-0299
(515) 961-9430 • comdev@indianolaiowa.gov



PROPERTY OWNER

(Last Name) Christensen
(First Name) Ethan
(Address) 1712 E Boston Place
(City) Indianola (State) IA (Zip) 50125
(Phone) 515-601-3515 (Email) ecchrist95@gmail.com

APPLICANT (if not Property Owner)

(Last Name) _____
(First Name) _____
(Address) _____
(City) _____ (State) _____ (Zip) _____
(Phone) _____ (Email) _____

☐ APPEAL

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Completed Application
- ☐ Filing Fee: \$150 per request
- ☐ Written narrative indicating where it is alleged there is error in any order, requirement, decision, or determination made by the Administrative Officer in the enforcement of this Code of Ordinances of Indianola, Iowa.
- ☐ Other Information as required by Director

☐ SPECIAL USE PERMIT

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☐ Property Address: _____
- ☐ Completed Application
- ☐ Filing Fee: \$150 per request
- ☒ Site Plan and Elevations
- ☐ Written narrative indicating the Section of Chapter 165 of the Code of Ordinances of Indianola, Iowa under which the special exception is sought and stating the grounds on which it is requested.
- ☐ Other Information as required by Director

☒ VARIANCE

Submittal Requirements:

*All submittal requirements must be completed.
Incomplete applications will not be considered*

- ☒ Property Address: 1712 E Boston Place
- ☒ Completed Application
- ☐ Filing Fee: \$150 per request
- ☒ Site Plan and Elevations
- ☒ Written narrative indicating justification for proposed variance and response to the criteria outlined in Section 165.02(3)(B) of the Code of Ordinances of Indianola, Iowa
- ☐ Other Information as required by Director

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with the knowledge, consent and authority of the owner(s) of the property. Pursuant to said authority, I hereby permit City officials to enter upon the property for the purpose of inspection related to this application.

Signature Ethan Christensen

Name (printed) Ethan Christensen

Date 3-15-2022

FOR OFFICE USE ONLY:

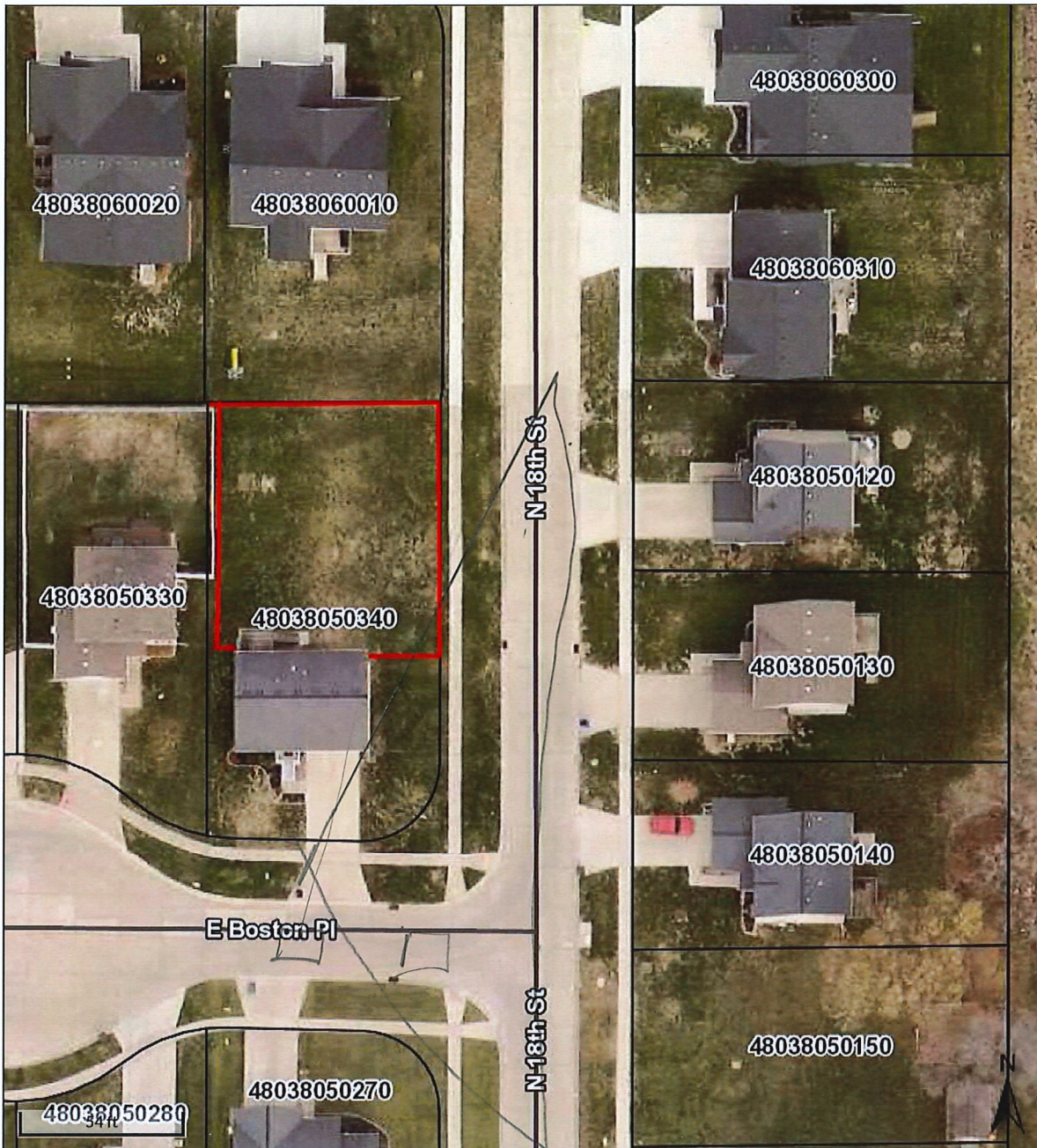
Code to 45180

Date Received: _____

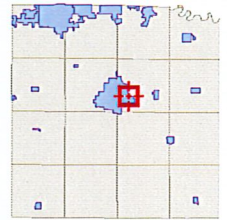
Receipt No: _____

Receipt Amount: _____

BOA Agenda Date: _____



Overview



Legend

Roads

- <all other values>
- Interstate
- Highway
- Ramp
- County Gravel
- County Level B
- County Level C
- City Gravel
- City Street
- Private Street
- Corporate Limits
- Parcels
- Political Township
- Major Roads
- County Hwy
- State Hwy
- US Hwy
- Interstate
- Water

Disclaimer:

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

The 2,000 Foot Buffers layer is for law enforcement guidance only, and is based on the best information available at the time it was prepared. This layer should not be considered to be a complete and accurate representation of the locations of every school or child care facility, and will be changed as new information is available. The registered offender is responsible for ensuring that proposed residence is in compliance with the law, and may not rely solely on this layer. The registered offender should seek legal advice from a licensed attorney if needed.

Date created: 3/15/2022

Last Data Uploaded: 3/15/2022 12:08:54 AM

Developed by  **Schneider**
GEOSPATIAL

207

~~207~~ N 17th Street

313 N 17th Street

I, Ethan Christensen am wanting to put up a 6' wood privacy fence at 1712 E Boston Place. I am wanting to run the fence to 1' off the east sidewalk just like 207 N 17th Street and 313 N 17th Street. Both of those houses are corner lots and the 6' wood privacy goes to 1' off sidewalk which is well past the stop sign.